

OWNER:
SIKH SOCIETY
OF MINNESOTA

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OWNER

ACORN MINI
STORAGE XI,
L.L.C.
6200 SHINGLE CREEK
PARKWAY, SUITE 300,
BROOKLYN CENTER,
MN 55430

OWNER REPRESENTATIVE

c/o DAVID A HUNT
T (952) 484-4451

DEVELOPER

OAK
MANAGEMENT &
DEVELOPMENT
COMPANY
6200 SHINGLE CREEK
PARKWAY, SUITE 300,
BROOKLYN CENTER,
MN 55430

c/o CHRIS KIRWAN
T (762) 231-2372

ARCHITECTURAL
CONSORTIUM L.L.C.

1600 W LAKE STREET,
SUITE 127
MINNEAPOLIS, MN 55408
612-436-4030

PROJECT

ACORN MINI
STORAGE - PHASE III

BLOOMINGTON, MN

ISSUE

PERMIT SET
02/05/2021

REVISION DATE
RESPONSE TO CITY'S COMMENTS 03/04/21

Elan
DESIGN LAB
Civil Engineering | Landscape Architecture | Construction Services
901 N 3rd STREET, SUITE 120
MINNEAPOLIS, MN 55401
p 612.260.7980
f 612.260.7990 www.elanlab.com

CERTIFICATION

I hereby certify that this plan was prepared by me,
or under my direct supervision, and that I am a
duly Licensed Professional Engineer under the
laws of the state of MINNESOTA.

Stephen M. Johnston DATE
REGISTRATION NO. 18914 02/05/21

SHEET C101ARC08.DWG

SITE PLAN

C-101

PROJECT NO.
ARC17008

SITE PLAN NOTES

- DIMENSIONS SHOWN ON THIS PLAN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- CONTRACTOR TO OBTAIN FILE FROM ENGINEER FOR CONSTRUCTION STAKING.
- MEET AND MATCH EXISTING CONDITIONS. PROVIDE PROPER TRANSITION AS NECESSARY.
- ON-SITE CURB TO BE B612 CONCRETE CURB & GUTTER.
- ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT A MAXIMUM OF 100'-0" AND CONTROL JOINTS AT A MAXIMUM OF 10'-0".
- ALL PARKING STALLS TO BE PAINTED WITH A 4" WIDE WHITE STRIPING. ACCESSIBLE SYMBOLS TO BE PAINTED IN WHITE AND ACCESSIBILITY ACCESS AISLES TO BE PAINTED WITH A 4" WIDE WHITE PAINTED STRIPE 18 INCHES ON CENTER AND AT 45 DEGREE ANGLE TO STALL, WITH NO PARKING MARKED NEAR THE DRIVE AISLE. REFLECTORIZED PAINT SHALL COMPLY WITH MNDOT 3592.

PROJECT SUMMARY

AREA SUMMARY

EXISTING SITE AREA 184,846 SF. (4.24 AC.)
92ND RIGHT-OF-WAY 12,785 SF. (0.29 AC.)
SITE AREA 172,061 SF. (3.95 AC.)

LAND USE	EXISTING AREA (POST PHASE I)	PHASE II
BUILDING BUILDING ADDITION	58,947 SF (35%)	58,947 SF (35%) 17,947 SF (10%)
PAVEMENT (WALK/ DRIVE/ PARKING) DISTURBED AND NEW EXISTING	53,899 SF (31%) 10,072 SF 43,827 SF	49,953 SF (29%) 7,085 SF 42,868 SF
TOTAL IMPERVIOUS	112,846 SF (66%)	126,847 SF (74%)
PERVIOUS	59,215 SF (34%)	45,214 SF (26%)

PARKING SUMMARY

EXISTING:
28 STALLS + 4 ACCESSIBLE STALLS
BICYCLE 2 SPACES

PROPOSED:
17 STALLS + 1 ACCESSIBLE STALLS
2 INSIDE LOADING STALLS
BICYCLE 2 SPACES

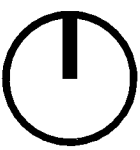
LEGEND

	CONCRETE SIDEWALK
	NEW BITUMINOUS PAVEMENT
	PERVIOUS AREA

APPROVED
Zoning Review Only
04/05/2021 NMJ



Know what's below.
Call before you dig.



