

PL202100221

THERMO KING PHASE 3B

PL2021-221

EAST OFFICE RENOVATION

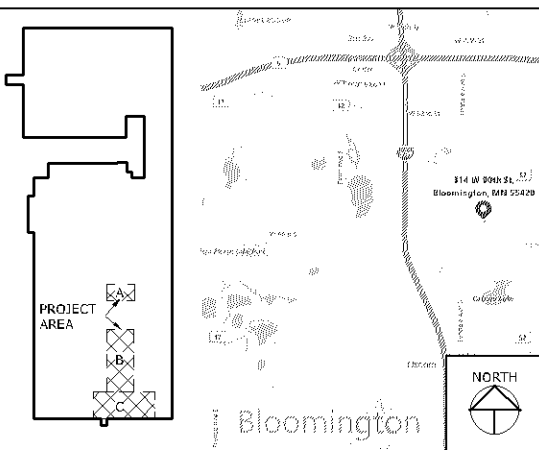


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Kevin Dummer
Kevin Dummer, P.E.
DATE: 10/22/21 REF. NO.: 52415

KEY PLAN AND VICINITY MAP:



ROSTER:

OWNER: THERMO KING
314 WEST 90TH ST.
BLOOMINGTON, MN 55420
CONTACT: ERIC RETZLAFF
952-548-2794 PHONE
ERETZLAFF@IRCO.COM

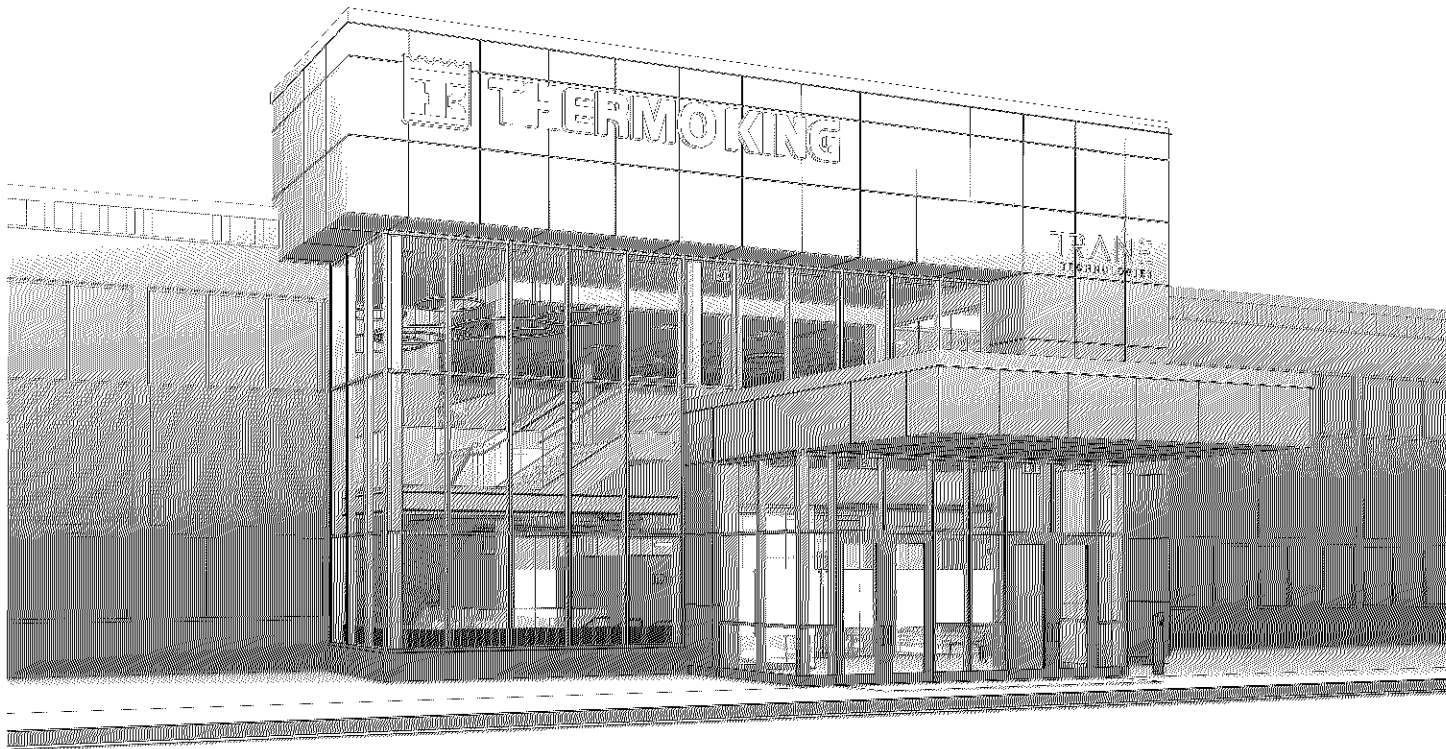
ARCHITECT: KOMA
2051 KILLEBREW DRIVE, SUITE 680
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CONTACT: KEVIN DUMMER
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STRUCTURAL ENGINEER: KOMA
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MECHANICAL ENGINEER: MARTIN PEVZNER ENGINEERING
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BPEVZNER@MARTINPEVZNER.COM

DRAWING SYMBOLS:

	1 DETAIL NUMBER SHEET WHERE SECTION IS LOCATED		101 ROOM NAME ROOM NUMBER		EARTH OR FILL		STEEL STUD
	1 BUILDING SECTION NUMBER SHEET WHERE SECTION IS LOCATED		101A ROOM WHERE DOOR IS LOCATED DOOR LETTER		POROUS FILL OR GRAVEL		STRUCTURAL WOOD
	1 ELEMENT SECTION NUMBER SHEET WHERE SECTION IS LOCATED		WORK POINT, CONTROL POINT OR DATUM POINT		CMU		FINISHED WOOD
	A1 BUILDING ELEVATION NUMBER SHEET WHERE ELEVATION IS LOCATED		1 GRID REFERENCE		CONCRETE		PLYWOOD
	A1 ELEMENT ELEVATION NUMBER SHEET WHERE ELEVATION IS LOCATED		U GRID LINE		MORTAR		BATT INSULATION
	A CLOUD AROUND REVISION REVISION NUMBER		U EXISTING GRID REFERENCE		BITUMINOUS		RIGID INSULATION EXTRUDED
	CENTERLINE SYMBOL		P7 WALL TYPE		BRICK		RIGID INSULATION EXPANDED
			WINDOW		GYPSUM BOARD		STEEL
			WINDOW TAG				



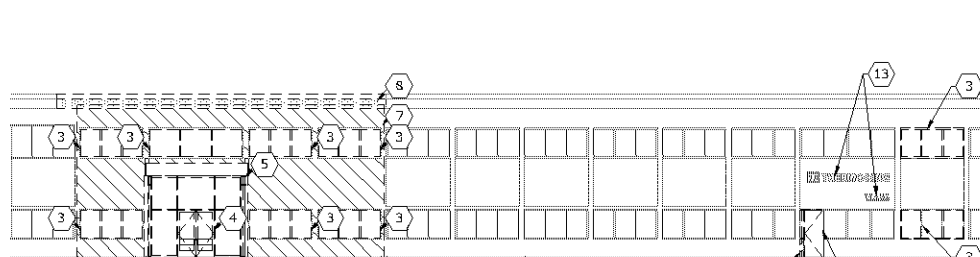
TITLE SHEET

THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

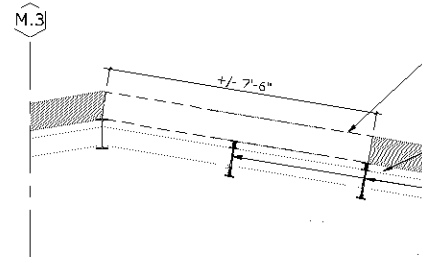
PROJECT: 18162.12
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T001



