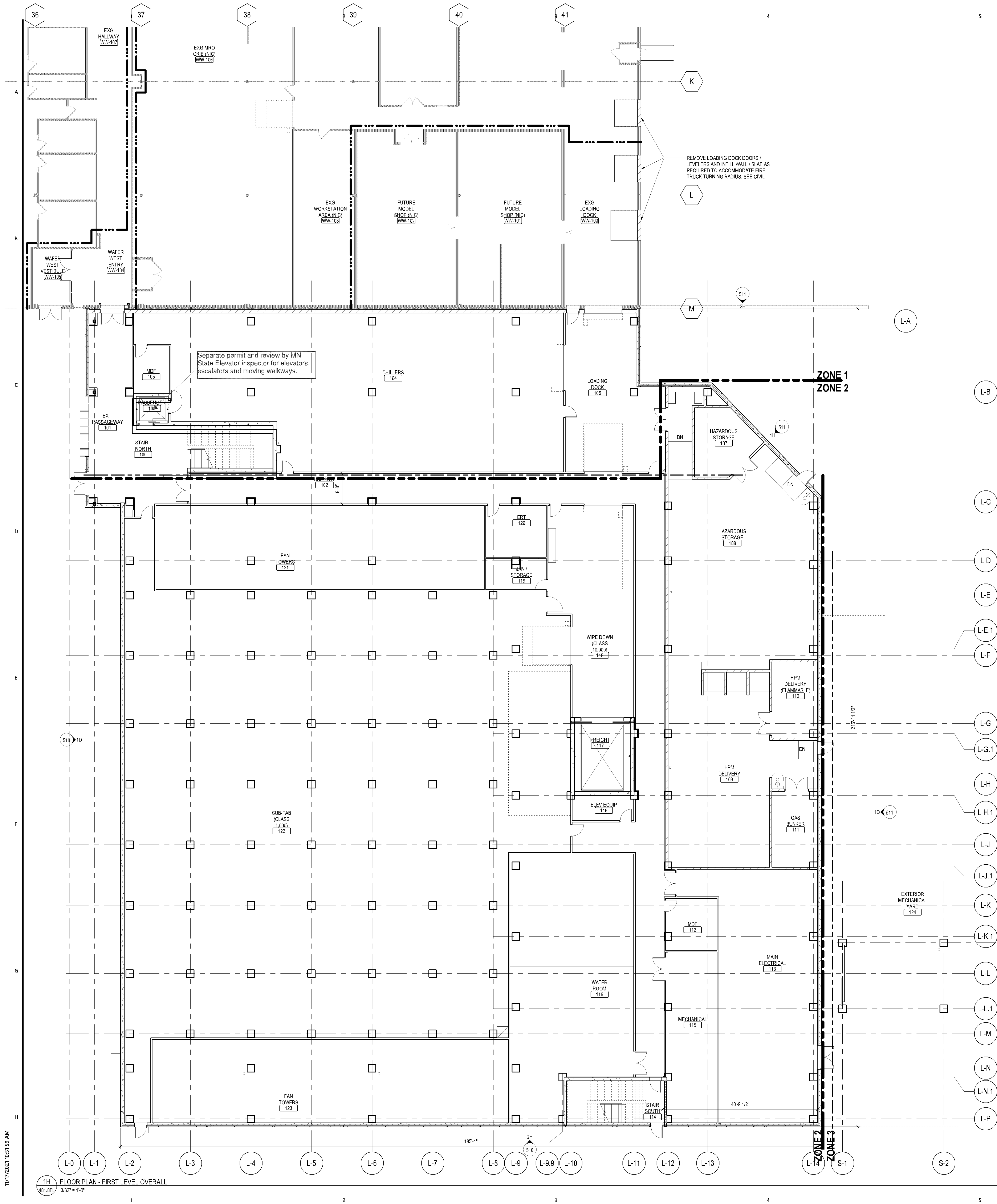




Building plans must be signed by a MN licensed architect.

When plans are 80 percent complete please contact Building and Inspections to set up a Building Code review.

Must meet 2020 MN State Building Code

SAC review by MET council will be required.

Provide a detailed code analysis with the plans.

Must comply with all H Occupancy requirements for any hazardous storage areas.

SEAGATE
TECHNOLOGY -
NORMANDALE
WAFER SOUTH
ADDITION

B W B R

380 St. Peter Street, Ste. 600
Saint Paul, MN 55102
651.222.3701
bwbbr.com

Consultants

This document may be an electronic file or may be printed from an electronic file provided to the user. It is the sole responsibility of the user to ensure that the content and quality is consistent with the content and quality of the original documents on file at B W B R.