30 90
SCALE IN FEET

OWNER:
TAYLOR CORPORATION

ORIGINAL EXISTING
BUILDING

BITUMINOUS PAVEMENT
SECTION (TYP) 3 C-501
BITUMINOUS INTERLOCK
AT MATCH LINE (TYP) 2 C-501

NEW CONCRETE
SIDEWALK

PH. III BLDG INFIL
CLIMATE CONTROLLED
10,340 SF

PIPE BOLLARD
(TYP) 6 C-501

PH. III COLD
STORAGE ADDITION
(APPROX. 13 STORAGE UNITS)
3,017 SF

PH. III COLD
STORAGE ADDITION
(APPROX. 13 STORAGE UNITS)
3,000 SF

CONCRETE SIDEWALK
PAVEMENT SECTION (TYP) 4 C-501

SIDEWALK
JOINT (TYP) 5 C-501

OFFICE

EXIST. PH. II COLD STORAGE BLDG ADDITION

WEST 92ND STREET

OWNER:
DONALDSON COMPANY INC

OWNER:
DONALDSON COMPANY INC

1 SITE PLAN
1" = 30'

CASE #PL2018-67

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL PLANT MATERIALS ARE TO CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASES, DAMAGE, AND DISFIGURATION.
- QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
- TOPSOIL TO BE MNDOT 3877.2B LOAM TOPSOIL BORR6 OW FOR LANDSCAPED AREAS AND PLANTING BEDS. PROVIDE ROOTING TOPSOIL BORROW MNDOT 3877.2E FOR PLANT RESTORATION, WATER QUALITY AND INFILTRATION PLANTING.
- PLANTING SOIL TO BE CONSISTED OF 50% SELECT TOPSOIL BORROW (MNDOT 3877) AND 50% GRADE 2 COMPOST (MNDOT 3880). PLANTING SOIL TO HAVE A PH BETWEEN 6.5-7.5, BE FREE OF CHEMICAL CONTAMINANTS, DEBRIS, LARGE ROCKS GREATER THAN 1/2" DIAMETER, AND FRAGMENTS OF WOOD. SUBSOIL SHALL BE SCARIFIED TO A DEPTH OF 4" BEFORE PLANTING SOIL IS SPREAD.
- SPREAD PLANTING SOIL AT MINIMUM EIGHTEEN (18) INCH DEEP IN ALL PLANTING BEDS PRIOR TO PLANTING. THOROUGHLY WATER TWICE TO FACILITATE CONSOLIDATION PRIOR TO PLANTING. DO NOT OVERLY COMPACT SOIL.
- SOD SHOWN ON LANDSCAPE PLAN TO BE INSTALLED BY LANDSCAPE CONTRACTOR. SOD TO BE MNDOT 3878.2A, DENSE, AND OF UNIFORM TEXTURE, FREE OF WEEDS AND DISEASE. APPLY MINIMUM SIX (6) INCHES OF SELECT TOPSOIL BORROW AND THOROUGHLY APPLY FERTILIZER TO TOP TWO (2) INCHES BEFORE LAYING SOD. LANDSCAPE CONTRACTOR TO MAINTAIN SODDED AREAS IN HEALTHY CONDITION UNTIL FIRMLY ROOTED.
- MULCH TO BE SHREDDED HARDWOOD BARK MULCH (MNDOT 3882 TYPE 6), CONSISTED OF RAW WOOD MATERIAL FROM TIMBER AND BE A PRODUCT OF A MECHANICAL CHIPPER, HAMMER MILL, OR TUB GRINDER. THE MATERIAL SHALL BE SUBSTANTIALLY FREE OF MOLD, DIRT, SAWDUST, AND FOREIGN MATERIAL AND SHALL NOT BE IN AN ADVANCED STATE OF DECOMPOSITION. THE MATERIAL SHALL NOT CONTAIN CHIPPED UP MANUFACTURED BOARDS OR CHEMICALLY TREATED WOOD, INCLUDING, BUT NOT LIMITED TO, WATER BOARD, PARTICLE BOARD, AND CHROMATED COPPER ARSENATE (CCA) OR PENTA TREATED WOOD. THE MATERIAL SHALL BE TWICE-GROUND/ SHREDDED, SUCH THAT, NO INDIVIDUAL PIECE SHALL EXCEED 2 INCHES IN ANY DIMENSION.
- EDGE ALL SHRUB BEDS WITH 3/16" X 4" MILL FINISHED ALUMINUM EDGING WITH STAKES. ALL EDGING TO BE COMMERCIAL GRADE.
- APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL SHRUB BED AREAS AND APPLY THREE (3) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN PERENNIAL AREAS. PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS.
- FERTILIZER TO BE A COMMERCIAL FORMULA AND APPLIED PER MANUFACTURER'S RECOMMENDATION. PROVIDE FERTILIZER WITH PERCENTAGE OF NITROGEN REQUIRED TO PROVIDE. NOT LESS THAN 1 POUND OF ACTUAL NITROGEN PER 1,000 SQ.FT. OF LAWN AND 10 PERCENT OF POTASSIUM, NITROGEN MUST BE IN A FORM AVAILABLE TO LAWN DURING THE INITIAL ESTABLISHMENT. PROVIDE SLOW RELEASE FERTILIZER 20-10-5 FOR TREES AND SHRUBS.
- LANDSCAPED AREAS AS INDICATED ON PLAN SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. NO WATER IS ALLOWED ON ANY PAVEMENT, PARKING, WALKWAY, AND BUILDING. THE IRRIGATION CONTRACTOR IS TO DESIGN AND SUBMIT SHOP DRAWINGS OF IRRIGATION DESIGN AND CALCULATIONS TO LANDSCAPE ARCHITECT FOR REVIEW 5 DAYS PRIOR TO PURCHASING AND INSTALLATION. IRRIGATION DESIGN IS TO MEET ALL CITY AND STATE PLUMBING CODES AND REQUIREMENTS.
- FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTS IN HEALTHY CONDITION THROUGHOUT WARRANTY PERIOD. THE WARRANTY PERIOD IS TWO FULL YEARS FROM DATE OF PROVISIONAL ACCEPTANCE UNTIL FINAL ACCEPTANCE. WARRANTY PERIOD FOR PLANT MATERIAL INSTALLED AFTER JUNE 1ST SHALL COMMENCE THE FOLLOWING YEAR.

