



ARDOR AT THE BLUFFS

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CITY SUBMITTAL

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GREG RIDLEY
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CITY SUBMITTAL SHEET INDEX		
SHEET	SHEET NAME	DATE ISSUED
MR-1	CITY SUBMITTAL COVER SHEET	04/23/21
MR-2	CITY SUBMITTAL PROJECT SUMMARY	04/23/21
MR-3	CITY SUBMITTAL SITE CONTEXT	04/23/21
MR-4	VIEW OF ENTRY	04/23/21
MR-5	VIEW FROM BLUFF	04/23/21
MR-6	MARKET RATE SITE PLAN	04/23/21
MR-7.0	MARKET RATE PARKING LEVEL FLOOR PLANS	04/23/21
MR-7.1	MARKET RATE 1ST FLOOR PLAN	04/23/21
MR-7.2	MARKET RATE 2ND-5TH FLOOR PLAN	04/23/21
MR-7.3	MARKET RATE 6TH FLOOR PLAN	04/23/21
MR-8	MARKET RATE EXTERIOR ELEVATIONS	04/23/21
MR-9	MARKET RATE EXTERIOR ELEVATIONS	04/23/21
MR-10	MARKET RATE AMERICAN BLVD. SETBACK	04/23/21
MR-11	MARKET RATE ROOF PLAN AND ELEVATIONS	04/23/21
MR-12	MARKET RATE TYPICAL UNIT FLOOR PLANS	04/23/21

CIVIL		
SHEET	SHEET NAME	DATE ISSUED
C-1.0	COVER PAGE	04/21/21
C-2.0	EXISTING CONDITIONS	04/21/21
C-2.1	TREE INVENTORY	04/21/21
C-3.0	DEMOLITION PLAN	04/21/21
C-4.0	SITE PLAN	04/21/21
C-5.0	GRADING AND EROSION CONTROL PLAN	04/21/21
C-5.1	EROSION CONTROL, SWPPP, AND BLUFF PROTECTION NOTES	04/21/21
C-6.0	UTILITY PLAN	04/21/21
C-7.0	DETAILS	04/21/21
C-7.1	DETAILS	04/21/21
C-7.2	DETAILS	04/21/21
C-7.3	DETAILS	04/21/21
L-1.0	LANDSCAPE PLAN	04/21/21
L-2.0	LANDSCAPE DETAILS	04/21/21

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REFERENCE ONLY

04/23/21
Date
Project Architect
Principal in Charge
Project Number
19020
CITY
SUBMITTAL
COVER SHEET
MR-1
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PROJECT DATA:

MARKET RATE (MR)

PARCEL ID:	0602723240014
ADDRESS:	3701 AMERICAN BLVD. E
AREA:	166,172 SF (3.81 ACRES)
UNITS / ACRE:	63.5 UNITS / ACRE
FAR:	1.41
% BUILDING COVERAGE:	33.8%
% IMPERVIOUS:	49.7%
ZONING DESIGNATION:	HX-R
CONSTRUCTION TYPE:	IA / IIIA
APPLICATION:	PRELIMINARY DEVELOPMENT PLAN

UNIT MIX BY TYPE - CITY SUBMITTAL				
UNIT	COUNT	PERCENTAGE	AREA	AVG. AREA
STUDIO	45	19.1%	23582 SF	524 SF
STUDIO (TYPE A)	1	0.4%	522 SF	522 SF
ALCOVE	32	13.6%	19107 SF	597 SF
ALCOVE (TYPE A)	1	0.4%	602 SF	602 SF
1 BED	91	38.6%	66006 SF	724 SF
1 BED (TYPE A)	1	0.4%	699 SF	699 SF
1 BED + DEN	10	4.2%	8165 SF	813 SF
1 BED + DEN (TYPE A)	1	0.4%	796 SF	796 SF
1 BED + DEN	6	2.5%	6206 SF	1,080 SF
2 BED	35	14.8%	39379 SF	1,080 SF
2 BED (TYPE A)	1	0.4%	1045 SF	1,045 SF
2 BED / 1 BATH	6	2.5%	5136 SF	1,080 SF
2 BED + DEN	6	2.5%	7183 SF	1,201 SF
Grand total	236	100.0%	178426 SF	

5 ADA UNITS / 236 TOTAL = 2.1%

MARKET RATE GROSS BUILDING AREA	
LEVEL	AREA
MR - LOWER GARAGE P2	53903 SF
MR - UPPER GARAGE P1	53903 SF
MR - LEVEL 1	39287 SF
MR - LEVEL 2	39207 SF
MR - LEVEL 3	39207 SF
MR - LEVEL 4	39207 SF
MR - LEVEL 5	39207 SF
MR - LEVEL 6	38404 SF
Grand total	342322 SF

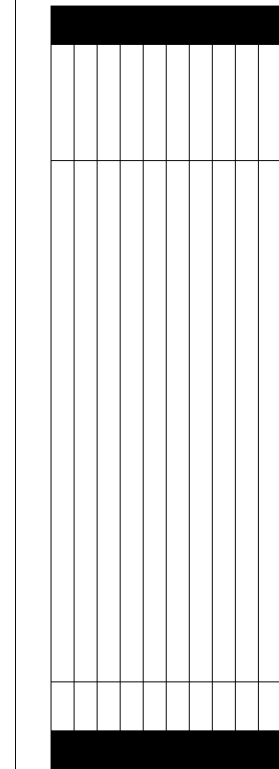
MARKET RATE PARKING	
TYPE	COUNT
MR - LG	
8' x 18' ADA	1
9' x 18' ADA	4
8' - 6" x 18'	24
8' x 16' Compact	3
8' x 18' Compact	18
9' x 16' Compact	4
9' x 18'	70
	124

MARKET RATE PARKING	
TYPE	COUNT
MR - STREET	
9' x 18' ADA	1
9' x 18'	19
	20
MR - UG	
8' x 18' ADA	1
9' x 18' ADA	4
8' - 6" x 18'	18
8' x 16' Compact	3
8' x 18' Compact	16
9' x 16' Compact	4
9' x 18'	74
	120
Grand total	264



ARDOR AT THE BLUFFS

34TH AVENUE SOUTH, BLOOMINGTON, MN 55425

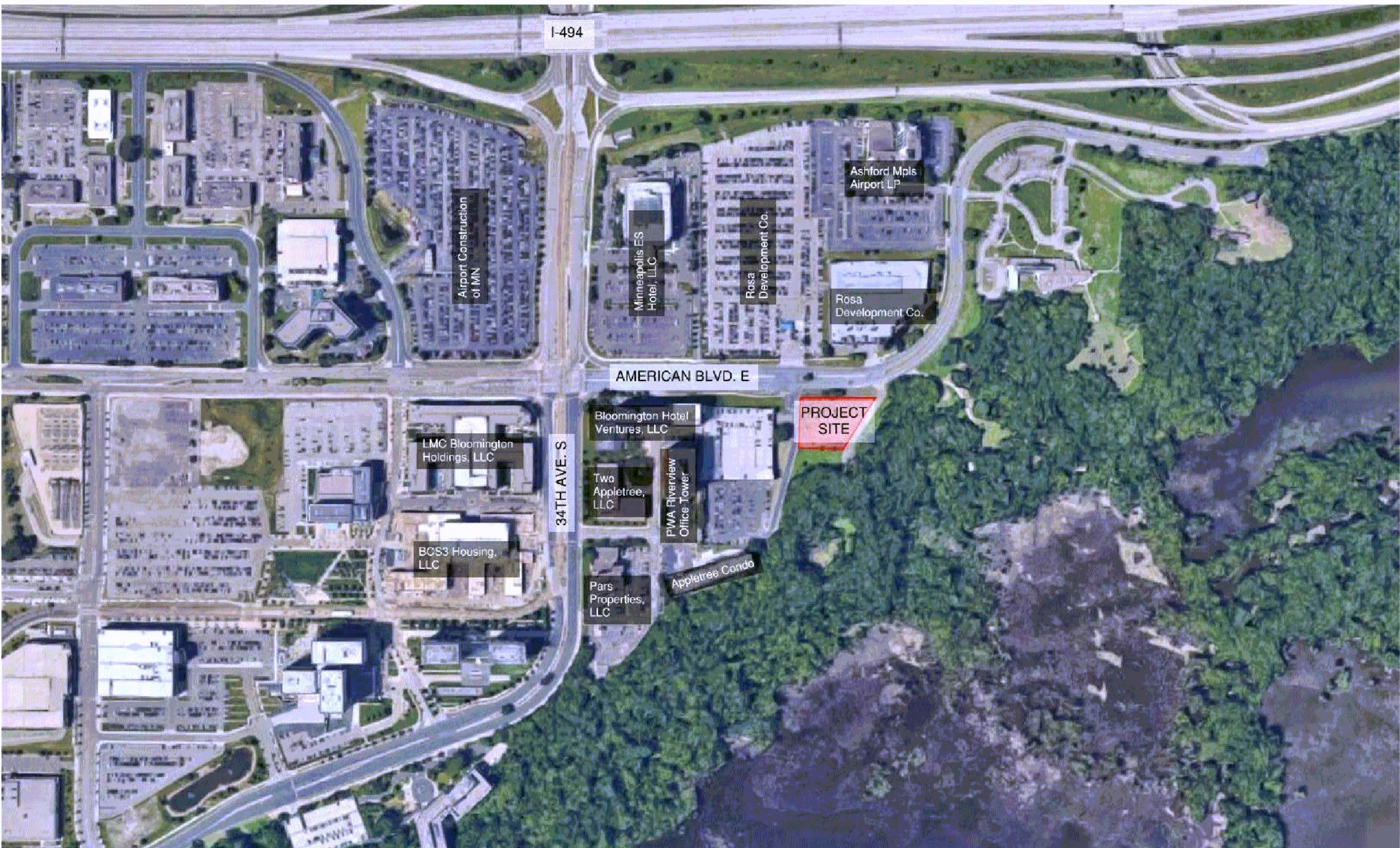


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Project Architect	NJ
Principal in Charge	Checker
Project Number	15920