1 ENTRY ELEVATION
1/16" = 1'-0"

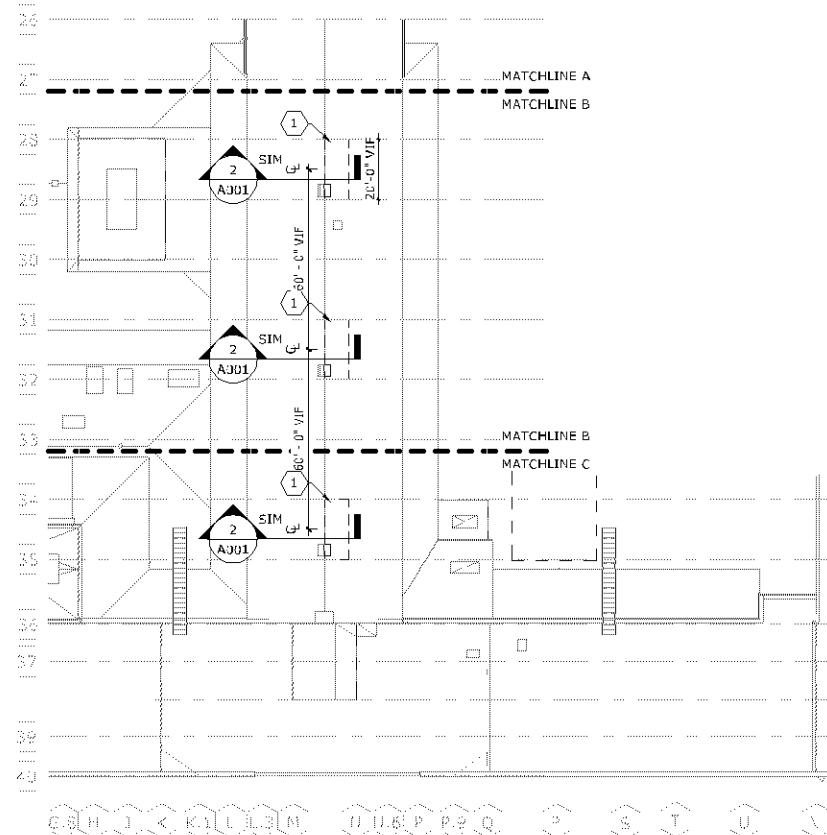


2 DEMOLITION SECTION DETAIL
3/8" = 1'-0"

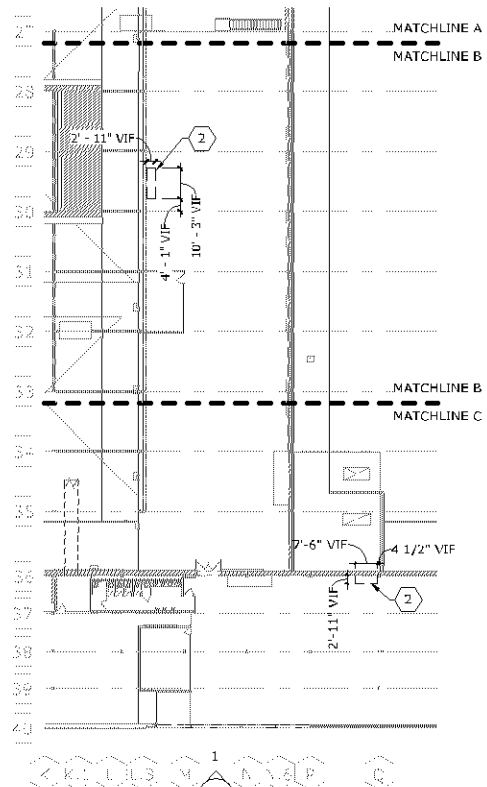
1	DEMO KEYNOTES
NOTE	
1	DEMO PORTION OF ROOF AND ROOF FRAMING FOR NEW SKYLIGHTS, COORDINATE JOISTS TO REMAIN WITH STRUCTURAL DOCUMENTS
2	CUT HOLE IN EXISTING FLOOR FOR NEW MECHANICAL CHASE
3	REMOVE ALUMINUM FRAMED WINDOW ASSEMBLY
4	REMOVE ALUMINUM FRAMED STOREFRONT ASSEMBLY
5	REMOVE CANOPY FINISHES AND STRUCTURE
6	DOOR AND FRAME DEMOLISHED AS PART OF BID PACK 1
7	REMOVE WALL ASSEMBLY DOWN TO STRUCTURAL STEEL
8	REMOVE PARAPET AND FLASHING
9	REMOVE PORTION OF BLOCK AND BRICK WALL FOR NEW PLUMBING FIXTURE
10	REMOVE DRINKING FOUNTAIN
11	REMOVE FLOOR SLAB FOR NEW ELECTRICAL WORK; REFER ALSO TO ELECTRICAL DOCUMENTS
13	SIGNAGE TO REMAIN
14	DEMO PORTION OF WALL IN PREP FOR NEW LARGER DOOR AND FRAME
15	DEMO PORTION OF MASONRY WALL TO MAKE ROOM FOR RECESSED HOSE CABINET AND SANDPIPE CONNECTION
16	DEMO DOOR AND FRAME; PREP FOR NEW
17	DEMO PORTION OF WALL
18	DEMO WALL
19	REFER TO NEW FLOOR PLAN FOR NEW HOUSEKEEPING PAD NOTES

GENERAL NOTES - DEMOLITION:

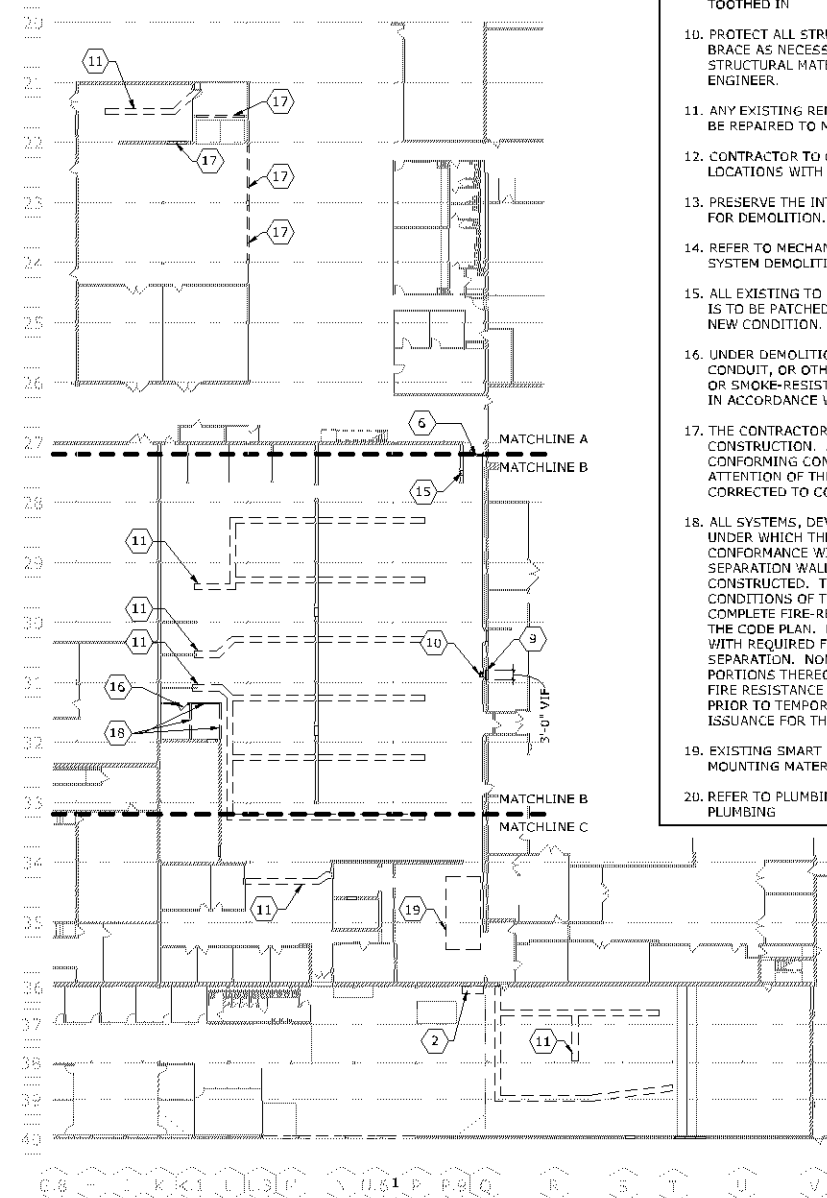
- ITEMS INTENDED FOR DEMOLITION OR SALVAGE ARE INDICATED BY DASHED LINES
- DEMOLISH: THE TERM "DEMOLISH" OR "DEMO" MEANS THE REMOVAL OF EXISTING MATERIAL OR ITEMS FROM THE SITE FOR DISPOSAL OFF-SITE IN AN APPROPRIATE AND LEGAL MANNER.
- SALVAGE: THE TERM "SALVAGE" MEANS THE SELECTIVE REMOVAL OF EXISTING MATERIAL OR ITEMS IN A MANNER TO PRESERVE THE INTEGRITY OF THE MATERIAL OR ITEM FOR REINSTALLATION WITHIN THE LIMITS OF CONSTRUCTION OR TURNED OVER TO OWNER FOR FUTURE USE. COORDINATE RELOCATION W/ OWNER.
- DEMOLITION KEY NOTE NUMBERING ON EACH DEMOLITION SHEET IS SPECIFIC TO THE SHEET ON WHICH THE KEYNOTE IS LOCATED.
- FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO ONSET OF DEMOLITION.
- REMOVE DEBRIS AND RUBBISH FROM THE SITE DAILY. DO NOT ALLOW DEBRIS TO ACCUMULATE IN BUILDING OR ON SITE. BROOM CLEAN CONSTRUCTION AREA AT END OF EACH WORK DAY.
- THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO OCCUPIED PORTIONS OF THE BUILDING AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN OR CREATE HAZARDOUS / OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, & POLLUTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH EXECUTION OF THE WORK. INACTIVE OR ABANDONED UTILITIES SHALL BE CAPPED IN ACCORDANCE WITH LOCAL RESTRICTIONS. REMOVE INACTIVE SERVICES (PLUMBING, ELECTRICAL, MECHANICAL, ETC.) AS REQUIRED TO MAINTAIN OPERATIONS; COORDINATE WITH THE ENGINEERING DRAWINGS. ALL UTILITIES MUST BE REMOVED TO THEIR POINT OF ORIGIN.
- ALL MASONRY DEMOLITION TO BE SAWCUT TO CREATE A CLEAN LINE AND PRESERVE EXISTING TO REMAIN UNLESS NOTED OTHERWISE IN DETAILS WHERE NEW BRICK IS TOOTHED IN
- PROTECT ALL STRUCTURAL MEMBERS AND FOUNDATIONS TO REMAIN FROM DAMAGE. BRACE AS NECESSARY DURING CONSTRUCTION. DO NOT CUT ANY EXISTING STRUCTURAL MATERIALS WITHOUT PRIOR NOTIFICATION TO THE STRUCTURAL ENGINEER.
- ANY EXISTING REMAINING FIRE ASSEMBLIES DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.
- CONTRACTOR TO COORDINATE WORK AND ON-SITE TEMPORARY STORAGE LOCATIONS WITH OWNER
- PRESERVE THE INTEGRITY OF EXISTING CONSTRUCTION NOT SPECIFICALLY SLATED FOR DEMOLITION.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR RESPECTIVE SYSTEM DEMOLITION INFORMATION
- ALL EXISTING TO REMAIN CONSTRUCTION THAT IS DAMAGED DURING DEMOLITION IS TO BE PATCHED TO MATCH ADJACENT SURFACES AND BROUGHT BACK TO LIKE NEW CONDITION.
- UNDER DEMOLITION, WHERE THE REMOVAL OR ABANDONMENT OF A FIXTURE, DUCT, CONDUIT, OR OTHER PIECE OF EQUIPMENT LEAVES AN OPENING IN A FIRE-RESISTIVE OR SMOKE-RESISTIVE ASSEMBLY, THE OPENING SHALL BE FIRE-STOPPED OR SEALED IN ACCORDANCE WITH IBC CHAPTER 7 FOR NECESSARY RATING PROTECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF EXISTING RATED CONSTRUCTION. ANY DISCREPANCIES IN THE RATING OF CONSTRUCTION, OR NON-CONFORMING CONSTRUCTION NOTED BY THE GC SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNERS. THE NON-CONFORMING WORK SHALL BE CORRECTED TO CONFORMING.
- ALL SYSTEMS, DEVICES, OR SAFEGUARDS THAT WERE REQUIRED BY THE CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED SHALL BE MAINTAINED IN CONFORMANCE WITH THE REQUIREMENTS OF THAT CODE. THE FIRE WALLS/AREA SEPARATION WALLS MUST BE COMPLIANT WITH THE CODE UNDER WHICH THEY WERE CONSTRUCTED. THE CONTRACTOR SHALL SHOW THE FIELD INSPECTOR THE CONDITIONS OF THE EXISTING FIRE WALLS/AREA SEPARATION WALLS TO VERIFY COMPLETE FIRE-RESISTIVE INTEGRITY AS INDICATED ON THE CODE PLAN. REQUIRED FIRE WALLS/AREA SEPARATION WALLS MUST COMPLY WITH REQUIRED FIRE-RESISTIVE RATINGS AND PROVIDE COMPLETE BUILDING SEPARATION. NON-COMPLYING EXISTING FIRE WALLS/AREA SEPARATION WALLS OR PORTIONS THEREOF, WILL BE REQUIRED AND/OR SHALL BE UPGRADED TO MEET THE FIRE RESISTANCE RATING OF THE ASSEMBLY. THIS WORK SHALL BE COMPLETED PRIOR TO TEMPORARY CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF OCCUPANCY ISSUANCE FOR THIS BUILDING.
- EXISTING SMART BOARDS AND PROJECTORS, INCLUDING HARDWARE AND ALL MISC MOUNTING MATERIALS, SHALL BE REMOVED BY OWNER PRIOR TO WORK BY OTHERS.
- REFER TO PLUMBING DRAWINGS FOR ANY TRENCHING REQUIRED FOR UNDER SLAB PLUMBING