PLANT SCHEDULE

KEY	QUANT.	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
PERENNIALS						
○	27	BIG TIME HAPPY DAYLILY	HEMEROCALLIS BIG TIME HAPPY	1 GAL.	POT	1.5H X 1.5W
*	34	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA KARL FOERSTER	1 GAL.	POT	4H X 2W

SUBSTITUTIONS: IF ANY SUBSTITUTIONS ARE REQUIRED, SUBMIT WRITTEN DOCUMENTS AND PROPOSED SUBSTITUTIONS TO LANDSCAPE ARCHITECT FOR APPROVAL 5 DAYS PRIOR TO PURCHASE AND/OR INSTALLATION.

LANDSCAPE SUMMARY

PHASE 2

REMOVE PHASE 1 REPLACE	30 PERENNIALS 61 PERENNIALS
REMOVE REPLACE	93 LF OF BUILDING FRONTAGE PLANTING 93 LF OF PLANTING (SUBSTITUTED PLANTING AT EAST OF CURB LINE)

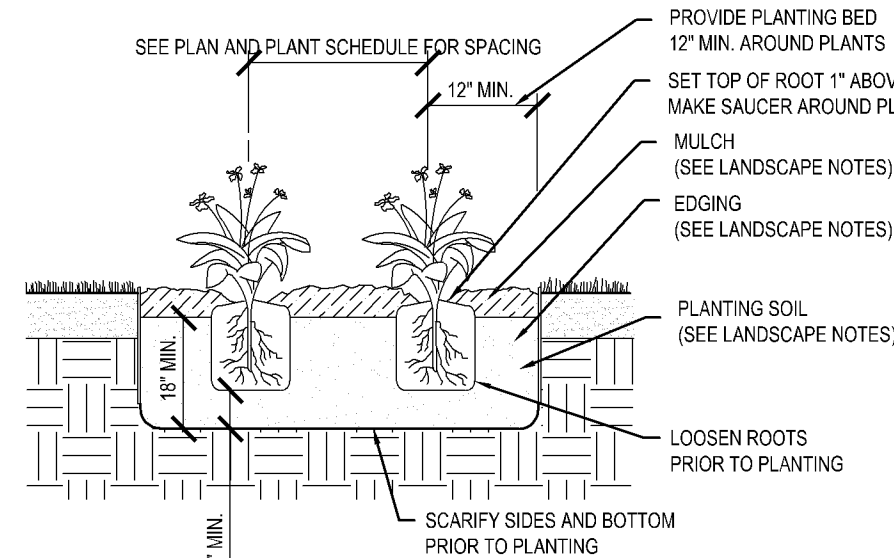
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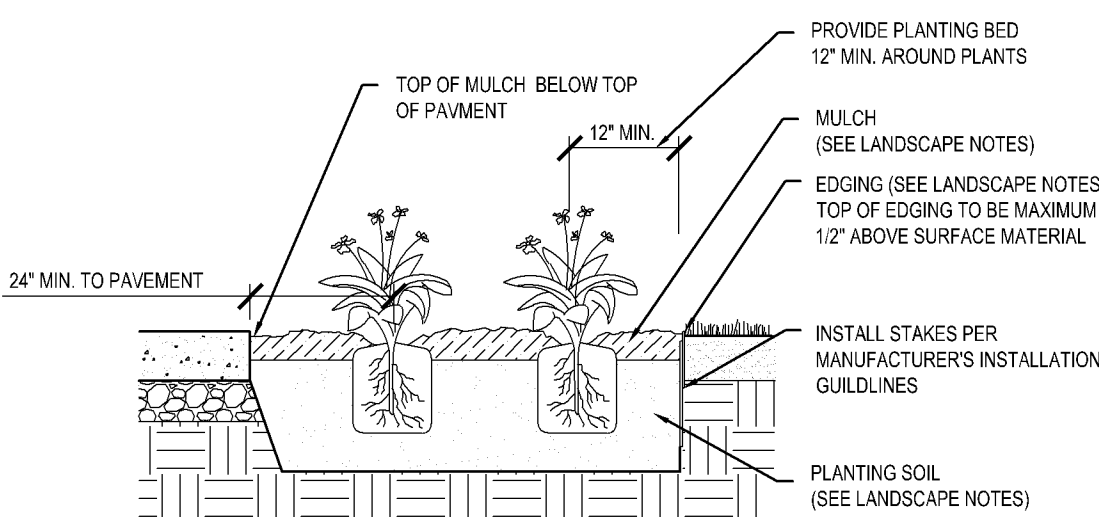
LANDSCAPING PLAN APPROVED