CITY
SUBMITTAL
PROJECT
SUMMARY

MR-2



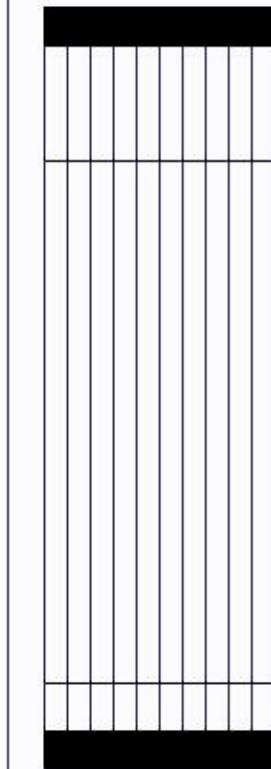
PROJECT LOCATION MAP WITH ADJACENT PROPERTY OWNERS



PROJECT AERIAL VIEW WITH ADJACENT PROPERTY OWNERS



VIEW OF BUILDING ENTRANCE FROM NORTH WEST



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Date	04/22/21	By	NJ
Project Architect		Checker	
Principal in Charge		Project Number	18029

VIEW OF
ENTRY

MR-4



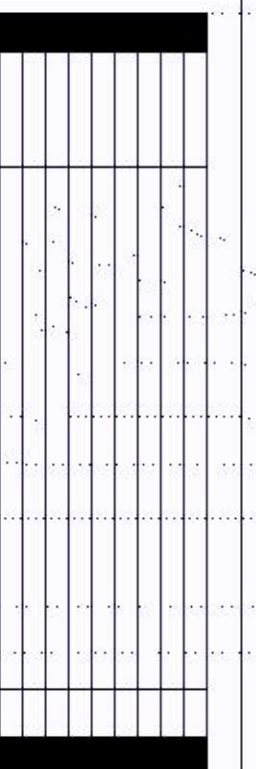
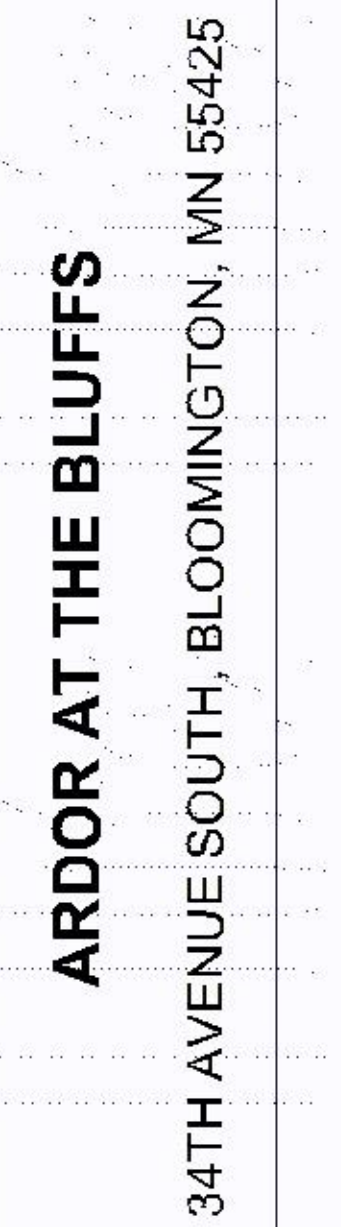
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34TH AVENUE SOUTH, BLOOMINGTON, MN 55425

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Project Architect	NJ
Principal in Charge	Checker
Project Number	19020

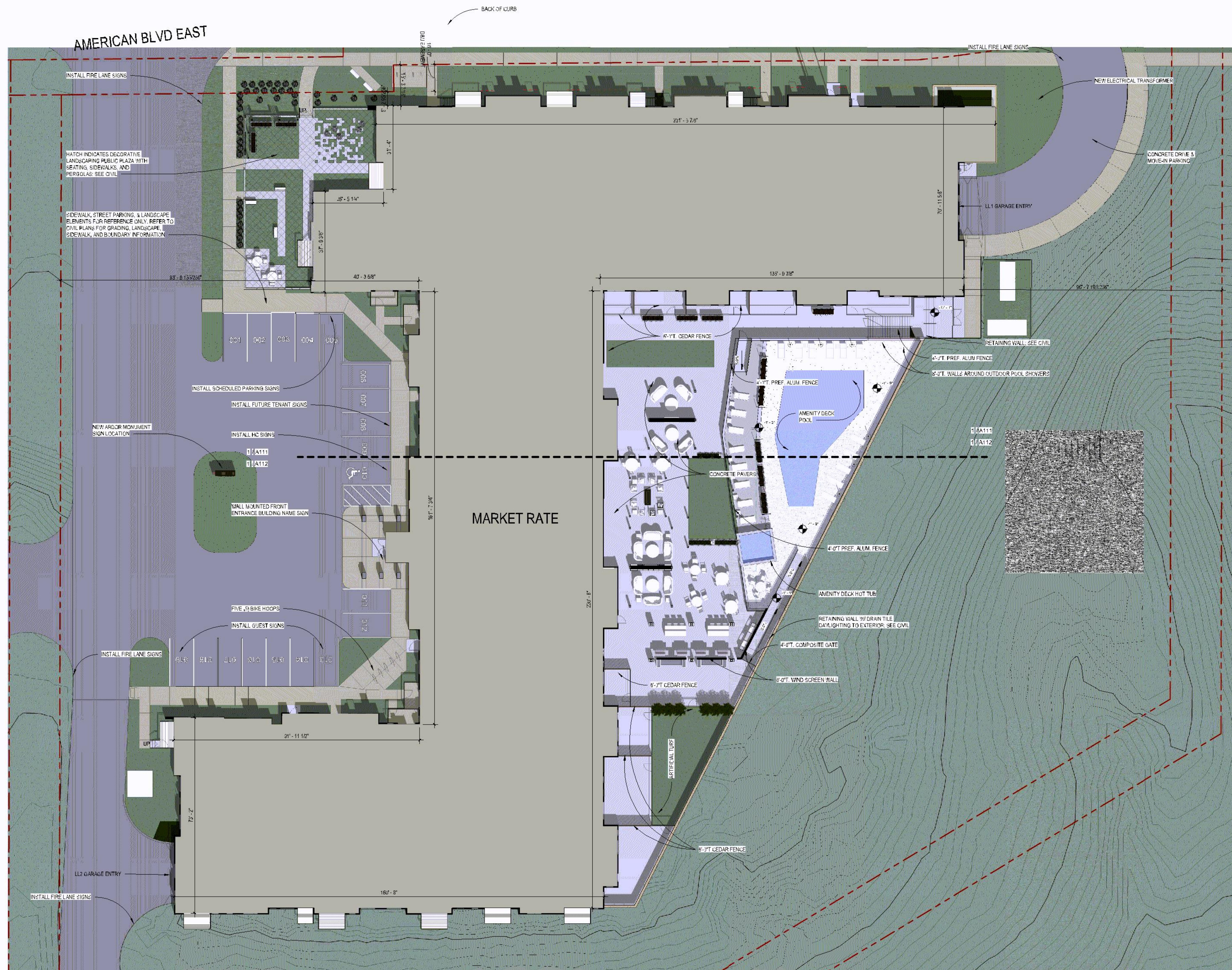
IR-5



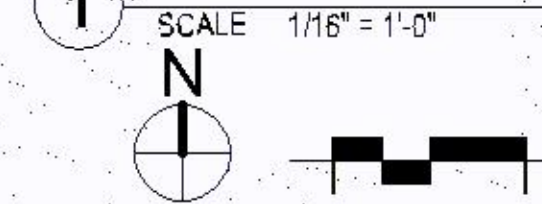
ARCHITECTURAL
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Date	Project Architect	NJ	JEW	19020
	Principal in Charge			
	Project Number			