Header only on this plan set. If an error was noticed by the user, please contact the architect or engineer. Licensed Architect under the laws of the State of Minnesota.

Name

Date Lic./Reg. No.

Issued For

Item Date

SD ISSUE 11/01/2021

BP-01 CD ISSUE 12/08/2021

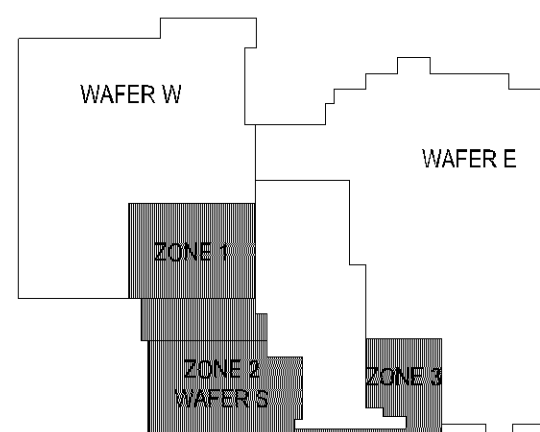
E

NOT FOR
CONSTRUCTION
FOR REFERENCE ONLY

This Sheet may be a Reduced Copy. The bar above is 1" long on a Full Size Sheet. Drawing Scales apply to Full Size Sheets.

Keyplan

NORTH



Comm. No.