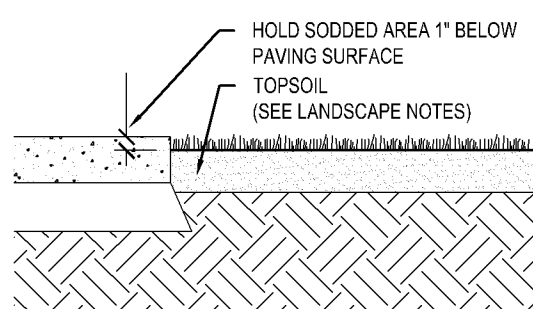
NMJ
04/05/2021



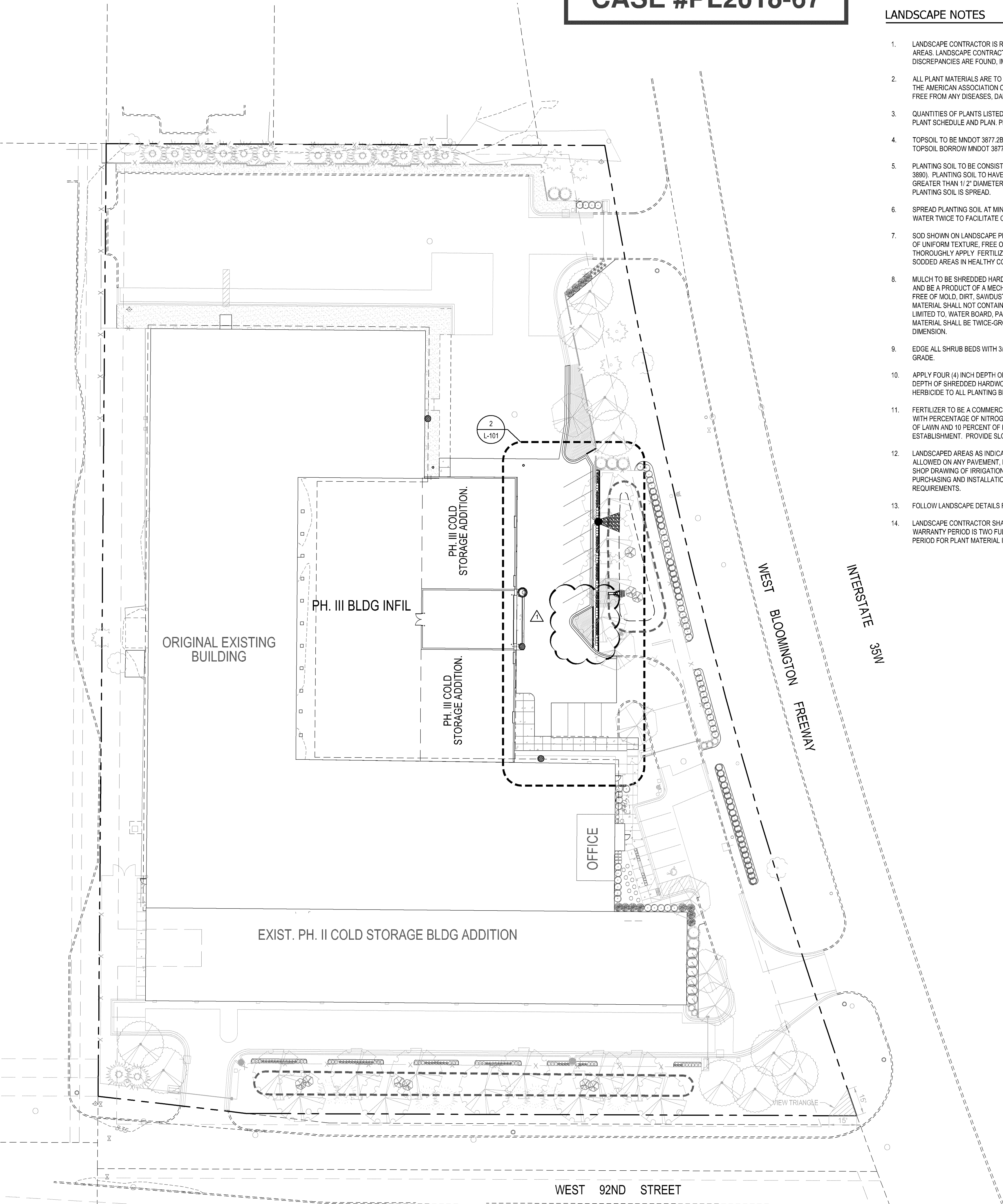
3 PERENNIAL PLANTING NO SCALE



4 EDGING AT PLANTING BED NO SCALE



5 SOD AT HARDSCAPE EDGE NO SCALE

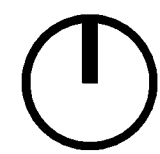


1 LANDSCAPE PLAN 1" = 30'

2 LANDSCAPE PLAN 1" = 20'



Know what's below.
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30 90
SCALE IN FEET

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BLOOMINGTON, MN

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CERTIFICATION

I hereby certify that this plan was prepared by me,
or under my direct supervision, and that I am a
duly Licensed Landscape Architect under the laws
of the state of MINNESOTA.