MARKET RATE
SITE PLAN
MR-6

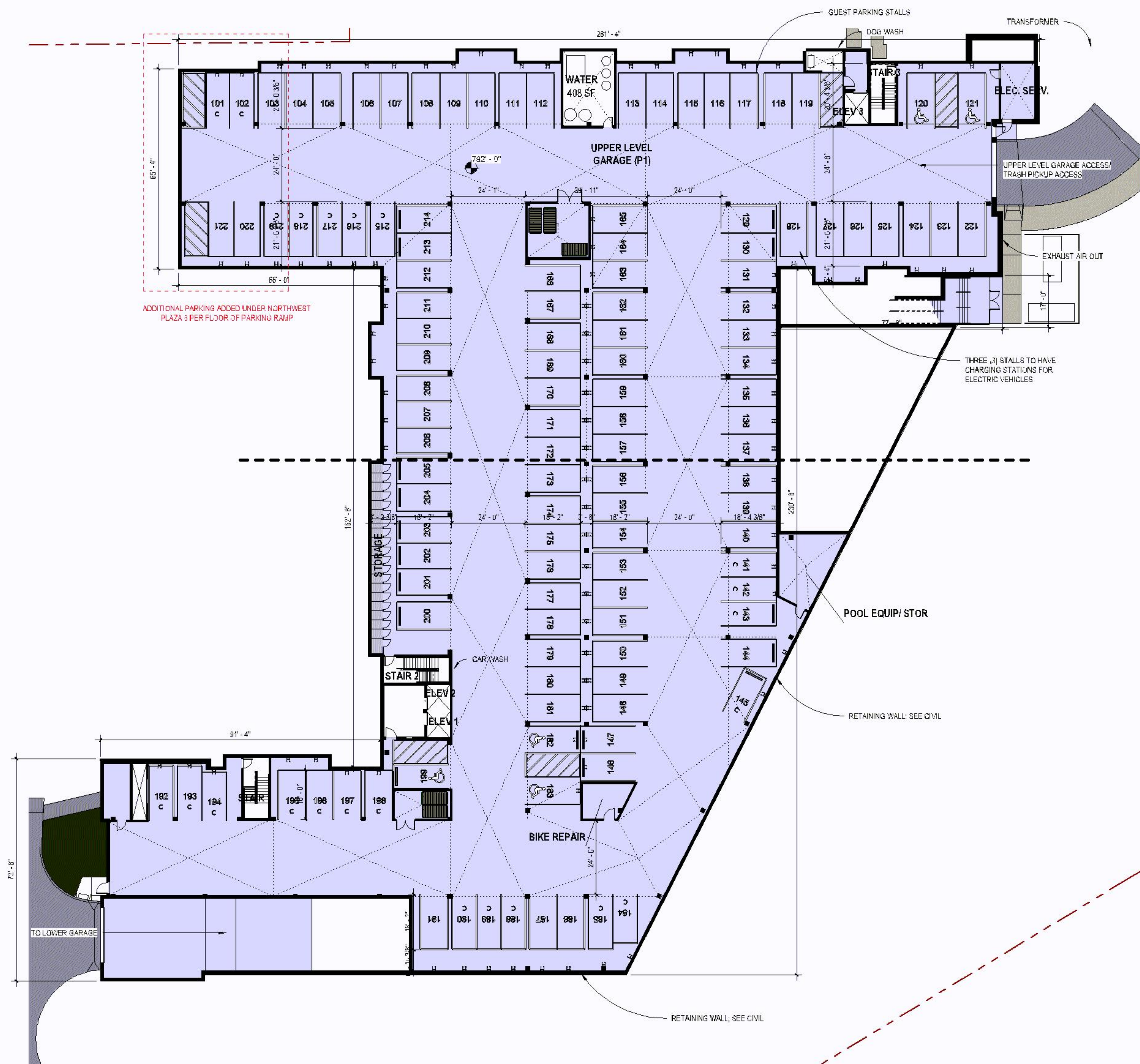


1 MARKET RATE SITE PLAN



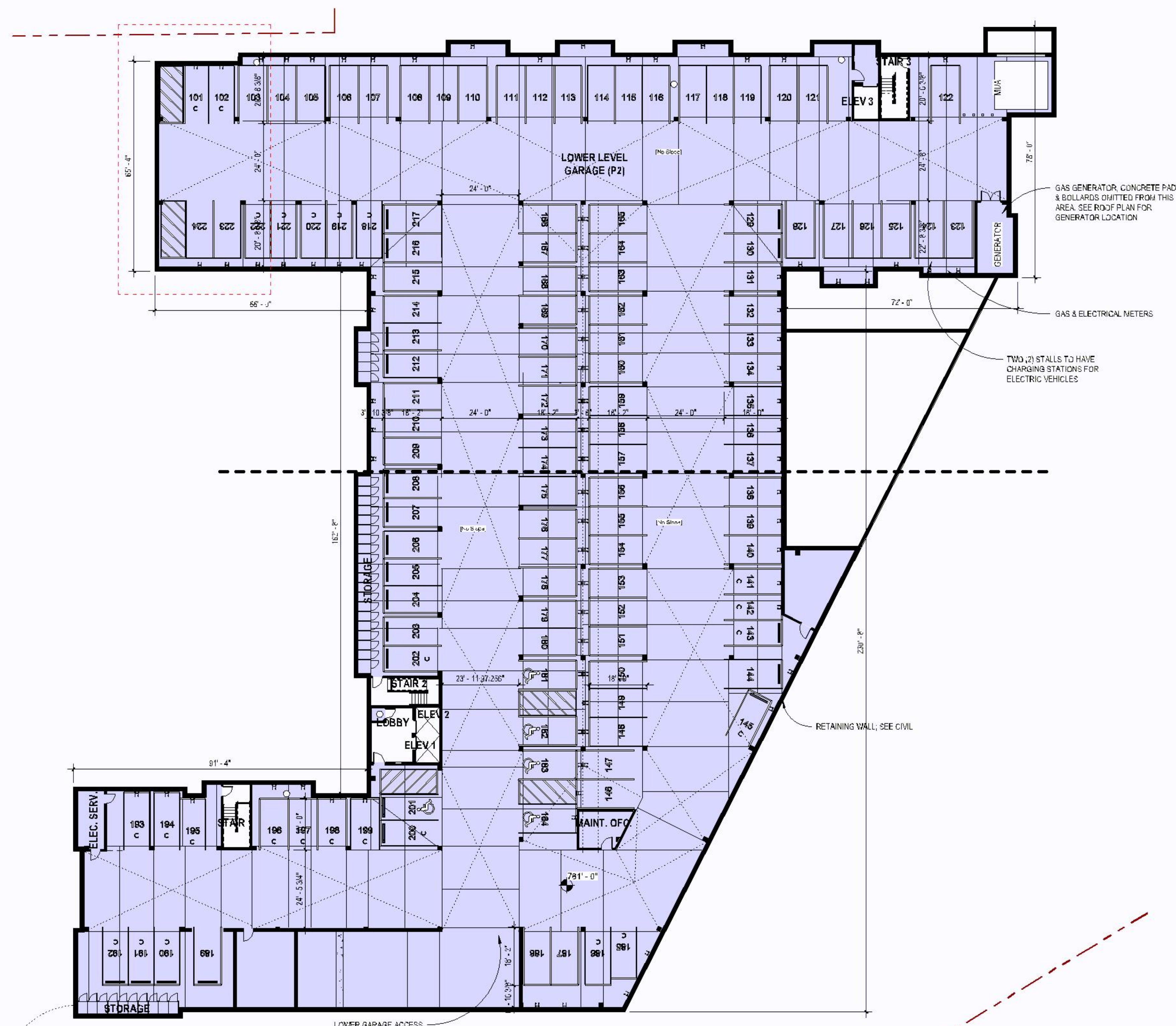
ARCHITECTURAL SITE PLAN NOTES:

1. PROVIDE CONTROL JOINTS IN SIDEWALKS; SEE CIVIL SPECS.
2. SEE ELECTRICAL SITE LIGHTING PLAN, CIVIL DRAWINGS & LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION.



1 MARKET RATE UPPER LEVEL PARKING FLOOR PLAN

SCALE 1" = 20'-0"

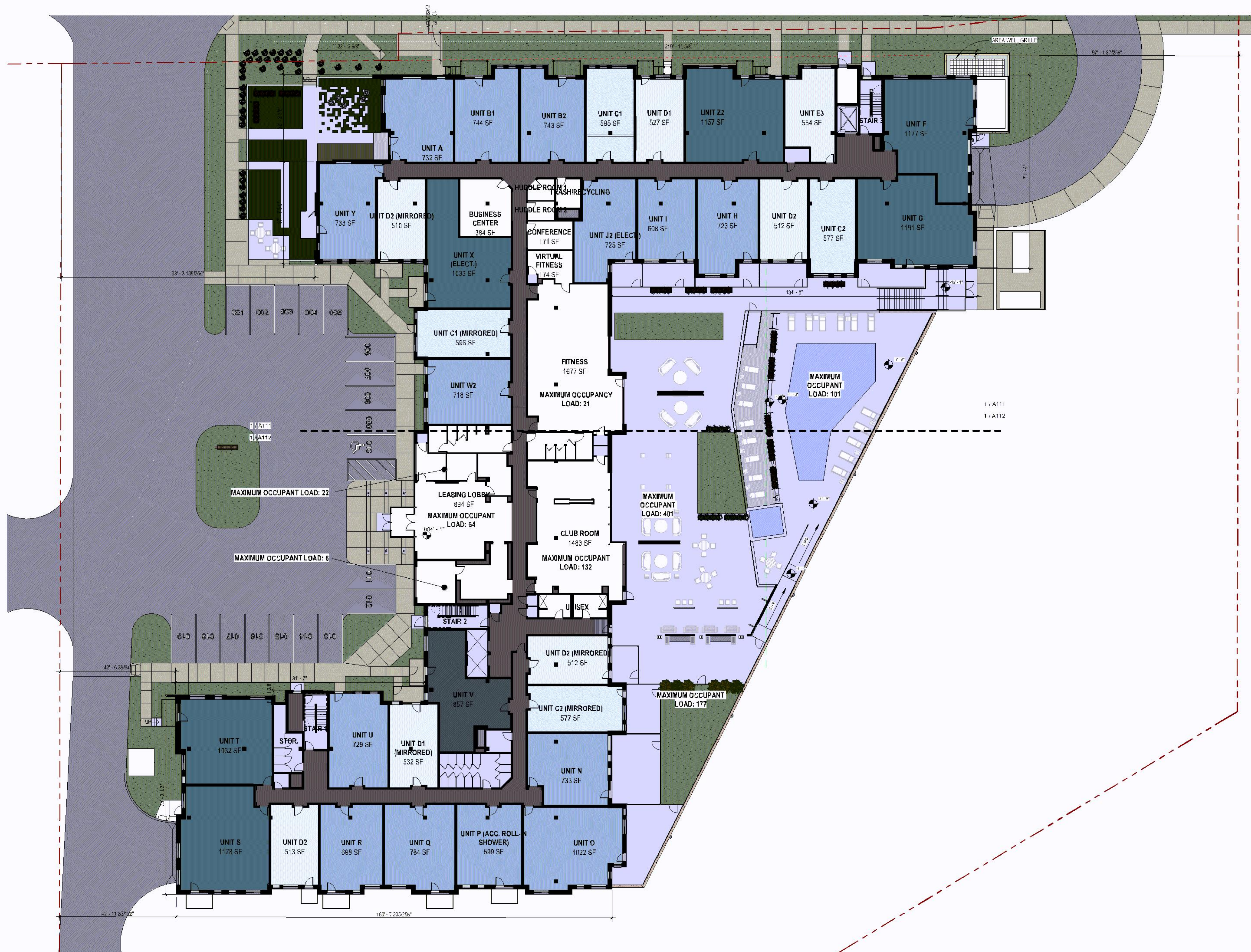


2 MARKET RATE LOWER LEVEL PARKING FLOOR PLAN

SCALE 1" = 20'-0"

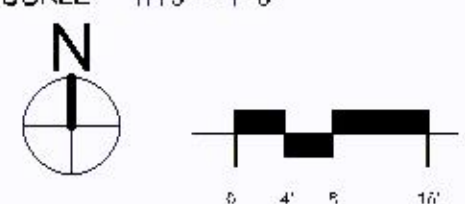
DESIGN/BUILD FIRE SUPPRESSION NOTES:
1. CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM WHICH SHALL MEET THE REQUIREMENTS OF APPENDIX L IN THE 2015 MNC. THIS SYSTEM SHALL BE PROVIDED THROUGHOUT EVERY BUILDING, STRUCTURE, AND FLOOR.
2. HOSE VALVES SHALL BE PROVIDED THROUGHOUT THE LOWER LEVEL OF THE PARKING GARAGE WITHIN 150' OF ALL AREAS OF THE GARAGE IF A DRY STANDPIPE EXISTS OR WITHIN 200 FEET OF A WET STANDPIPE SYSTEM.
3. FIRE ALARM AND ANNUNCIATOR PANELS AND KNOX BOX LOCATIONS SHALL BE DETERMINED BY THE FIRE PREVENTION DIVISION. THE MR BUILDING SHALL BE EQUIPPED WITH TWO ANNUNCIATOR PANELS AND TWO KNOX BOXES. THE WF BUILDING SHALL BE EQUIPPED WITH ONE ANNUNCIATOR PANEL AND ONE KNOX BOX.
4. FIRE DEPARTMENT ACCESS SHALL BE PROVIDED TO/FROM ALL STAIRWELLS ON ALL FLOORS AND PARKING LEVELS.
5. STANDPIPE COVERAGE/HOUSE VALVES SHALL BE LOCATED AT THE LANDINGS IN STAIRWELLS AND WITHIN 200' OF ALL AREAS.