3 DEMO PLAN - ROOF
1/32" = 1'-0"



4 DEMO PLAN - SECOND FLOOR
1/32" = 1'-0"



5 DEMO PLAN - FIRST FLOOR
1/32" = 1'-0"

DEMO PLANS

**THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2**
314 W 90th STREET
BLOOMINGTON, MN 55420

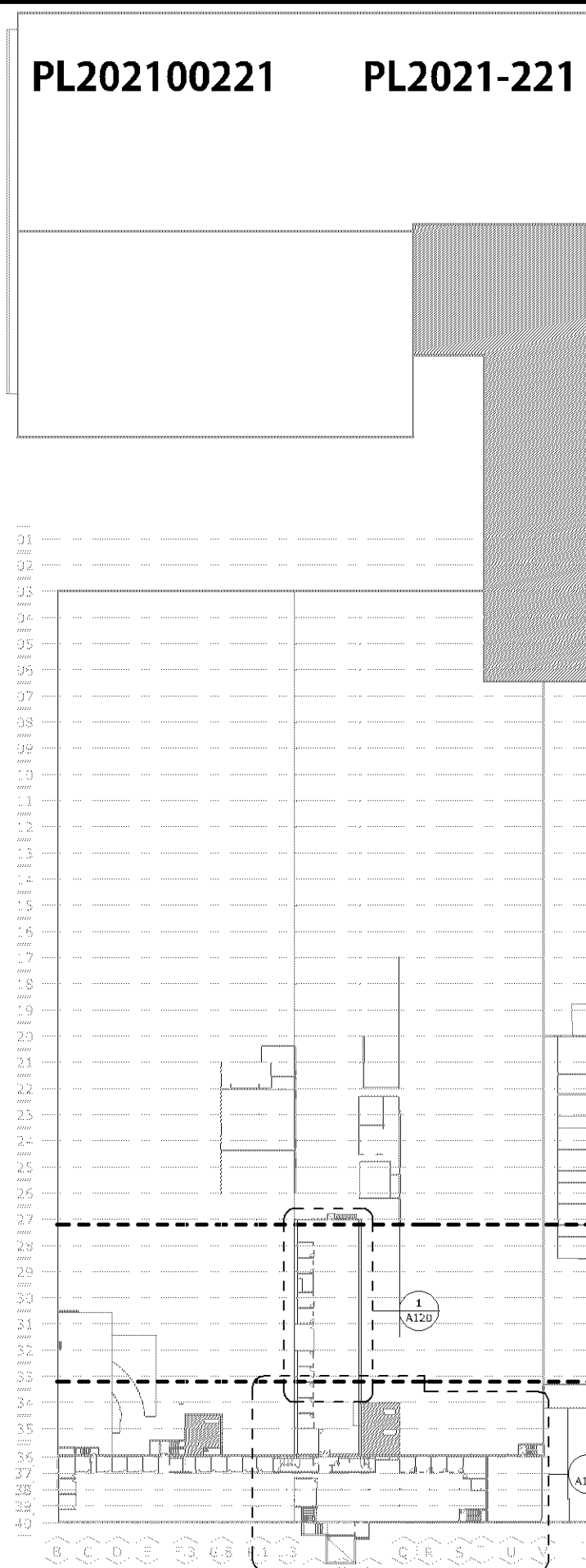
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A001



① OVERALL NEW PLAN
1" = 60'-0"



② OVERALL SECOND FLOOR PLAN
1" = 60'-0"

PL202100221 PL2021-221

GENERAL NOTES - WALL TYPES:

1. INSTALL 5/8" CEMENT BACKERBOARD BEHIND ALL WALL TILE LOCATIONS INSTEAD OF THE 5/8" GYPSUM, TYPICAL, SEE ROOM FINISH SCHEDULE FOR LOCATIONS
2. AT ALL ACOUSTIC PARTITIONS, REFER TO SPECIFICATION FOR DETAILS REGARDING SEALANT INSTALLATION FOR SOUND ISOLATION
3. ALL PENETRATIONS OF FIRE RATED WALLS ARE TO HAVE THE SAME FIRE RATING AS THE WALL TYPE THEY PASS THROUGH; PROVIDE UL TESTED ASSEMBLIES OR SIMILAR

GENERAL NOTES - FLOOR PLAN:

1. DIMENSIONS (UNLESS NOTED OTHERWISE) ARE TO:
 - FACE OF EXISTING (FOE)
 - FACE OF STUD (FOS)
 - FACE OF MASONRY (FOM)
 - CENTERLINE (CL) OF FIXTURES AND EQUIPMENT
2. DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL FINISH SURFACE, UNLESS NOTED OTHERWISE
3. REFER TO ENLARGED PLANS FOR MORE INFORMATION
4. REFER TO WINDOW/FRAME TYPES FOR DIMENSIONS OF GLAZING FRAMES/SYSTEM, SEE SHEET A90.
5. WALL PATCHES EXPOSED TO VIEW ARE TO BE PREPARED AND FINISHED TO MATCH ADJACENT SURFACES
6. MODIFY EXISTING SPRINKLER SYSTEM TO PROVIDE APPROPRIATE COVERAGE, IF NEEDED.
7. CLEAN / RESTORE EXISTING SURFACES TO REMAIN IN COMMON AREAS, INCLUDING BUT NOT LIMITED TO:
 - FLOORS, WALLS, CEILINGS
 - FIXTURES, EQUIPMENT
 - LIGHT FIXTURES
 - MECHANICAL RETURN AND SUPPLY GRILLS
8. FOR GYPSUM BOARD TERMINATIONS AT THE JUNCTION OF GYPSUM BOARD, WINDOWS, WINDOW STOOLS, AND DOOR FRAMES; FURNISH AND INSTALL CORNER BEAD LEVEL, TAPED, AND FINISH CAULKED
9. WHERE WALLS EXTEND TO DECK, IF THE WALL IS ADJACENT TO A SUSPENDED CEILING EXTEND THE SHEATHING TO 6" ABOVE THE CEILING ON THAT SIDE
10. ADD FIRE RESISTANT TREATED WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED CABINETRY AND EQUIPMENT. SEE PLANS, ELEVATIONS, AND DETAILS FOR LOCATIONS.
11. KEYNOTE NUMBERING ON EACH SHEET IS SPECIFIC TO THE SHEET ON WHICH THE KEYNOTE IS LOCATED.