Pharisee Sarathong
Pharisee Sarathong DATE
REGISTRATION NO. 45059 02/05/21

SHEET

LANDSCAPE PLAN

L-101

PROJECT NO.
ARC17008

<i>Mark</i>	<i>Revision / Issue</i>	<i>Date</i>
	BID / PERMIT	02/05/21

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Printed Name: Kathy L. Anderson

Signature: [Signature]
Date: 02/05/21 License #: 22285

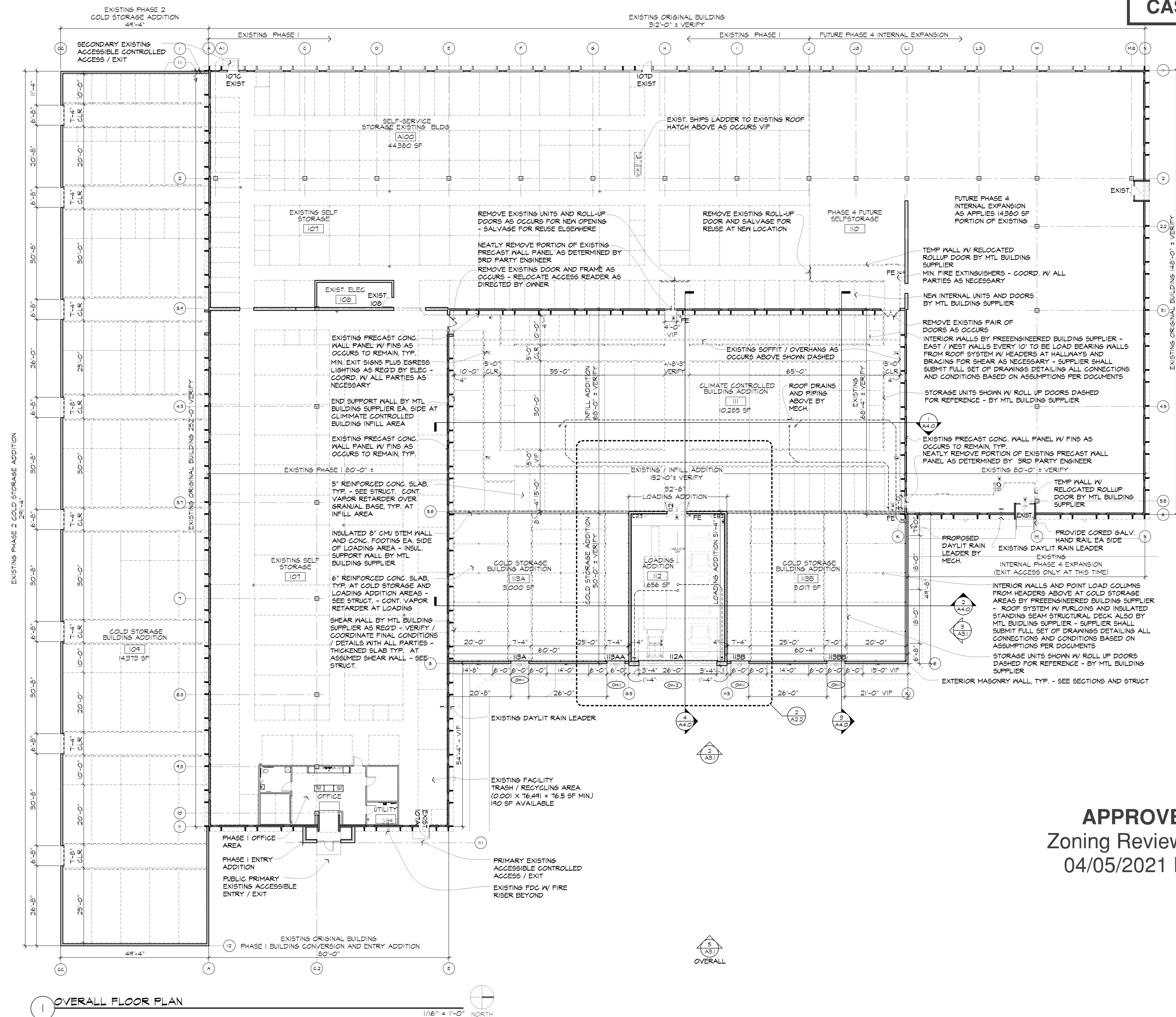
ACORN
MINI-STORAGE
PHASE 3
EXPANSION
BLOOMINGTON, MN

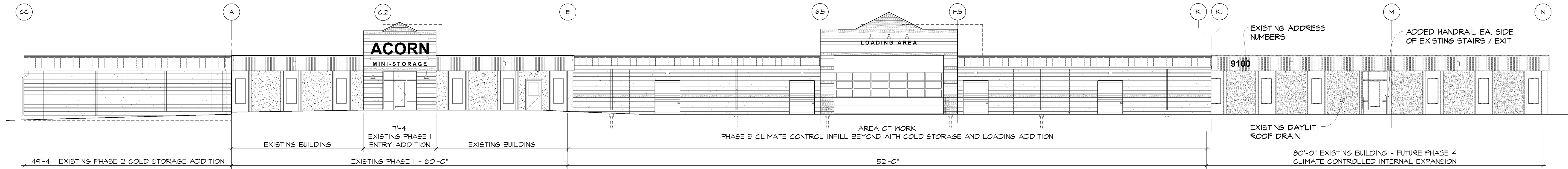
OVERALL FLOOR PLAN

SCALE: AS NOTED

PROJECT NUMBER:	17-1085-03
ISSUED DATE:	02/05/21
DRAWN BY:	ES
CHECKED BY:	KA

A2.1





5 OVERALL EAST EXTERIOR ELEVATION

EXTERIOR MATERIALS & COLORS

PREFINISHED METAL - COLOR A
MFR: FIRESTONE MTL PRODUCTS
COLOR: ALMOND
LOCATION: COPING, GUTTER, DOWNSPOUT

PREFINISHED METAL - COLOR B
MFR: FIRESTONE MTL PRODUCTS
COLOR: DARK BRONZE
LOCATION: COPING