- UNIT TYPE KEY
- STUDIO/ ALCOVE
 - 1 BED/ 1 BATH
 - 2 BED/ 2 BATH
 - 2 BED/ 1 BATH



1 MARKET RATE FIRST FLOOR PLAN

SCALE 1/16" = 1'-0"

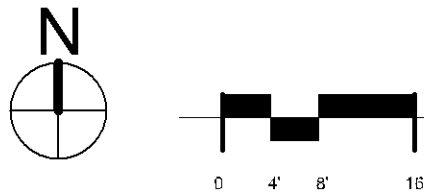


DESIGN/BUILD FIRE SUPPRESSION NOTES:
1. CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM WHICH SHALL MEET THE REQUIREMENTS OF APPENDIX L IN THE 2015 IBC. THIS SYSTEM SHALL BE PROVIDED THROUGHOUT EVERY BUILDING STRUCTURE AND FLOOR.
2. HOSE VALVES SHALL BE PROVIDED THROUGHOUT THE LOWER LEVEL OF THE PARKING GARAGE WITHIN 100' OF ALL AREAS OF THE GARAGE IF A DRY STANDPIPE EXISTS OR WITHIN 200 FEET OF A WET STANDPIPE SYSTEM.
3. FIRE ALARM AND ANNUNCIATOR PANELS AND KNX BOX LOCATIONS SHALL BE DETERMINED BY THE FIRE PREVENTION DIVISION. THE MR BUILDING SHALL BE EQUIPPED WITH TWO ANNUNCIATOR PANELS AND TWO KNX BOXES. THE MR BUILDING SHALL BE EQUIPPED WITH ONE ANNUNCIATOR PANEL AND ONE KNX BOX.
4. FIRE DEPARTMENT ACCESS SHALL BE PROVIDED TO/FROM ALL STAIRWELLS ON ALL FLOORS AND PARKING LEVELS.
5. STANDPIPE COVER/HEADS/VALVES SHALL BE LOCATED AT THE LANDINGS IN STAIRWELLS AND WITHIN 30' OF ALL AREAS.



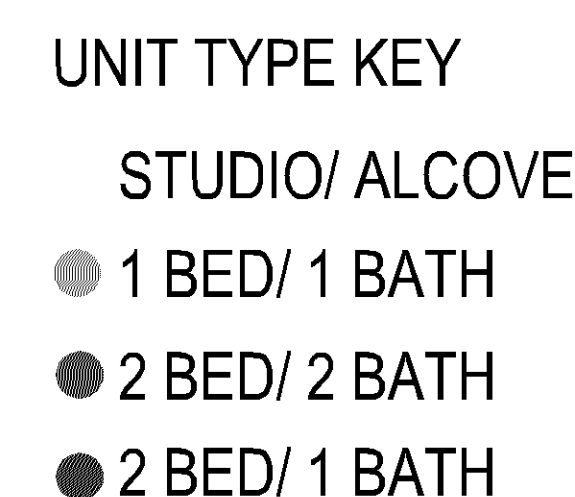
1 MARKET RATE TYPICAL FLOOR PLAN (LEVELS 2-5)

SCALE 1/16" = 1'-0"



DESIGN/BUILD FIRE SUPPRESSION NOTES:

1. CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM WHICH SHALL MEET THE REQUIREMENTS OF APPENDIX L IN THE 2015 MFGC. THIS SYSTEM SHALL BE PROVIDED THROUGHOUT EVERY BUILDING, STRUCTURE, AND FLOOR.
2. HOSE VALVES SHALL BE PROVIDED THROUGHOUT THE LOWER LEVEL OF THE PARKING GARAGE WITHIN 150' OF ALL AREAS OF THE GARAGE IF A DRY STANDPIPE EXISTS OR WITHIN 200 FEET OF A WET STANDPIPE SYSTEM.
3. FIRE ALARM AND ANNUNCIATOR PANELS AND KNXBOX LOCATIONS SHALL BE DETERMINED BY THE FIRE PREVENTION DIVISION. THE MR BUILDING SHALL BE EQUIPPED WITH TWO ANNUNCIATOR PANELS AND TWO KNXBOXES. THE WF BUILDING SHALL BE EQUIPPED WITH ONE ANNUNCIATOR PANEL AND ONE KNXBOX.
4. FIRE DEPARTMENT ACCESS SHALL BE PROVIDED TO/FROM ALL STAIRWELLS ON ALL FLOORS AND PARKING LEVELS.
5. STANDPIPE COVERAGEHOSE VALVES SHALL BE LOCATED AT THE LANDINGS IN STAIRWELLS AND WITHIN 200' OF ALL AREAS.



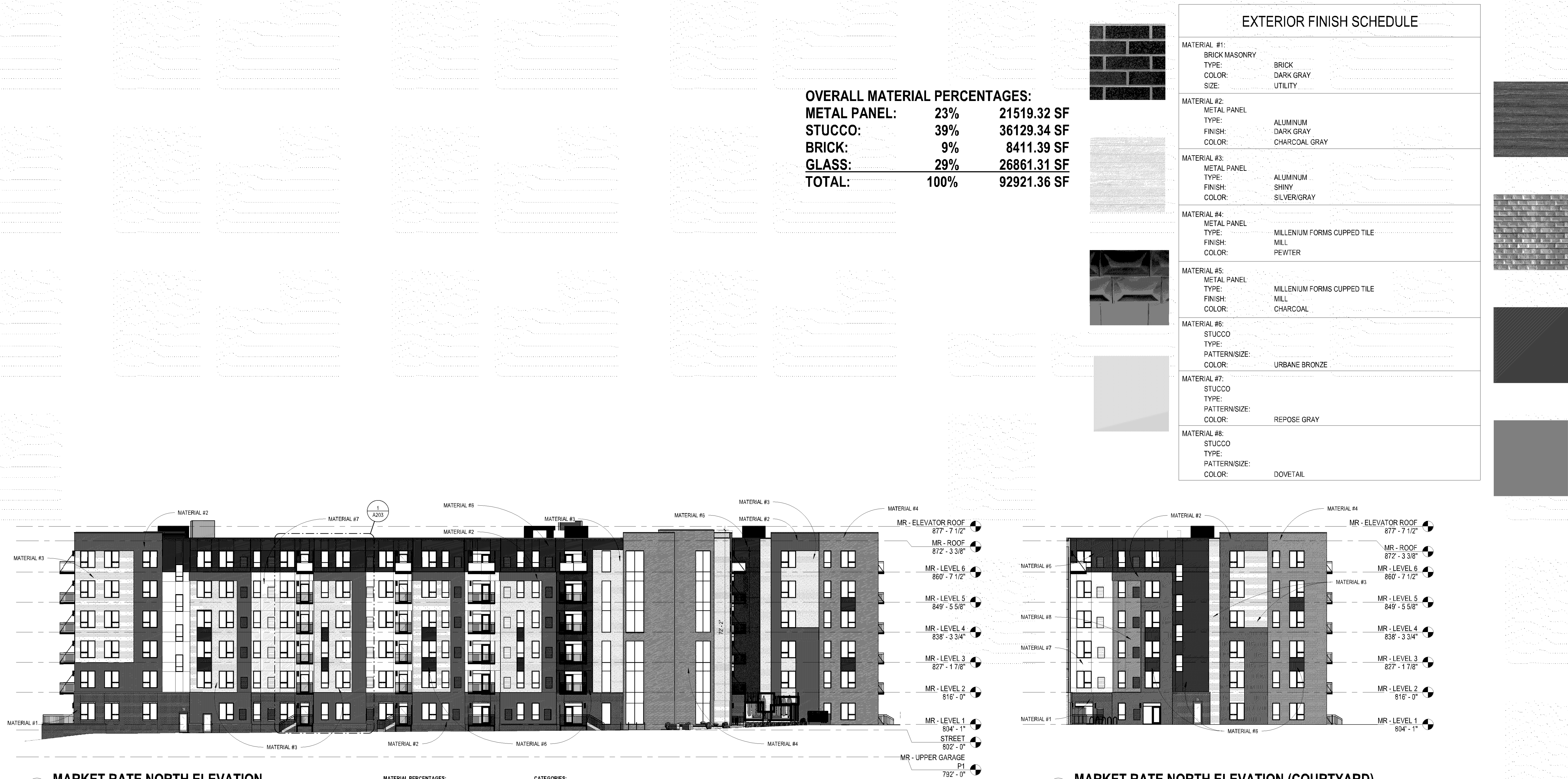
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Date	04/23/21
Project Architect	NJ
Principal in Charge	JBW
Project Number	19020

MARKET RATE
6TH FLOOR
PLAN

MR-7.3



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EXTERIOR FINISH SCHEDULE

MATERIAL #1:	BRICK MASONRY	BRICK
TYPE:		
COLOR:		DARK GRAY
SIZE:		UTILITY
MATERIAL #2:	METAL PANEL	ALUMINUM
TYPE:		
FINISH:		DARK GRAY
COLOR:		CHARCOAL GRAY
MATERIAL #3:	METAL PANEL	ALUMINUM
TYPE:		
FINISH:		SHINY
COLOR:		SILVER/GRAY
MATERIAL #4:	METAL PANEL	MILLENNIUM FORMS CUPPED TILE
TYPE:		
FINISH:		MILL
COLOR:		PEWTER
MATERIAL #5:	METAL PANEL	MILLENNIUM FORMS CUPPED TILE
TYPE:		
FINISH:		
COLOR:		CHARCOAL
MATERIAL #6:	STUCCO	
TYPE:		
PATTERN/SIZE:		URBANE BRONZE
COLOR:		
MATERIAL #7:	STUCCO	
TYPE:		
PATTERN/SIZE:		REPOSE GRAY
COLOR:		
MATERIAL #8:	STUCCO	
TYPE:		
PATTERN/SIZE:		DOVETAIL
COLOR:		