3.2021141.00

Drawn

PN

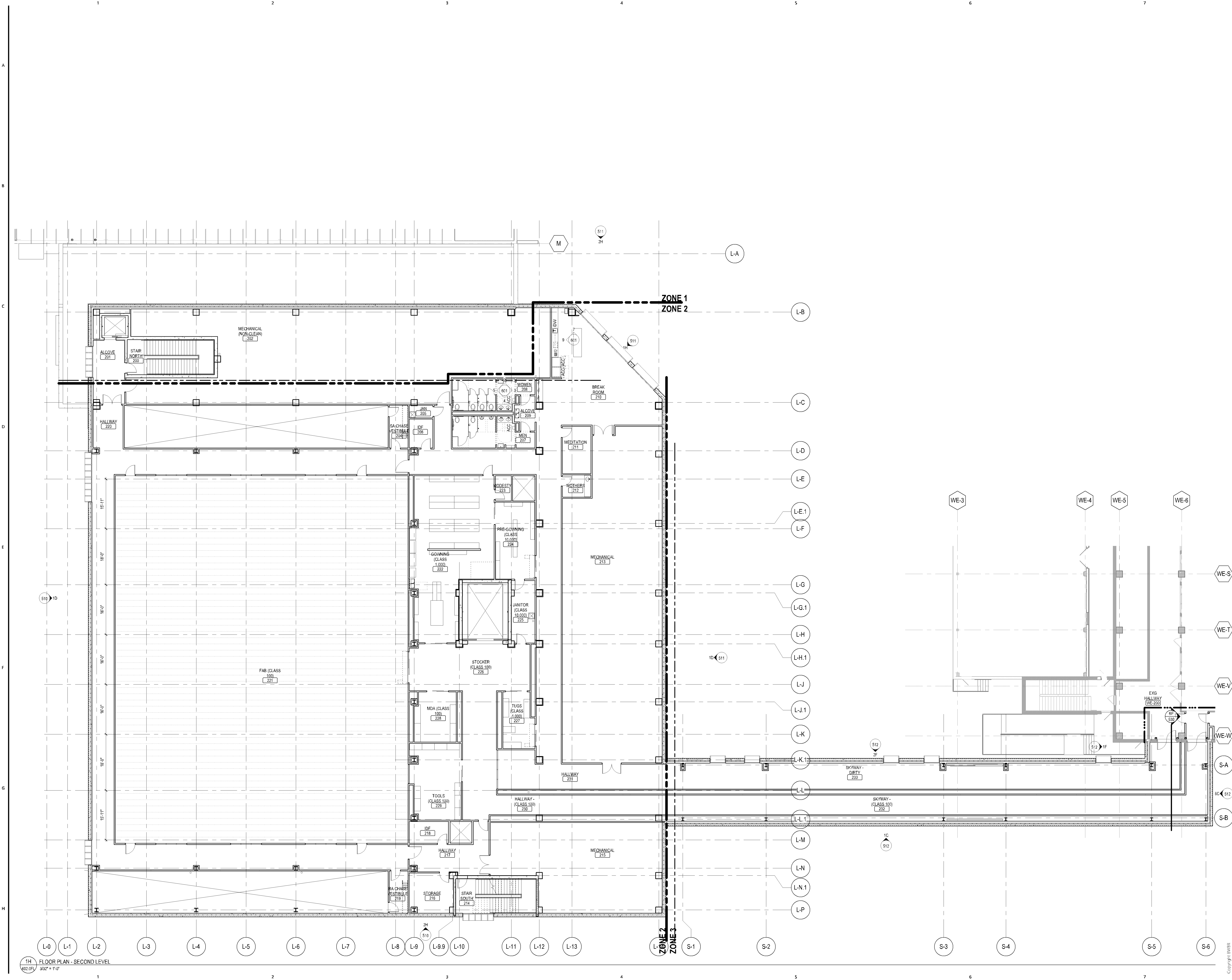
Sheet Title

FIRST LEVEL - OVERALL

FLOOR PLAN

Sheet No.

401.0FL



SEAGATE
TECHNOLOGY -
NORMANDALE
WAFER SOUTH
ADDITION

B | W | B | R

380 St. Peter Street, Ste. 600
Saint Paul, MN 55102
651.222.3701
bwbbr.com

Consultants

This document may be an electronic file or may be printed from an electronic file provided to the user. It is the sole responsibility of the user to ensure that the content and quality is consistent with the content and quality of the original documents on file at BWBBR.

I hereby certify that this plan, set of files, or any report was prepared by me or under the direct supervision of me or I am a duly Licensed Architect under the laws of the State of Minnesota.

Name _____

Date _____ Lic./Reg. No. _____

Issued For _____

Item _____ Date _____

SD ISSUE 11/01/2021

BP-01 CD ISSUE 12/08/2021

Keyplan

NORTH

NOT FOR
CONSTRUCTION
FOR REFERENCE ONLY

This sheet may be a Reduced Copy. The bar above is 1" long on a Full Size Sheet. Drawing Scales apply to Full Size Sheets.

NORTH

402.0FL

SCHEMATIC EXTERIOR
PERSPECTIVE



Exterior building materials
must comply with
Section 18.53.05(c) of the
City Code.

EXTERIOR PERSPECTIVE - SOUTHWEST



EXTERIOR PERSPECTIVE - SOUTHEAST

REQUIRED PARKING

BLOOMINGTON SIDE

CLEAN ROOM	112,839.46 sf	INDUSTRIAL	1/500	225.68
COMMON	95,428.12 sf	PROPORTIONATE	1/479	199.22
LAB	59,791.12 sf	INDUSTRIAL	1/500	119.58
MECH/ELEC	190,801.04 sf	NON OCCUPIED		
OFFICE	120,147.7 sf	OFFICE	1/285	421.57
SUPPORT	37,385.26 sf	WAREHOUSE	1/1000	37.39
TOTAL SF	616,392.7 sf	TOTAL STALLS REQUIRED		1,004
TOTAL BUILDING	765,692.38 sf	TOTAL LOT STALLS REQUIRED		1,406

EDINA SIDE

CLEAN ROOM	36,103.38 sf	MANUFACTURING	1/300	120.34
COMMON	15,455.32 sf	PROPORTIONATE	1/374	41.32
LAB	41,449.62 sf	LAB	1/500	82.9
MECH/ELEC	23,386.46 sf	NON OCCUPIED		
OFFICE	31,123.87 sf	OFFICE	1/200	155.62
SUPPORT	1,781.03 sf	WAREHOUSE	1/2000	0.89
TOTAL SF	149,299.68 sf	TOTAL STALLS REQUIRED		402

BLOOMINGTON PROPORTIONATE COMMON AREA CALCULATION

616,392.7 total -
 95,428.12 common -
 190,801.04 non-occupied =
 330,163.54 sf

172,630.58 industrial (total) / 330,163.54 = 0.523
 120,147.7 office / 330,163.54 = 0.364
 37,385.26 warehouse / 330,163.54 = 0.113

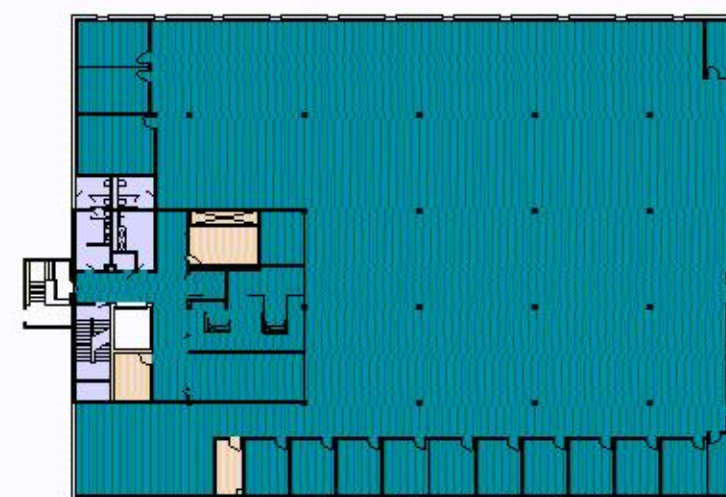
0.523 x 500 industrial ratio +
 0.364 x 285 office ratio +
 0.113 x 1,000 warehouse ratio =
1 per 479 sf common area ratio