NOTE: ALL SEALANTS TO BE COLOR MATCHED TO ADJACENT MATERIALS. SUBMIT MFR'S FULL RANGE OF COLORS, SAMPLES, SCHEDULES AND IDENTIFIED LOCATIONS TO ARCHITECT FOR REVIEW AND APPROVAL.

NOTE: ALL DECORATIVE CMU MORTAR TO BE COLOR MATCHED UNITS - PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL.

DECORATIVE CMU - COLOR A
MFR: AMCON
COLOR: #316 CAMEL (VIF TO MATCH EXISTING)
TEXTURE: 8" ROCKFACE, 4" SMOOTHFACE
MORTAR: AS REQ'D TO MATCH UNIT

DECORATIVE CMU - COLOR B
MFR: AMCON
COLOR: #348 ESPRESSO (VIF TO MATCH EXISTING)
TEXTURE: 8" ROCKFACE AND 4" SMOOTHFACE
MORTAR: AS REQ'D TO MATCH UNIT

DECORATIVE CMU - COLOR C (NOT USED)
MFR: AMCON
COLOR: VERIFY IF APPLIES
TEXTURE: 8" SMOOTHFACE
MORTAR: AS REQ'D TO MATCH UNIT

PAINT - (PT-1) TO MATCH EXISTING PRECAST
MFR: BENJAMIN MOORE / SHERWIN WILLIAMS
COLOR:
LOCATION: HMTL DOORS AND FRAMES AND MISC. ITEMS