THE ARDOR

1 MARKET RATE EAST ELEVATION

SCALE 1/16" = 1'-0"

MATERIAL PERCENTAGES:	
MATERIAL #1:	13%
MATERIAL #2:	2%
MATERIAL #3:	1%
MATERIAL #4:	0%
MATERIAL #5:	0%
MATERIAL #6:	31%
MATERIAL #7:	21%
GLAZING:	32%
TOTAL:	100%

CATEGORY:	
METAL PANEL:	3%
STUCCO:	52%
BRICK:	13%
GLASS:	32%
TOTAL:	100%

2 MARKET RATE WEST ELEVATION

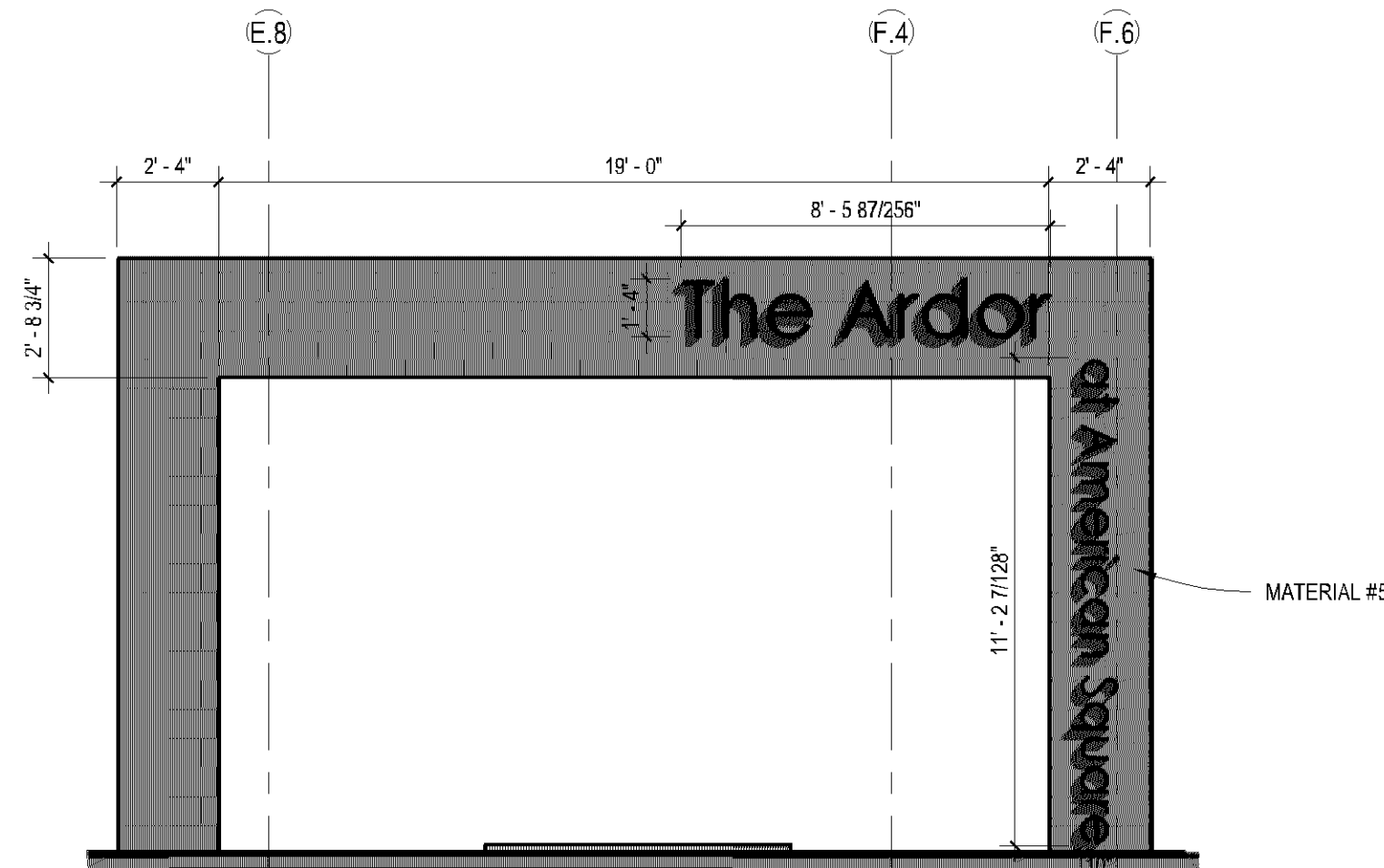
SCALE 1/16" = 1'-0"

MATERIAL PERCENTAGES:	
MATERIAL #1:	5%
MATERIAL #2:	18%
MATERIAL #3:	15%
MATERIAL #4:	0%
MATERIAL #5:	8%
MATERIAL #6:	29%
MATERIAL #7:	8%
GLAZING:	26%
TOTAL:	100%

CATEGORY:	
METAL PANEL:	33%
STUCCO:	34%
BRICK:	5%
GLASS:	28%
TOTAL:	100%

4 THE ARDOR BUILDING SIGN ELEVATION

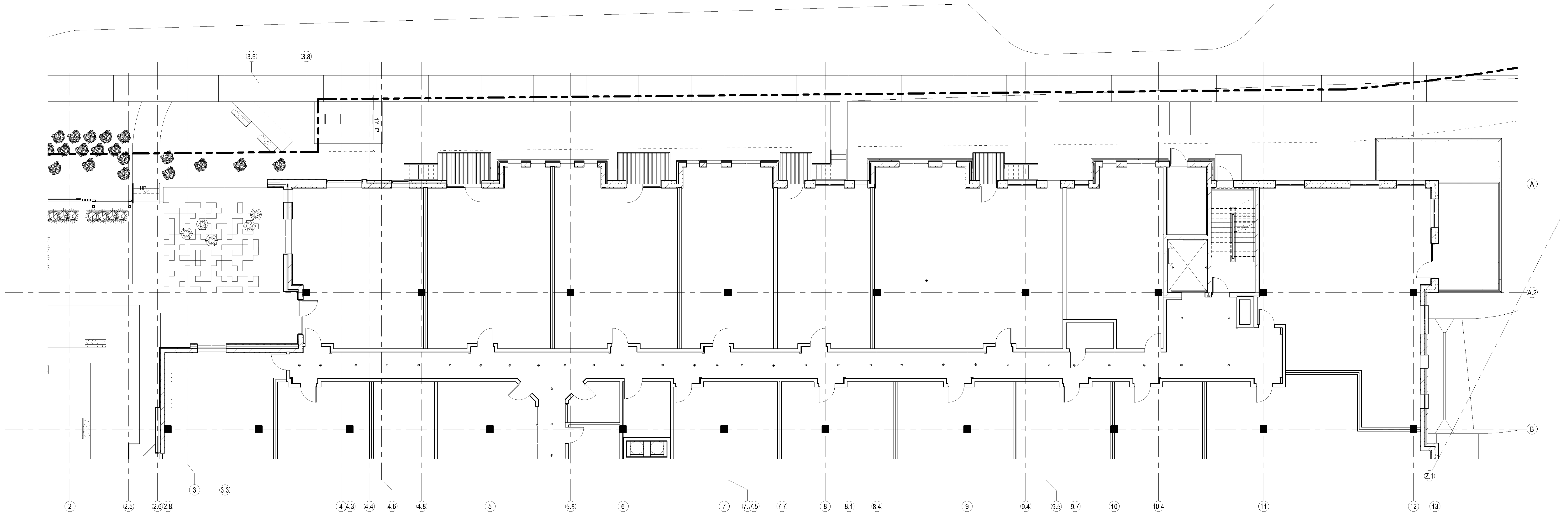
SCALE 1/4" = 1'-0"



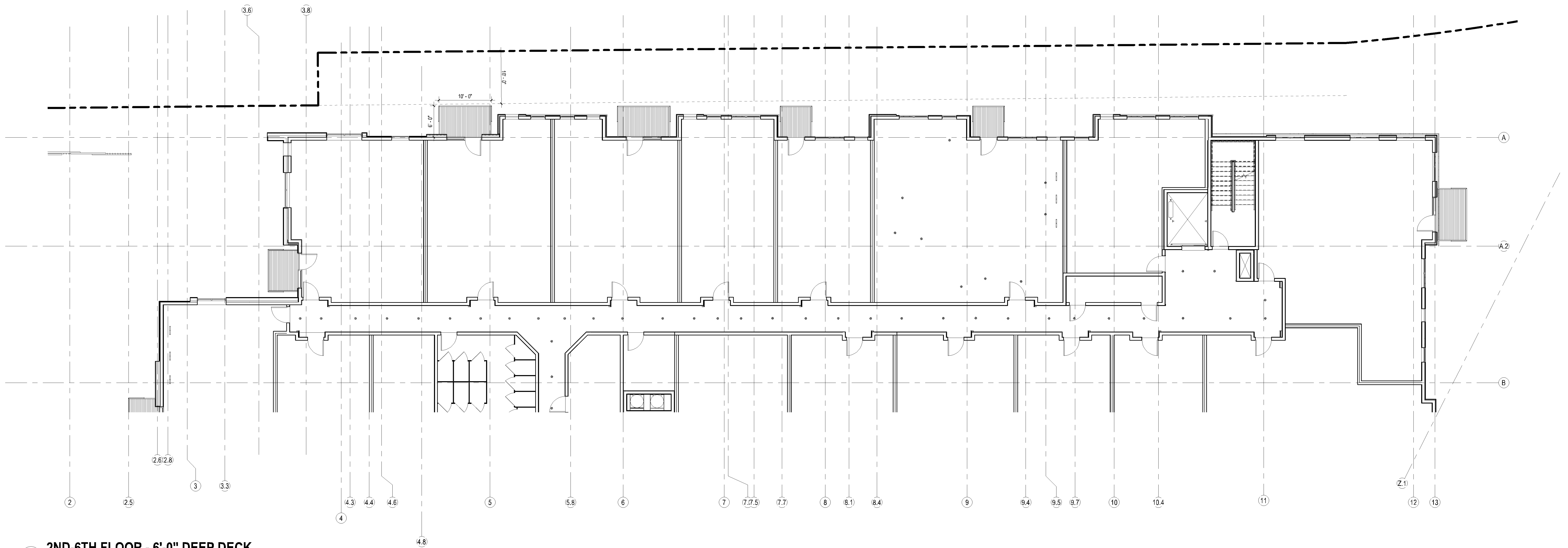
3 MARKET RATE ENTRY SIGNAGE ELEVATION

SCALE 1/4" = 1'-0"