OVERALL FIRST AND SECOND FLOOR PLAN

THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

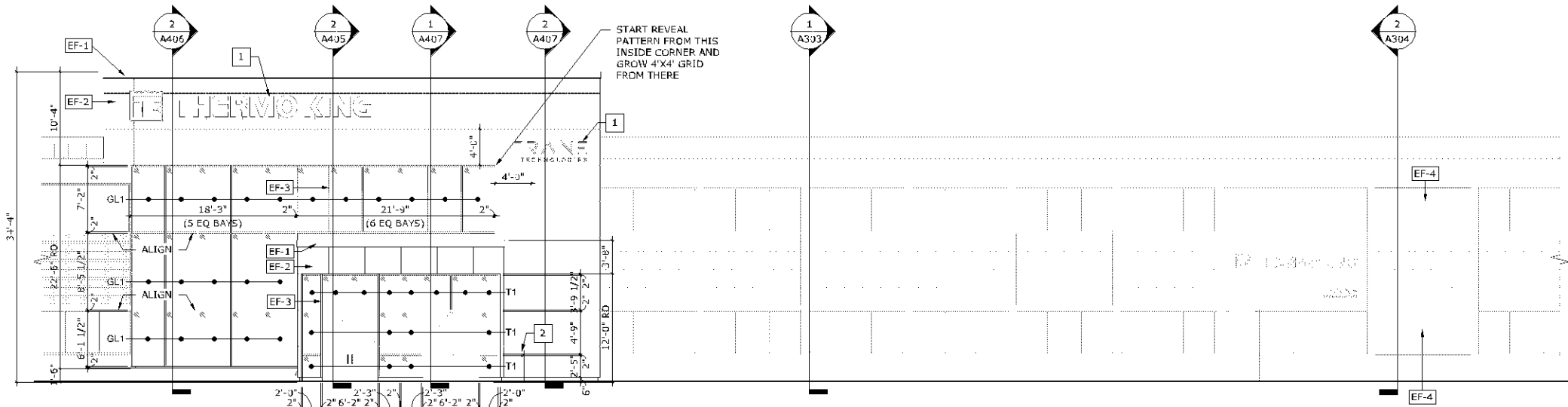
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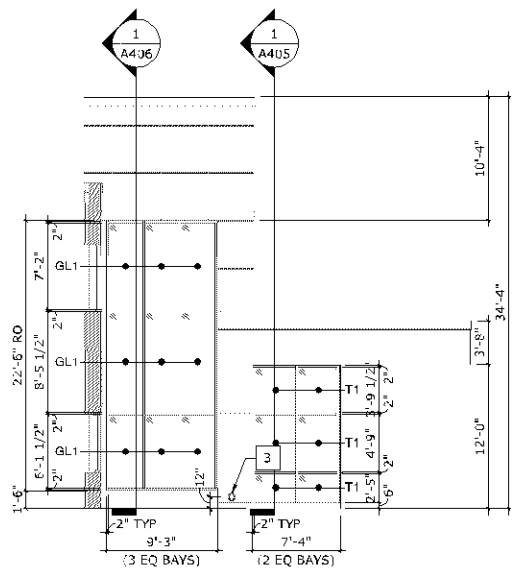
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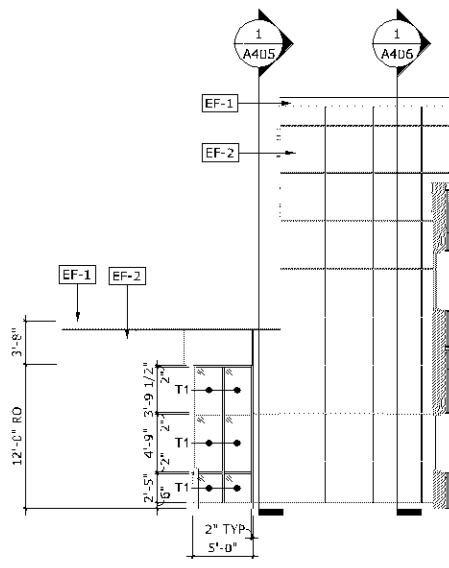
KEYNOTES	
MARK	NOTE
1	SIGNAGE BY OWNER
2	ACCESSIBLE DOOR OPERATOR AND PEDESTAL
3	3" EXTERIOR COWS TONGUE DRAIN FOR OVERFLOW



1 ENTRY ELEVATION
1/8" = 1'-0"



2 ENTRY ELEVATION
1/8" = 1'-0"



3 ENTRY ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MARK	MATERIAL DESCRIPTION	MANUFACTURER	COMMENTS
EF-1	EXTERIOR PRE-FINISHED METAL COPING		MATCH METAL PANEL COLOR
EF-2	EXTERIOR PRE-FINISHED METAL PANELS	ALUCOBOND PLUS	
EF-3	EXTERIOR CURTAIN WALL ASSEMBLY		6" THERMALLY BROKEN ANODIZED ALUMINUM
EF-4	STUCCO INFILL ASSEMBLY		MATCH ADJACENT STUCCO FINISH AND COLOR

KOMA
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[Signature]
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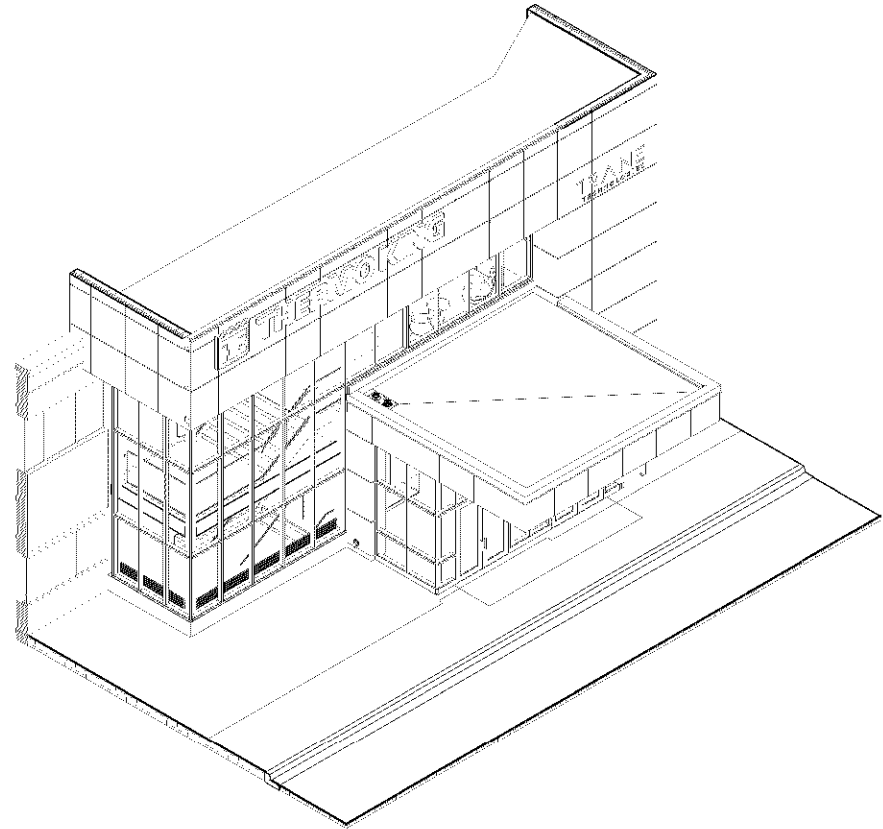
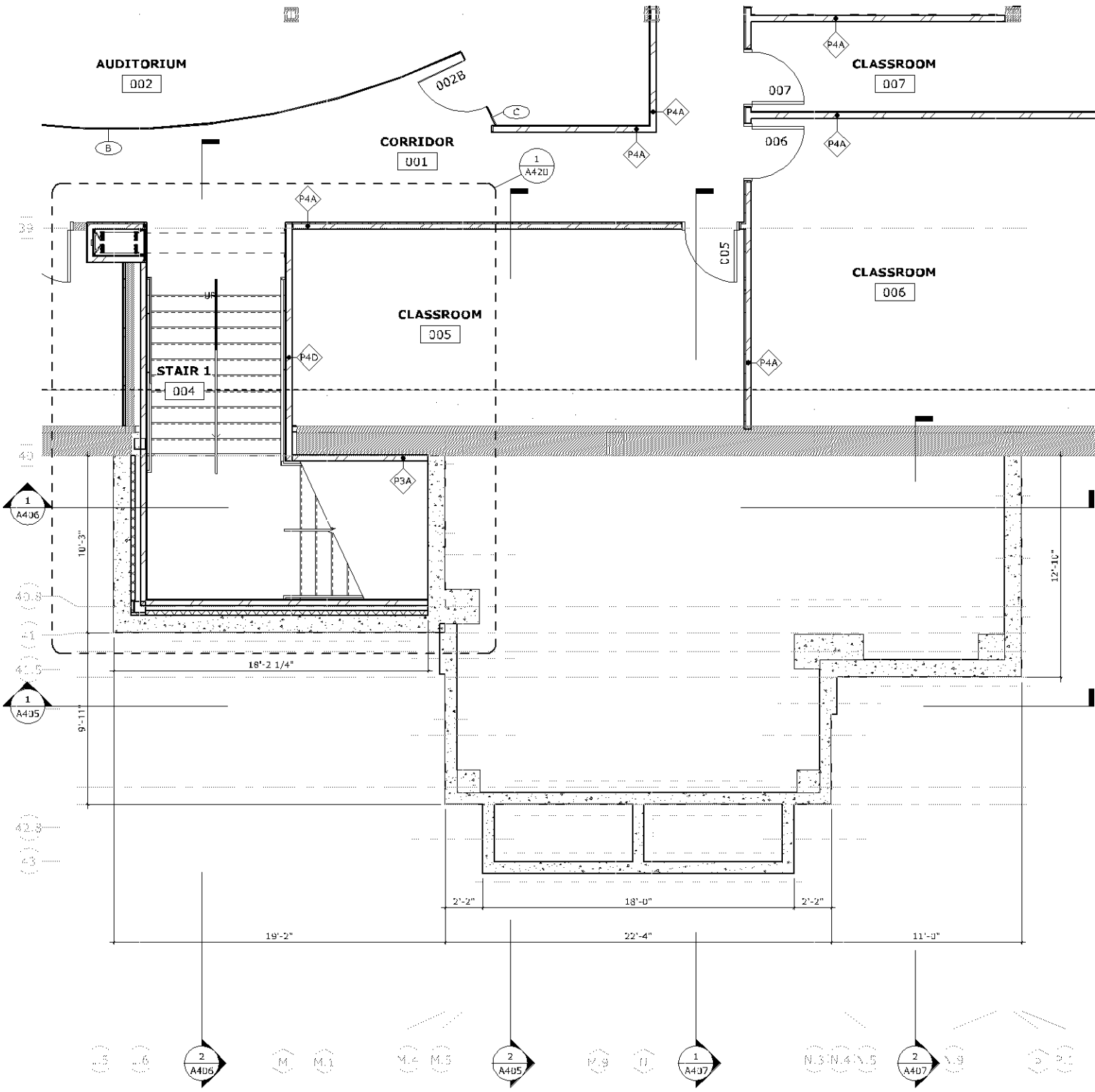
BUILDING ELEVATIONS

THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

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A300



2 ISOMETRIC VIEW
NOT TO SCALE

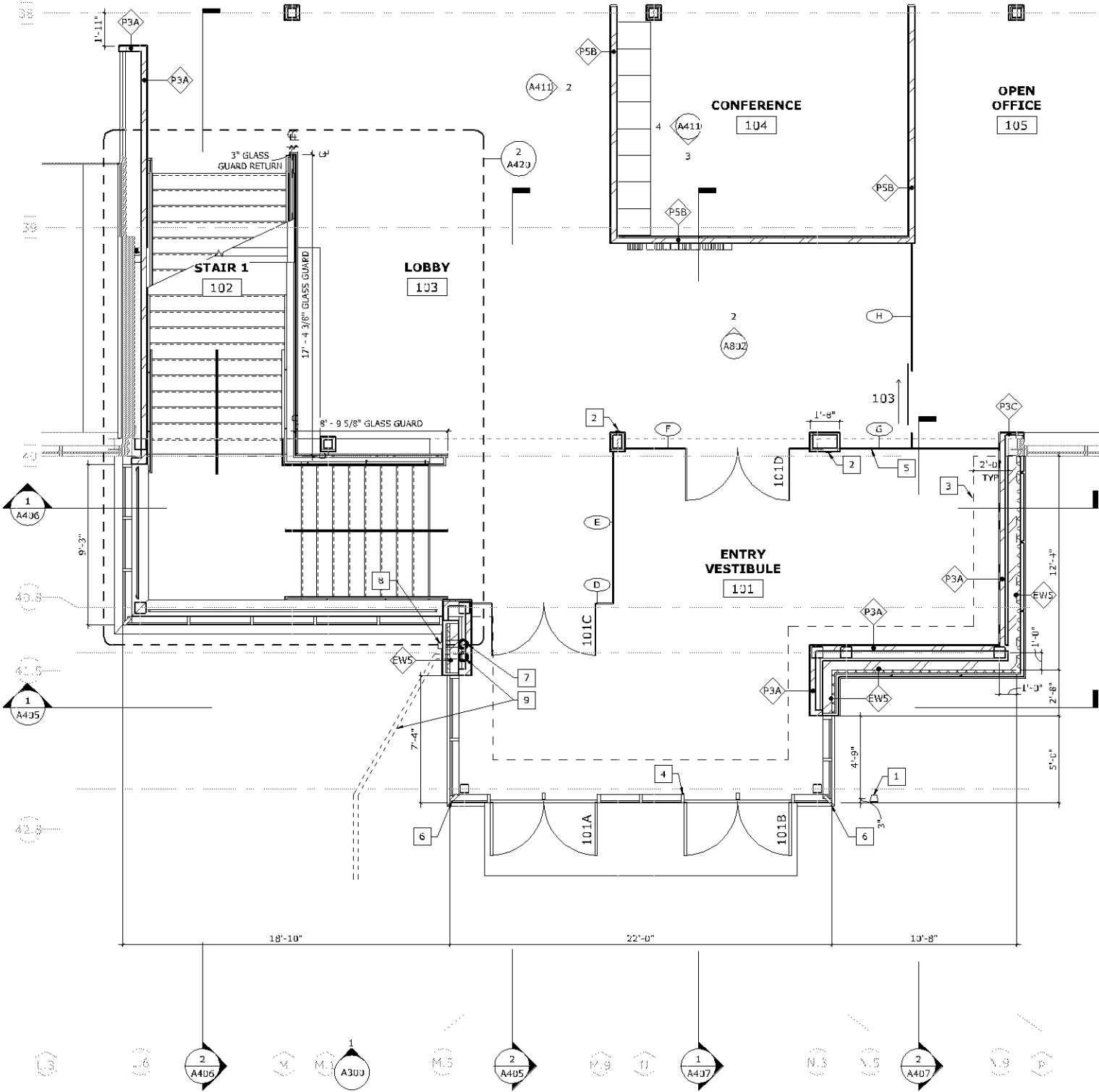
1 FLOOR PLAN - BASEMENT
1/4" = 1'-0"

**ENLARGED PLAN - TOWER
BASEMENT**

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BID PACK 2**
314 W 90th STREET
BLOOMINGTON, MN 55420

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A401



1 FLOOR PLAN - FIRST
1/4" = 1'-0"

KEYNOTES	
MARK	NOTE
1	ACCESSIBLE DOOR OPERATOR AND PEDESTAL
2	WALL-MOUNTED ACCESSIBLE DOOR OPERATOR PADDLE
3	DASHED LINE OF SUB-SLAB 2" POLYISOCYANURATE INSULATION EXTENDED 24" INWARD FROM FACE OF FOUNDATION WALL
4	MULLION-MOUNTED ACCESSIBLE DOOR OPERATOR PADDLE
5	FULL HEIGHT GLASS PANELS; 9' HIGH
6	CURTAIN WALL TO HAVE DIAGONAL MULLIONS AT OUTSIDE CORNERS
7	3" INSULATED RAINWATER LEADER FOR OVERFLOW ROOF DRAIN
8	3" EXTERIOR COWS TONGUE DRAIN FOR OVERFLOW
9	3" INSULATED RAINWATER LEADER FOR PRIMARY ROOF DRAIN; RUN JUST BELOW SLAB AND EXIT STRUCTURE; PIPE TO RUN UNDERGROUND, UNDER WALK AND EXIT AT CURB ABOVE PAVEMENT; SEE CIVIL FOR MORE INFORMATION