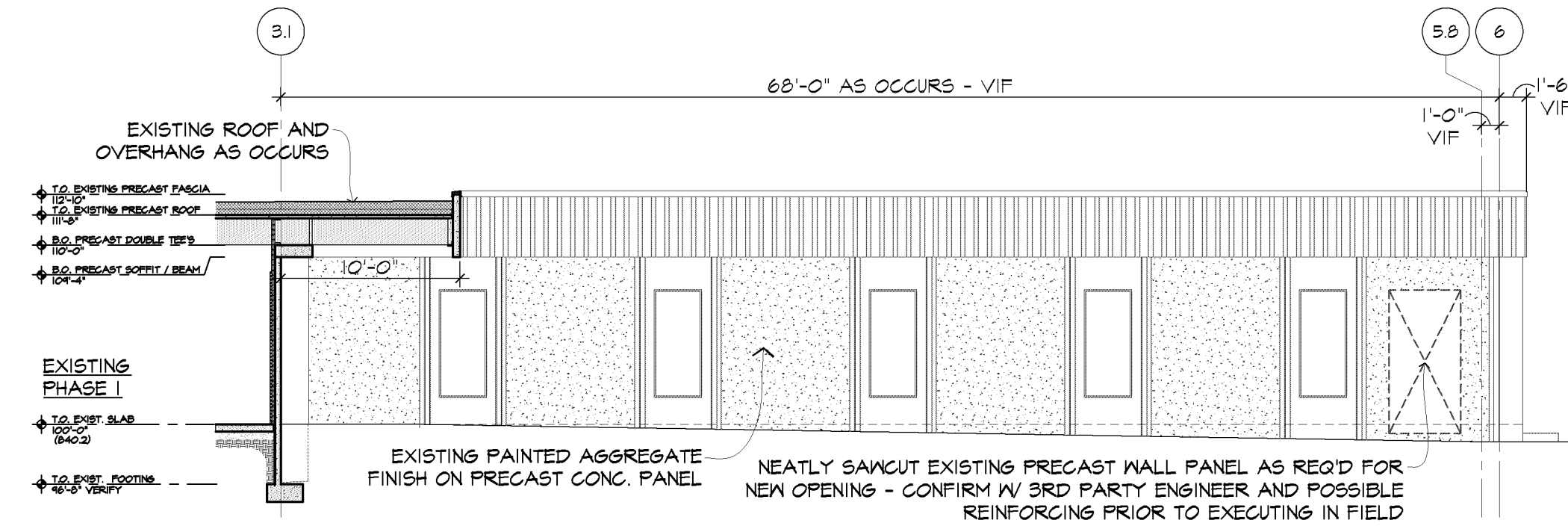
EXTERIOR ROLL-UP DOORS
MFR: JANUS OR EQUAL
COLOR: CEDAR RED

NOTE: SUBMIT ALL MATERIALS AND COLORS TO ARCHITECT FOR FINAL APPROVAL. NO SUBSTITUTIONS WITHOUT PRIOR APPROVAL.

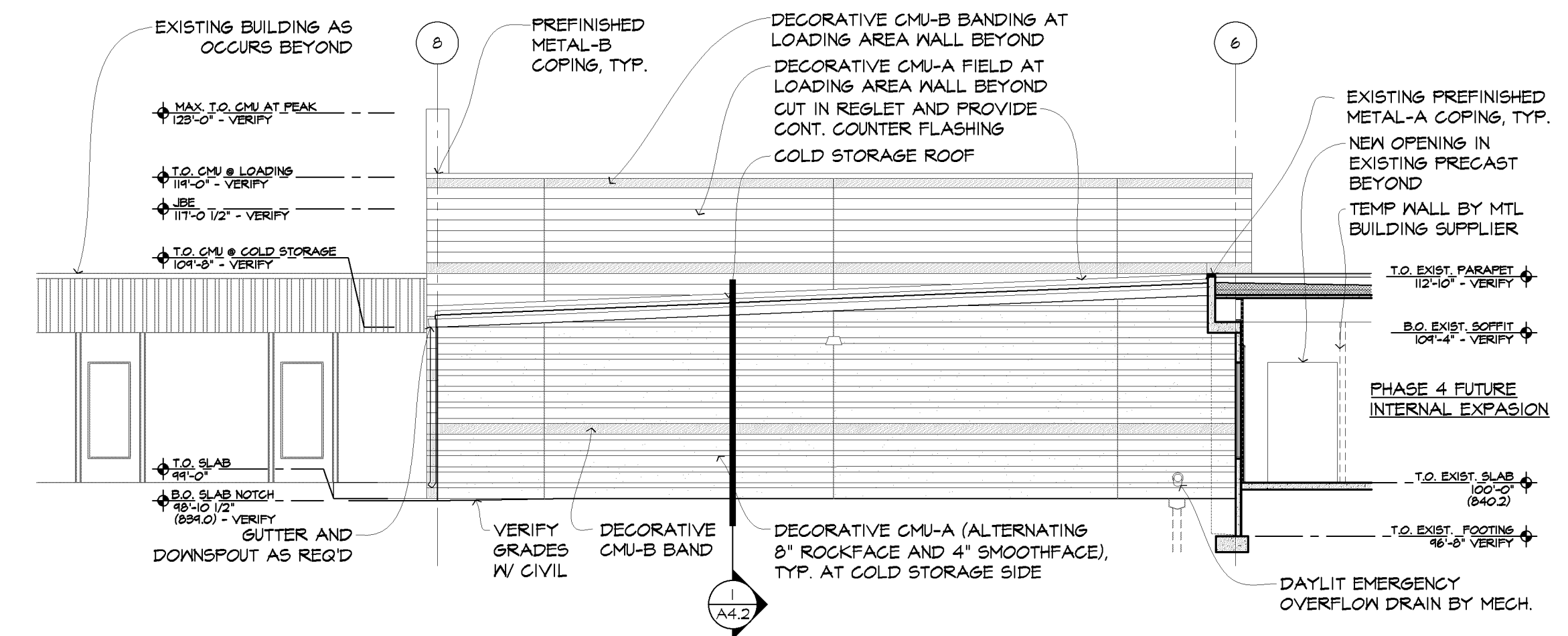
GENERAL NOTES:

1. PROVIDE BACKER ROD AND SEALANT AT ALL MATERIAL CHANGES.
2. DECORATIVE CMU SHOULD EXTEND AT LEAST (1) COURSE BELOW T.O. SLAB. NO EXPOSED STANDARD GRAY BLOCK ALLOWED. S.C. TO COORD. IN FIELD WITH ALL PARTIES AS REQ'D.
3. TENANT SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT AS REQ'D BY CITY. BY OWNERS SIGN VENDOR. - COORD. AND PROVIDE ELEC. AT INTERIOR WITH POWER AND CIRCUITING TO PANEL IN TIME CLOCK AND PHOTO CELL. COORD. W/ DECORATIVE LIGHT FIXTURES.
4. ALL EXPOSED DECORATIVE CMU TO HAVE INTEGRAL WATER REPELLANT WITHIN MIX USED TO FORM UNITS AS WELL AS IN MORTAR. OPTIONAL FIELD APPLIED PENETRATION WATER REPELLANT SHALL ALSO BE APPLIED AT OWNERS OPTION.
5. ALL MEP PENETRATIONS SHALL BE FULLY SEALED. FILL ALL VOIDS W/ SPRAY OR BATT. INSUL. AS APPROPRIATE. PROVIDE CONT. SEALANT AT PERIMETER OF EXTERIOR FIXTURES, BOXES, FLANGES, ETC.
6. S.C. SHALL COORDINATE AND VERIFY FINAL PLACEMENT OF MEP ITEMS IN FIELD WITH ALL PARTIES PRIOR TO EXECUTION.

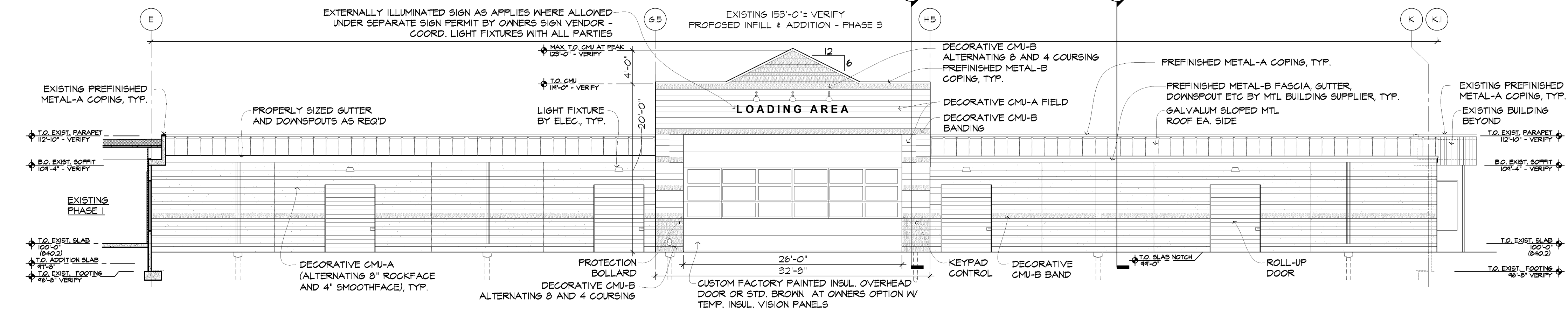
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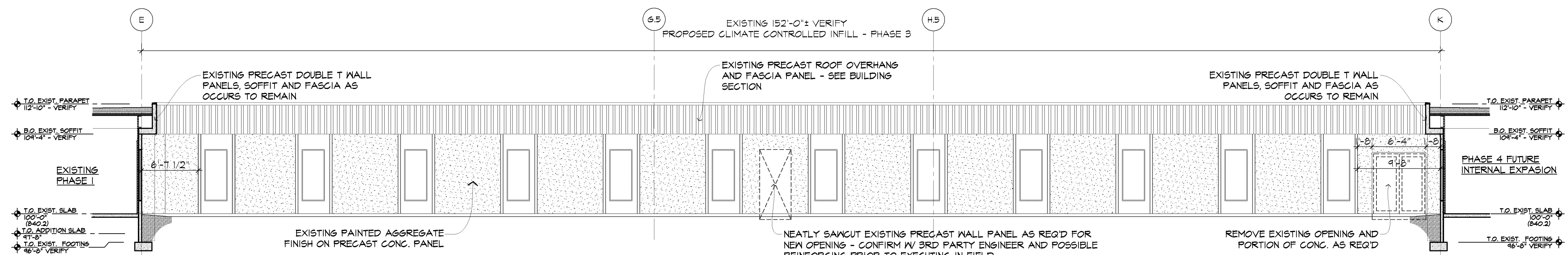
4 EXISTING SOUTH EXTERIOR ELEVATION AT INFILL AREA



3 PROPOSED NORTH EXTERIOR ELEVATION AT ADDITION



2 PROPOSED EAST EXTERIOR ELEVATION AT ADDITION



1 EXISTING PARTIAL EAST EXTERIOR ELEVATION AT INFILL AREA

6 WEST ELEVATION AD LOADING ABOVE ROOF

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Printed Name: Kathy L. Anderson

Signature:

Date: 02/05/21 License #: 22285

ACORN
MINI-STORAGE
PHASE 3
EXPANSION
BLOOMINGTON, MN

EXTERIOR
ELEVATIONS

SCALE: AS NOTED

PROJECT NUMBER: 17-1085-03
ISSUED DATE: 02/05/21
DRAWN BY: ES
CHECKED BY: KA

A3.1