NOT FOR CONSTRUCTION

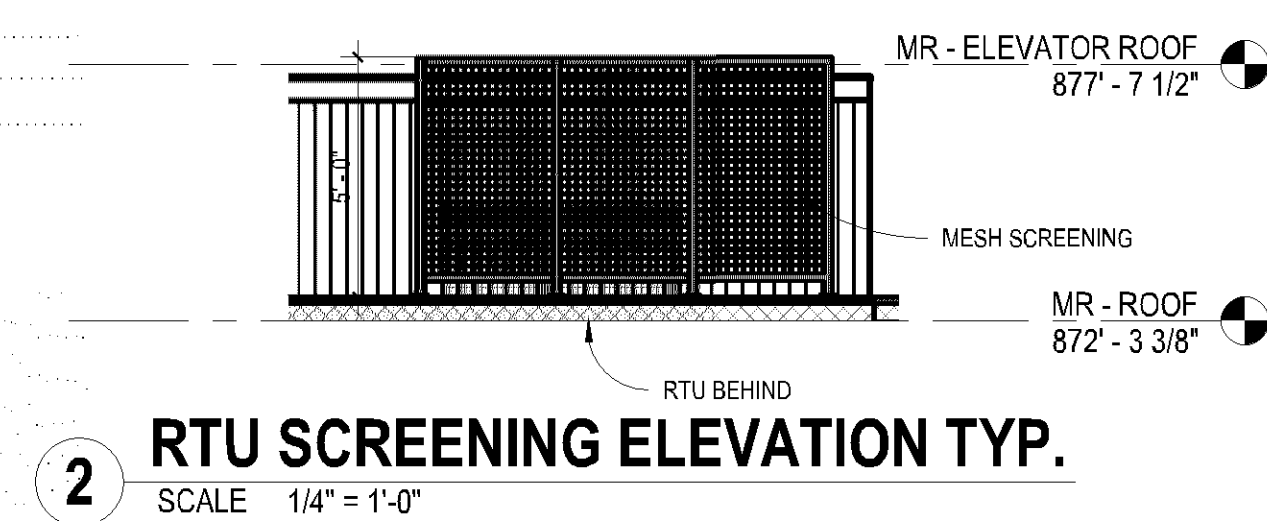
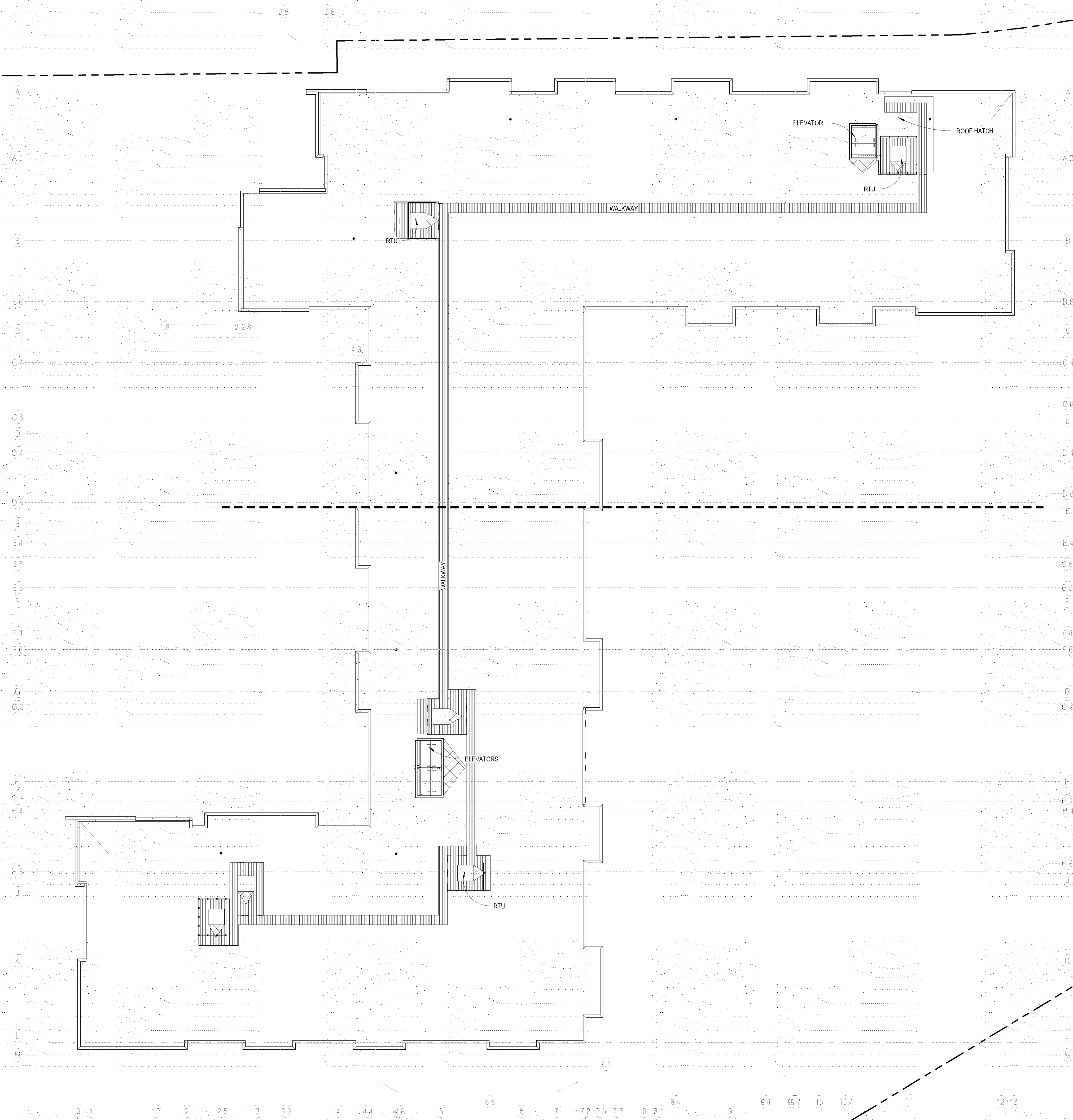


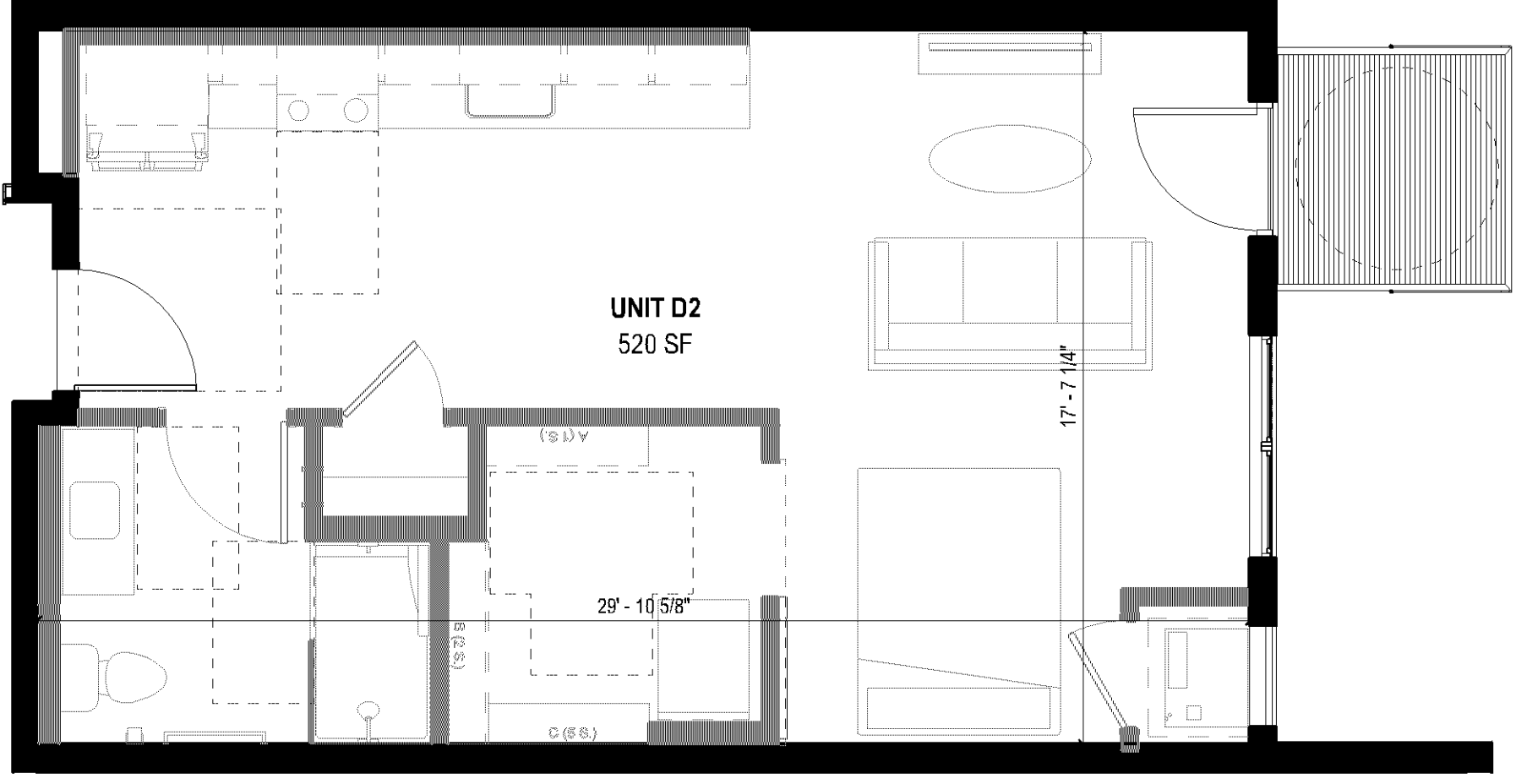
1 1ST FLOOR - 6'-0" DEEP DECK
SCALE 1/8" = 1'-0"