EDINA PROPORTIONATE COMMON AREA CALCULATION

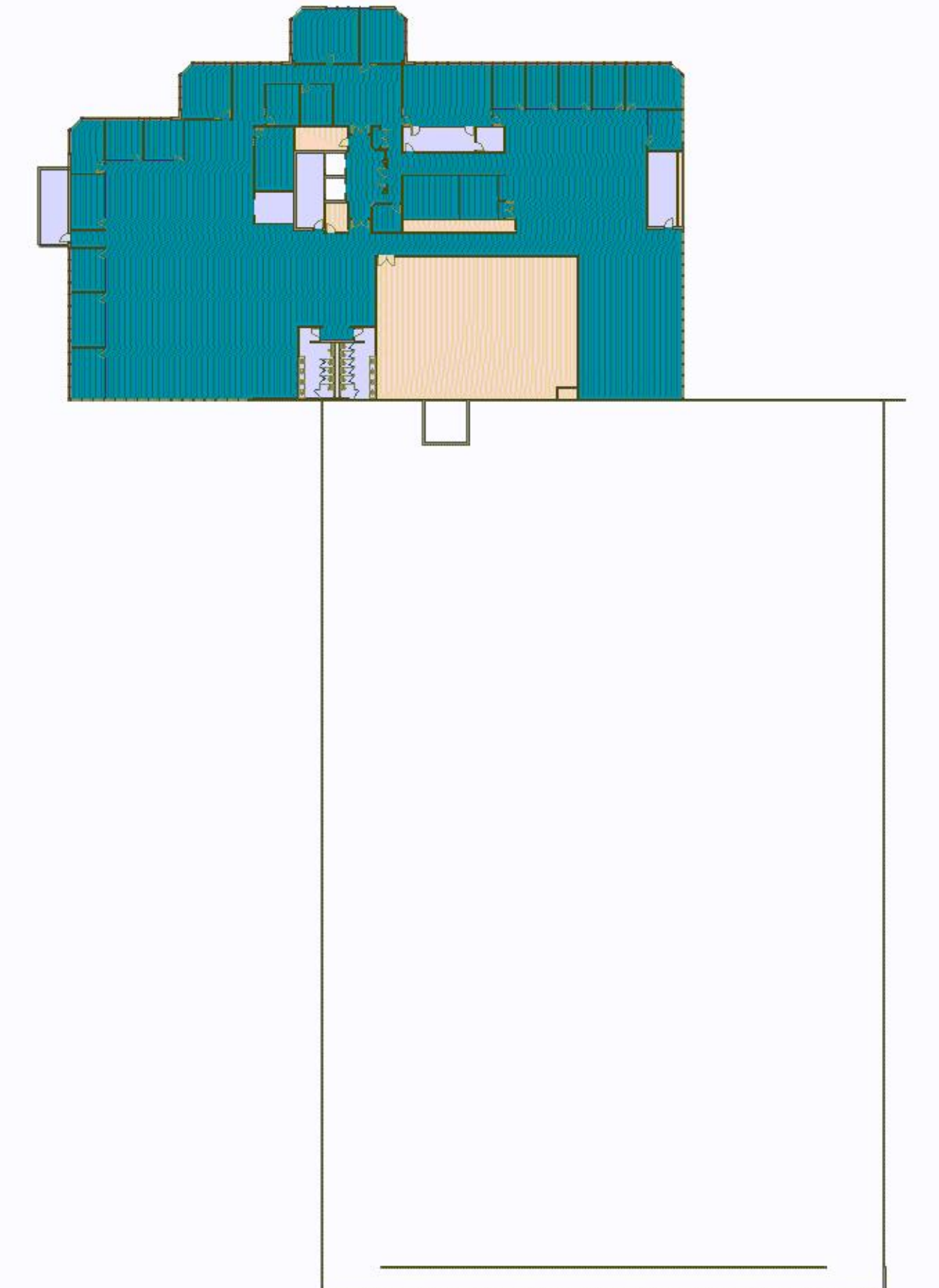
149,299.68 total -
 15,455.32 common -
 23,386.46 non-occupied =
 110,457.9 sf