ARCHITECTS | DESIGNERS | ENGINEERS

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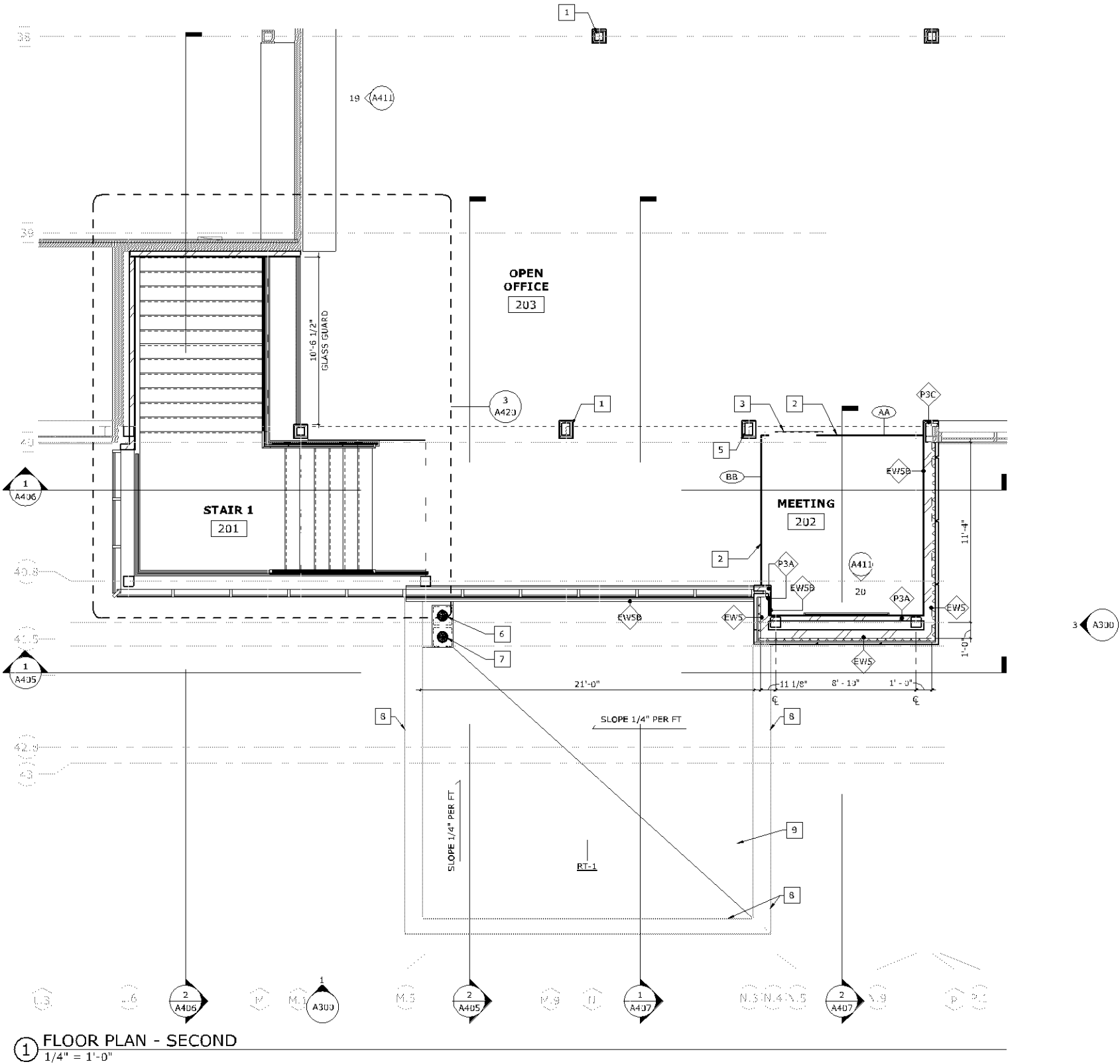
ENLARGED PLAN - TOWER FIRST
FLOOR

THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

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A402



1 FLOOR PLAN - SECOND
1/4" = 1'-0"

1	KEYNOTES
MARK	NOTE
1	ALL PARTIALLY/FULLY EXPOSED COLUMNS IN THE WORK AREA ARE TO BE WRAPPED AS TIGHT AS POSSIBLE WITH NEW 5/8" GYPSUM AND MTL FRAMING
2	FULL HEIGHT GLASS PANELS; 9' HIGH
3	FULL HEIGHT GLASS PANEL DOOR; 9' HIGH
4	8' WIDE MONUMENTAL STAIR; CONCRETE FILLED METAL PAN WITH DECORATIVE GUARDRAIL AND HANDRAILS
5	ALL PARTIALLY/FULLY EXPOSED COLUMNS IN THE WORK AREA ARE TO BE WRAPPED AS TIGHT AS POSSIBLE WITH NEW 5/8" GYPSUM AND MTL FRAMING
6	OVERFLOW ROOF DRAIN
7	PRIMARY ROOF DRAIN
8	PRE-FINISHED METAL COPING; REFER TO BUILDING ELEVATIONS
9	EPDM AND TAPERED INSULATION ROOF ASSEMBLY; REFER TO ROOF ASSEMBLY TYPE

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ENLARGED PLAN - TOWER SECOND FLOOR

THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

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KEYNOTES	
MARK	NOTE
1	REFER TO TOWER SECOND FLOOR PLAN FOR CANOPY ROOF PLAN