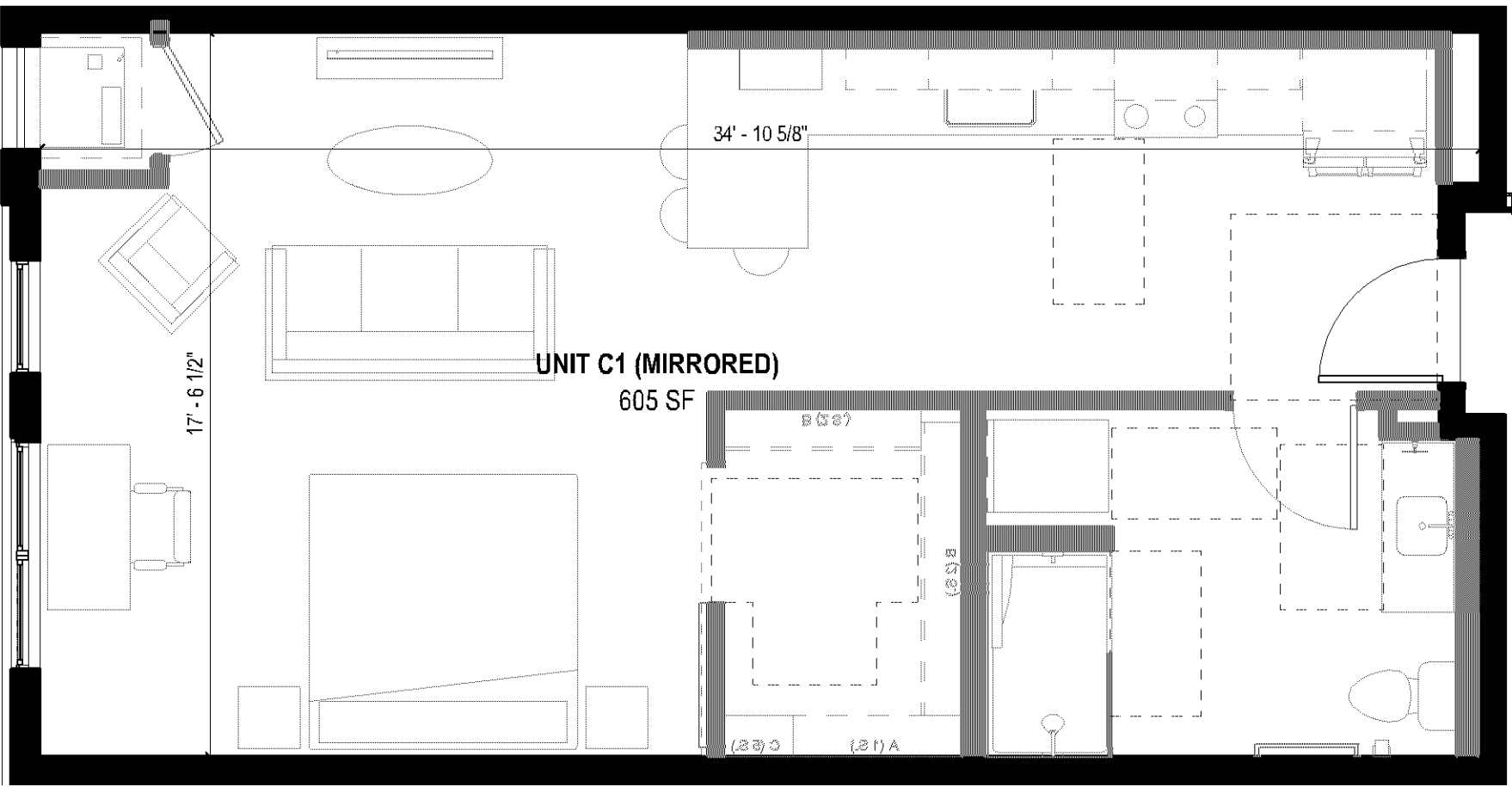
2 2ND-6TH FLOOR - 6'-0" DEEP DECK
SCALE 1/8" = 1'-0"

NOT FOR CONSTRUCTION

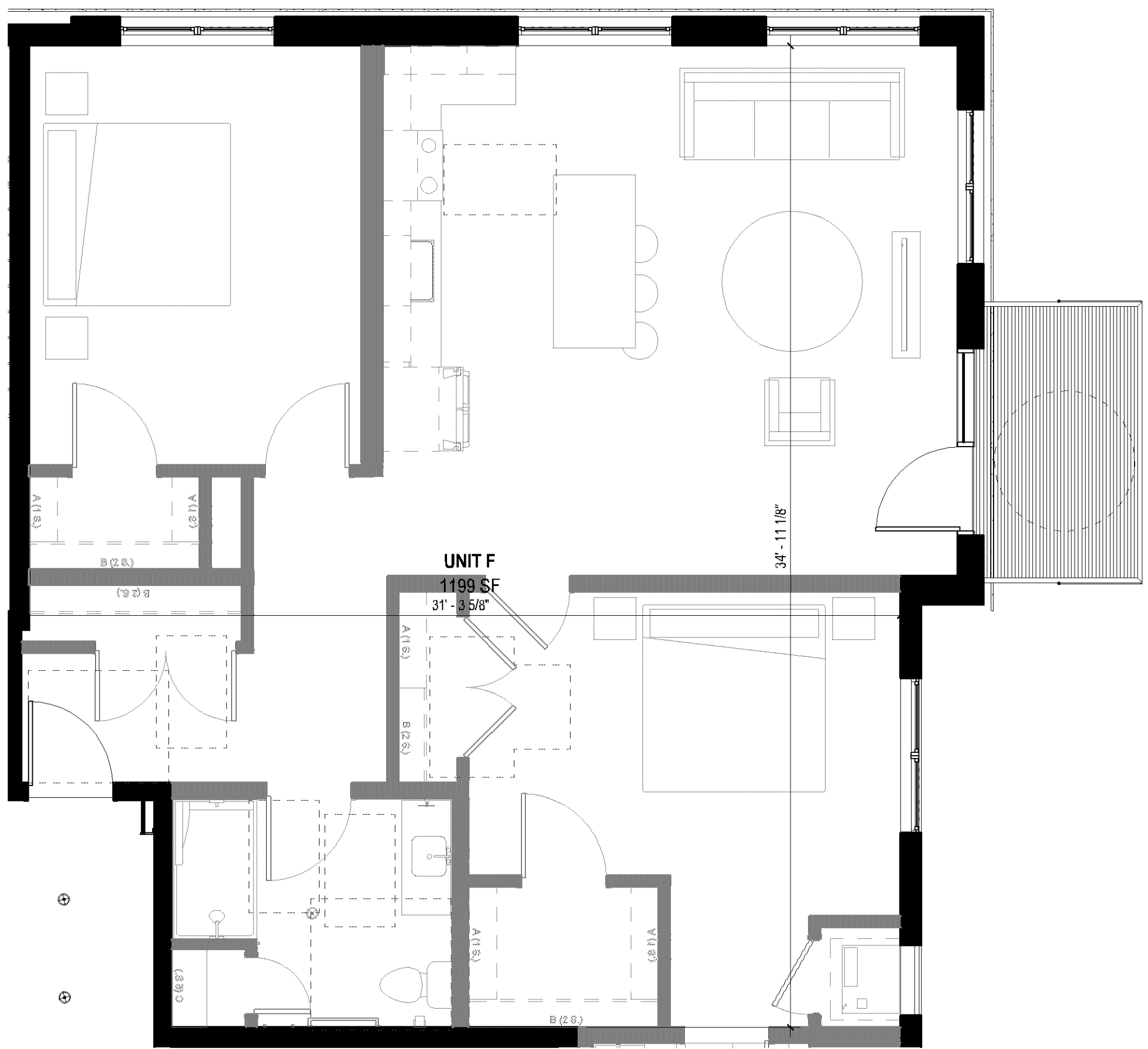




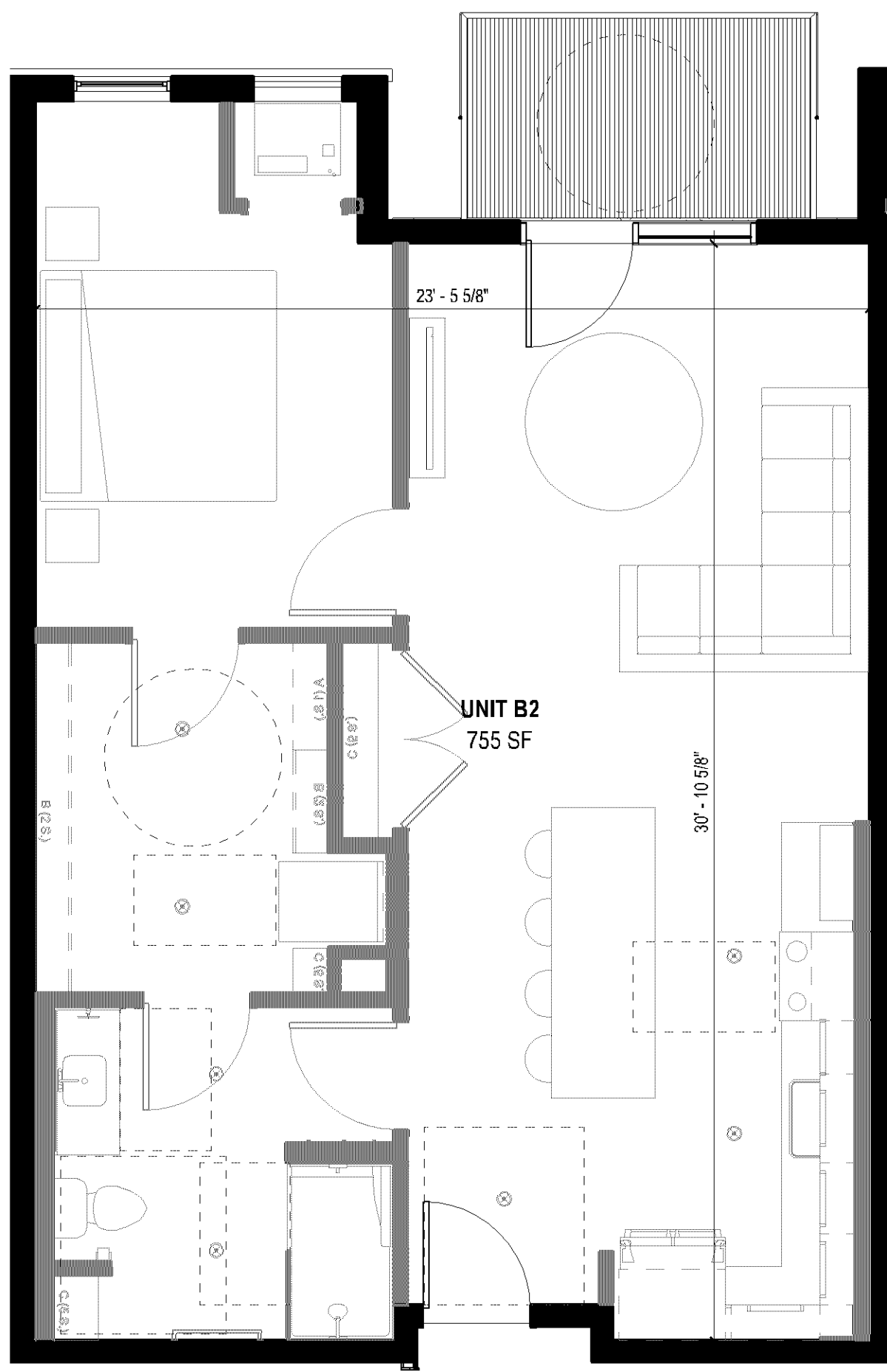
2 TYPICAL STUDIO FLOOR PLAN
SCALE 1/4" = 1'-0"