36,103.38 manufacturing / 110,457.9 = 0.327
 41,449.62 lab / 110,457.9 = 0.375
 31,123.87 office / 110,457.9 = 0.282
 1,781.03 warehouse / 110,457.9 = 0.016

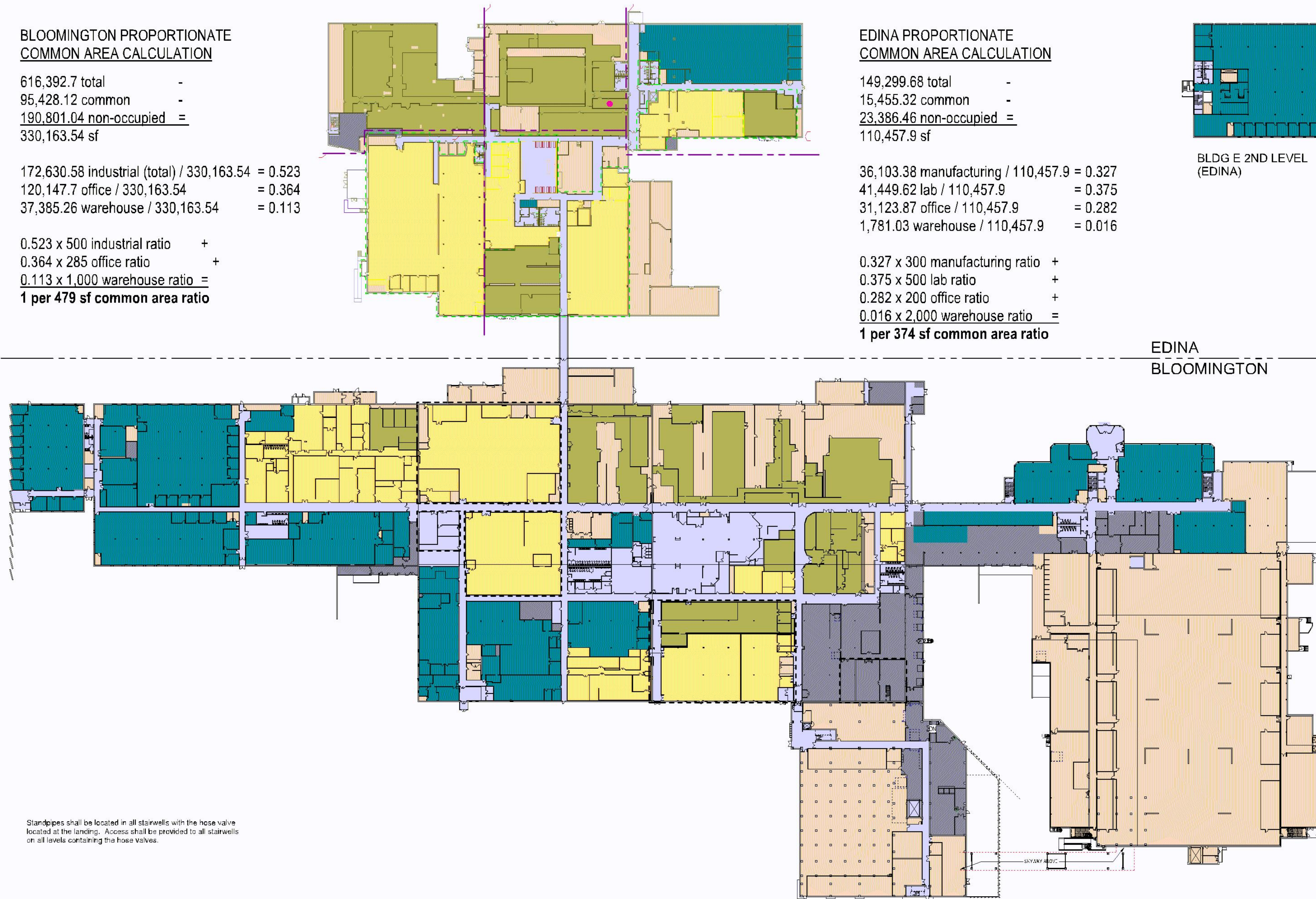
0.327 x 300 manufacturing ratio +
 0.375 x 500 lab ratio +
 0.282 x 200 office ratio +
 0.016 x 2,000 warehouse ratio =
1 per 374 sf common area ratio



BLDG E 2ND LEVEL
(EDINA)



BLDG J 3RD LEVEL
(BLOOMINGTON)



FLOOR PLAN - FIRST LEVEL
1" = 50'-0"

FLOOR PLAN - SECOND & THIRD LEVELS
1" = 20'-0"