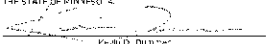


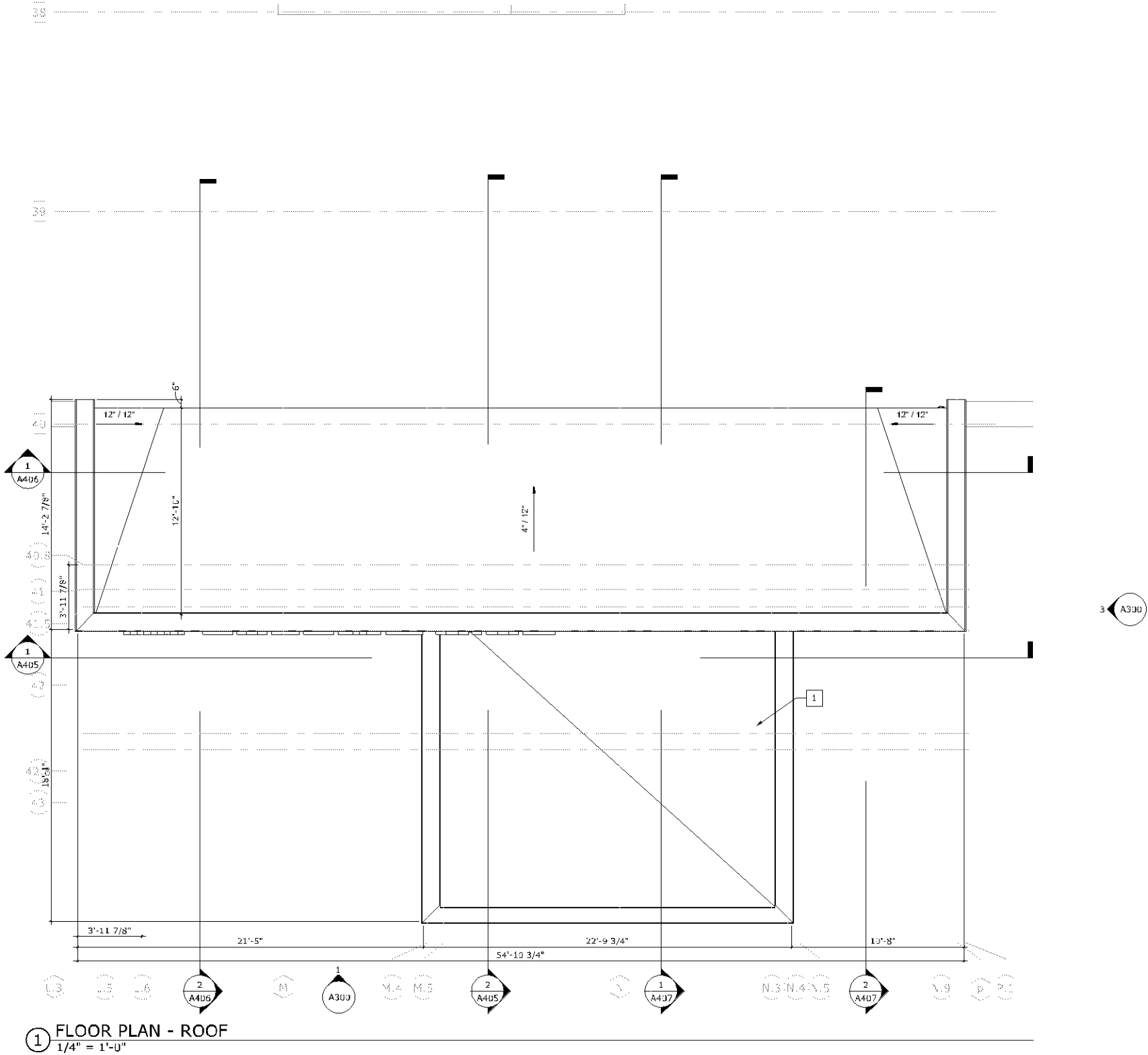
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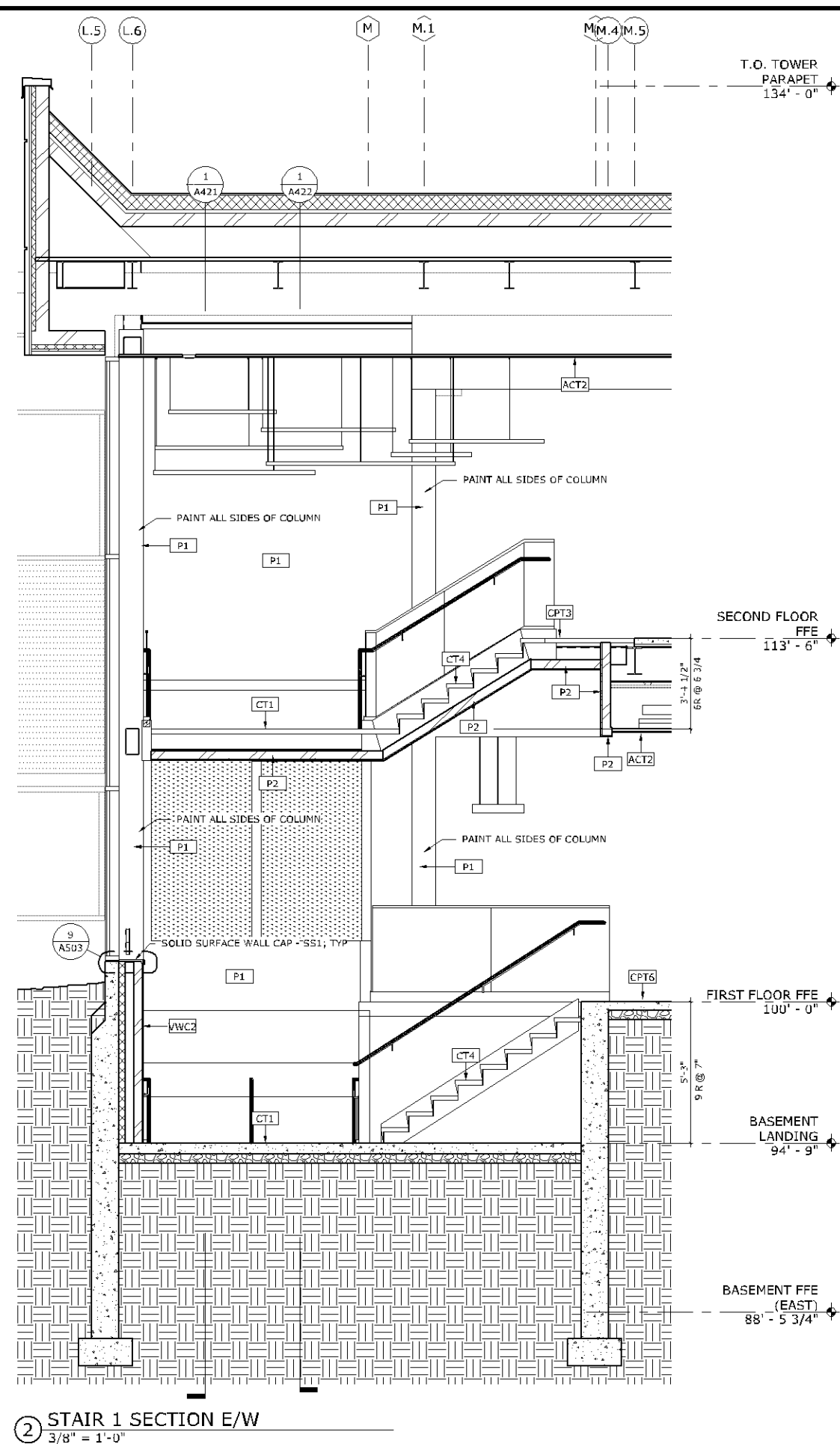
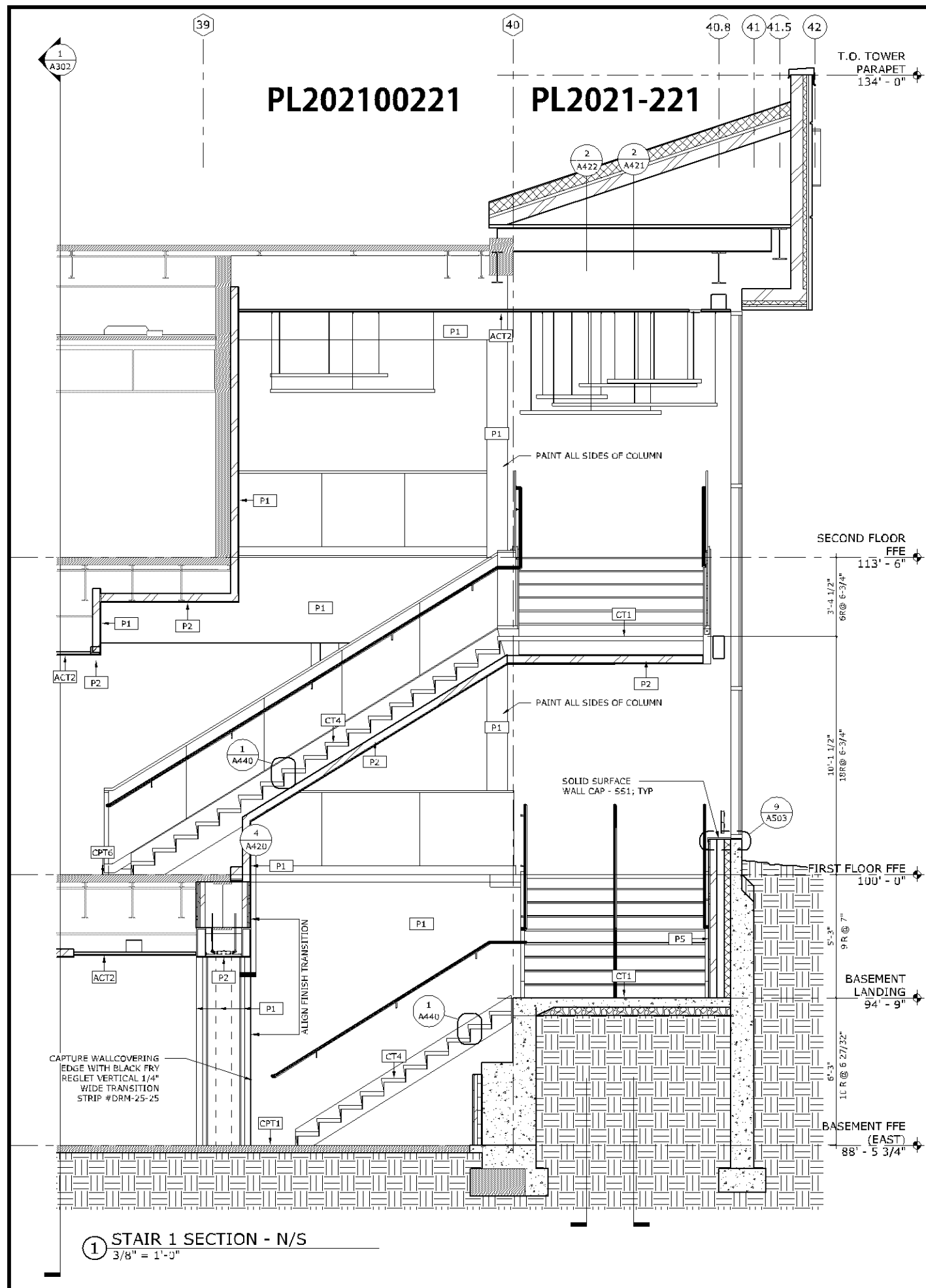
ENLARGED PLAN - TOWER ROOF