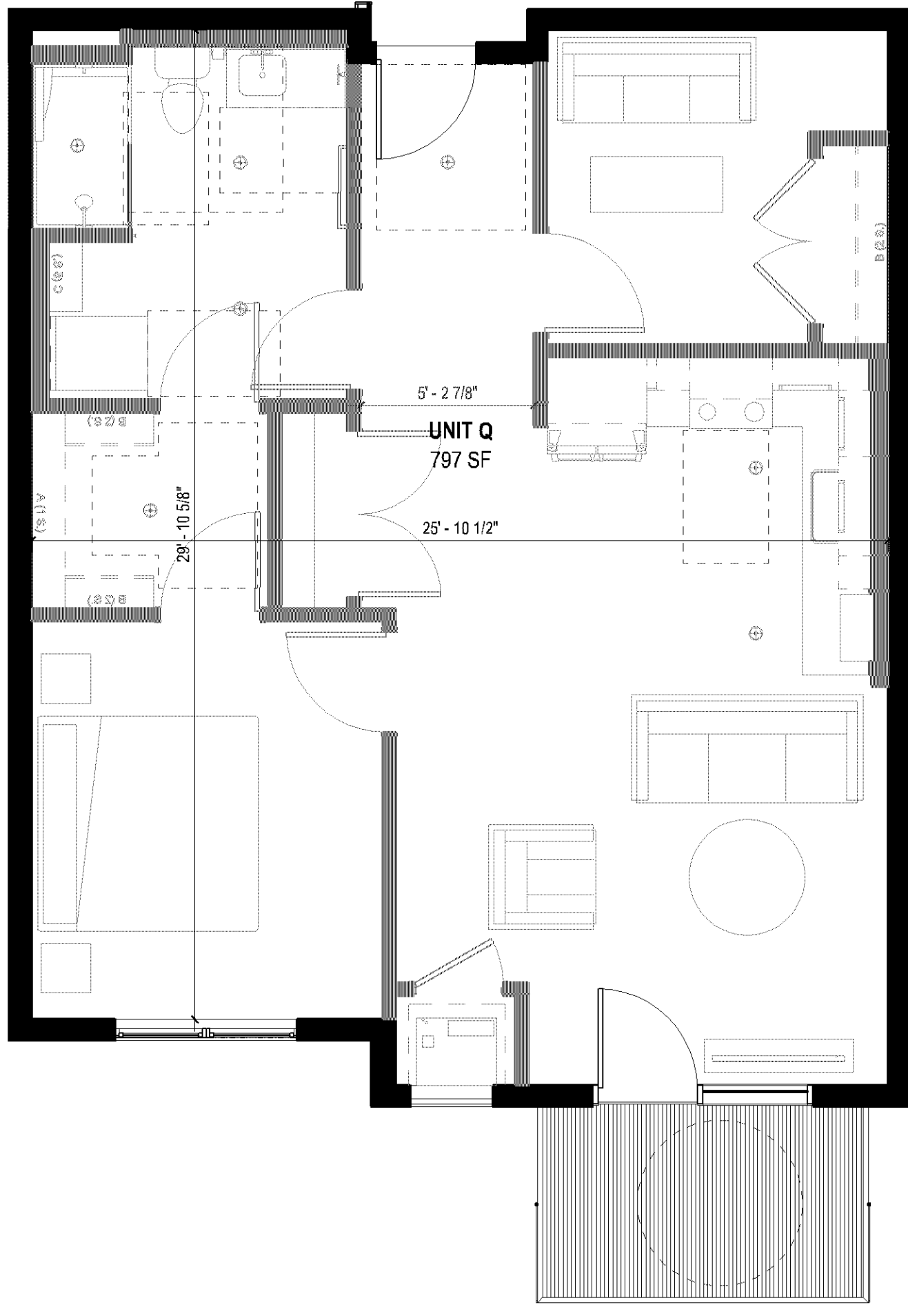
1 TYPICAL ALCOVE FLOOR PLAN
SCALE 1/4" = 1'-0"



5 TYPICAL 2 BED/1 BATH FLOOR PLAN
SCALE 1/4" = 1'-0"



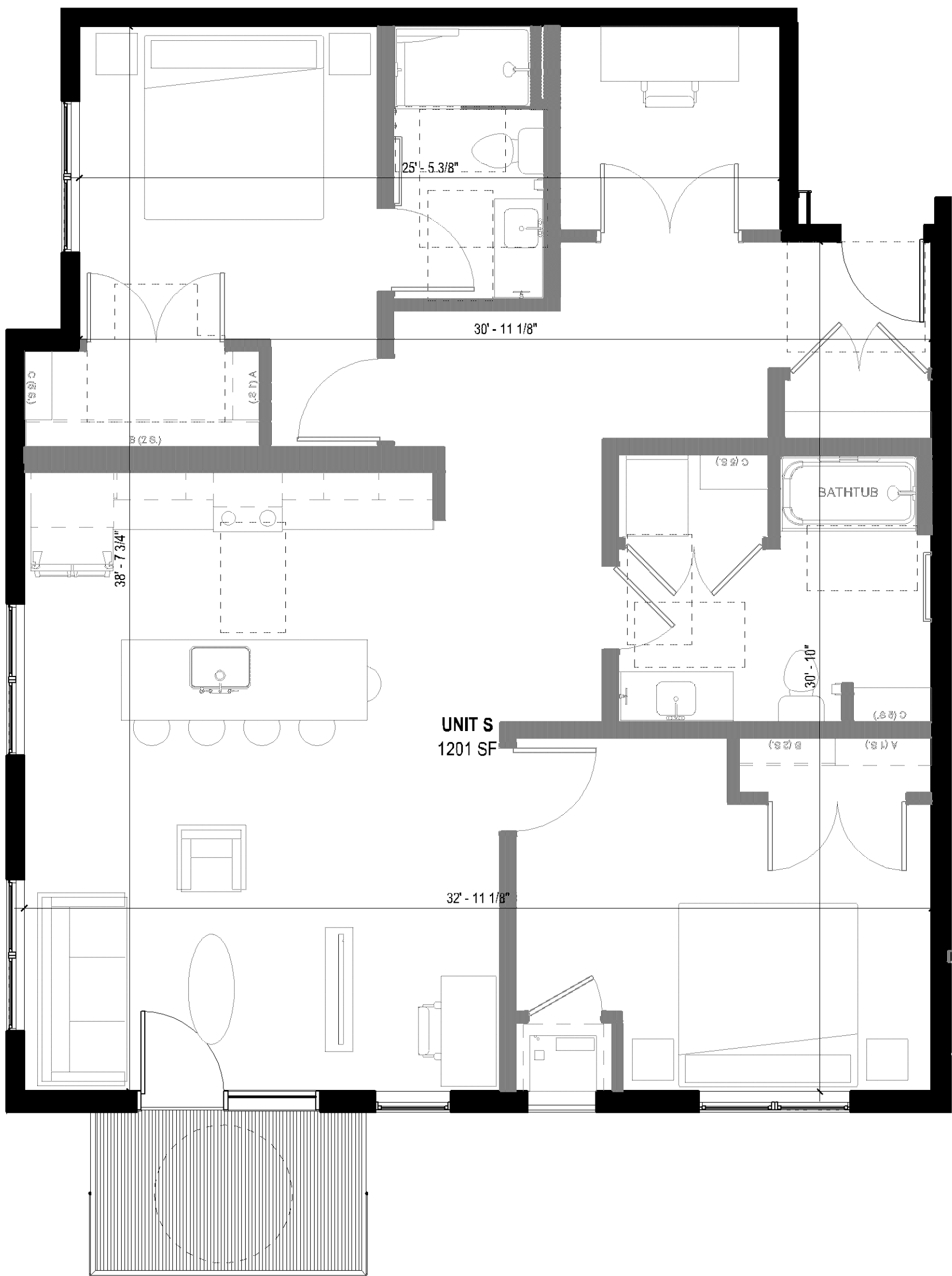
3 TYPICAL 1 BED FLOOR PLAN
SCALE 1/4" = 1'-0"



4 TYPICAL 1 BED + DEN FLOOR PLAN
SCALE 1/4" = 1'-0"



6 TYPICAL 2 BED/2 BATH FLOOR PLAN
SCALE 1/4" = 1'-0"



7 TYPICAL 2 BED + DEN FLOOR PLAN
SCALE 1/4" = 1'-0"



8 TYPICAL 3 BED FLOOR PLAN
SCALE 1/4" = 1'-0"