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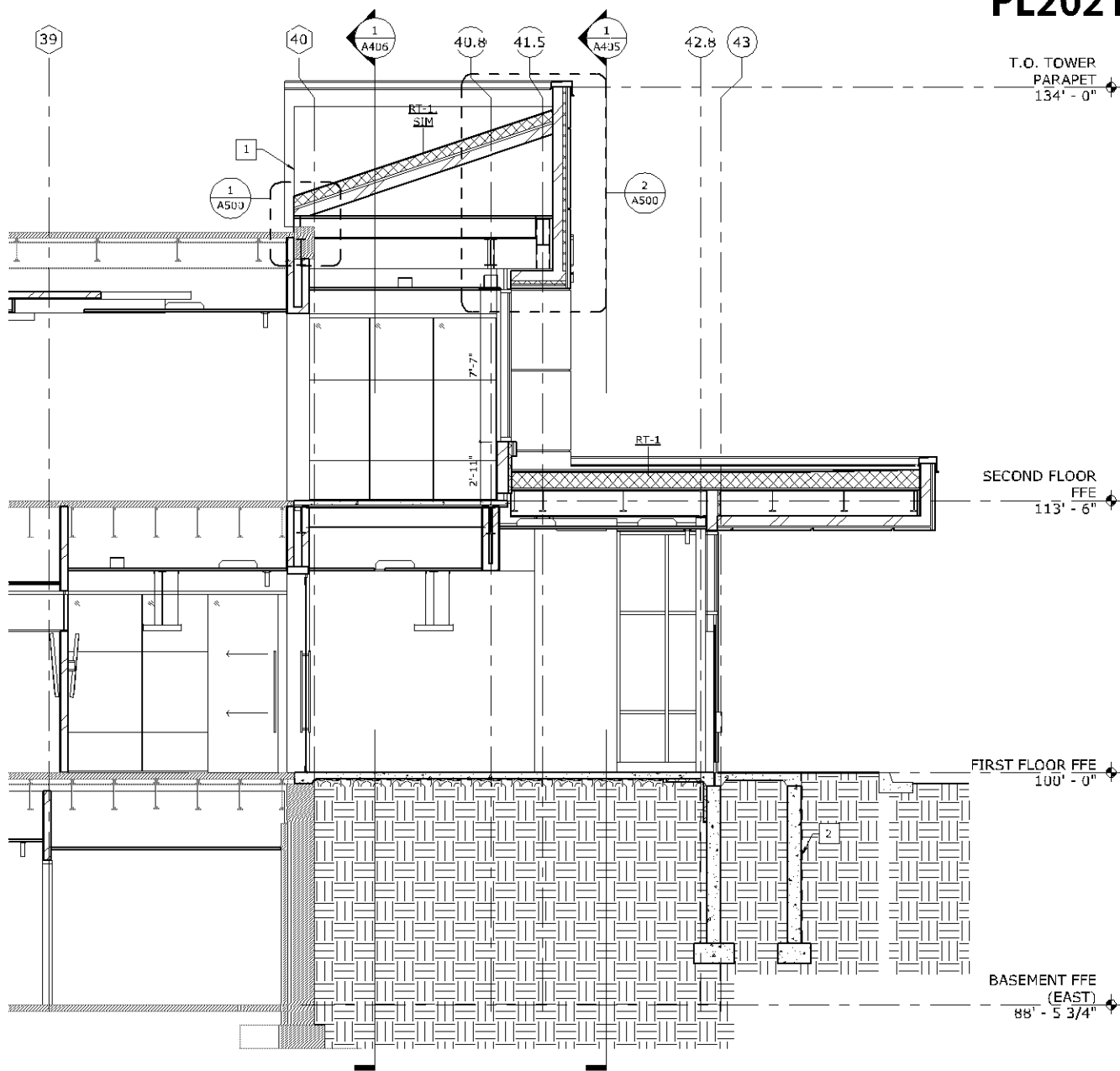
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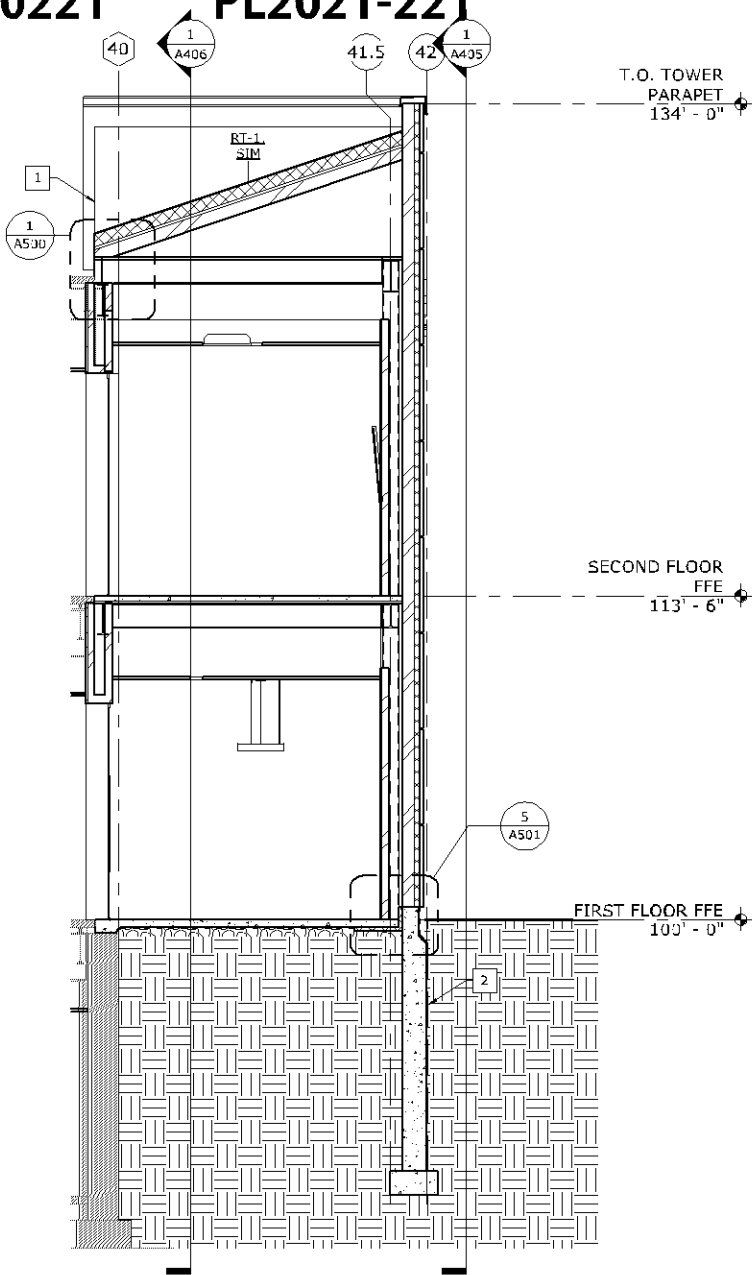
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PL202100221 PL2021-221



① TOWER SECTION - VIEW EAST
1/4" = 1'-0"



② TOWER SECTION - VIEW EAST
1/4" = 1'-0"

1	KEYNOTES
MARK	NOTE
1	FRAME AND SHEATH DRIFT ROOF END CAP WITH KNEEWALL CONSTRUCTION SIMILAR TO DETAIL 1/A500
2	FLUID APPLIED WATER PROOF MEMBRANE FROM FINISHED GRADE TO TOP OF FOOTING

KOMA
ARCHITECTS | DESIGNERS | ENGINEERS
2051 GILLESPIE DRIVE, SUITE 500, BLOOMINGTON, MINNESOTA 55425
P: 612-222-5400 F: 612-222-5401 WWW.KOMAINC.COM

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DATE: 10/22/21 PERIOD: 00/00/00 PERS. NO.: 02415

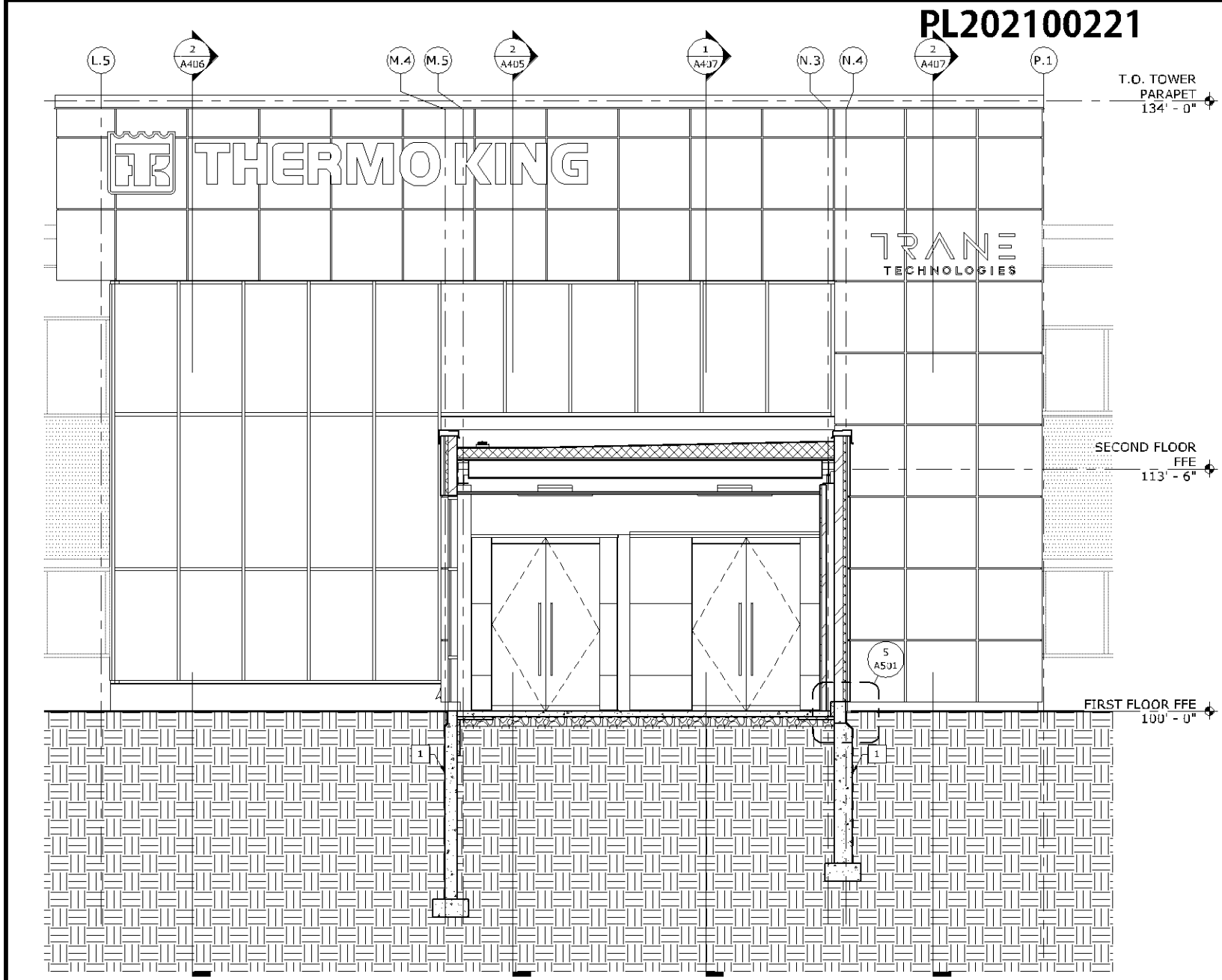
TOWER SECTIONS

THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

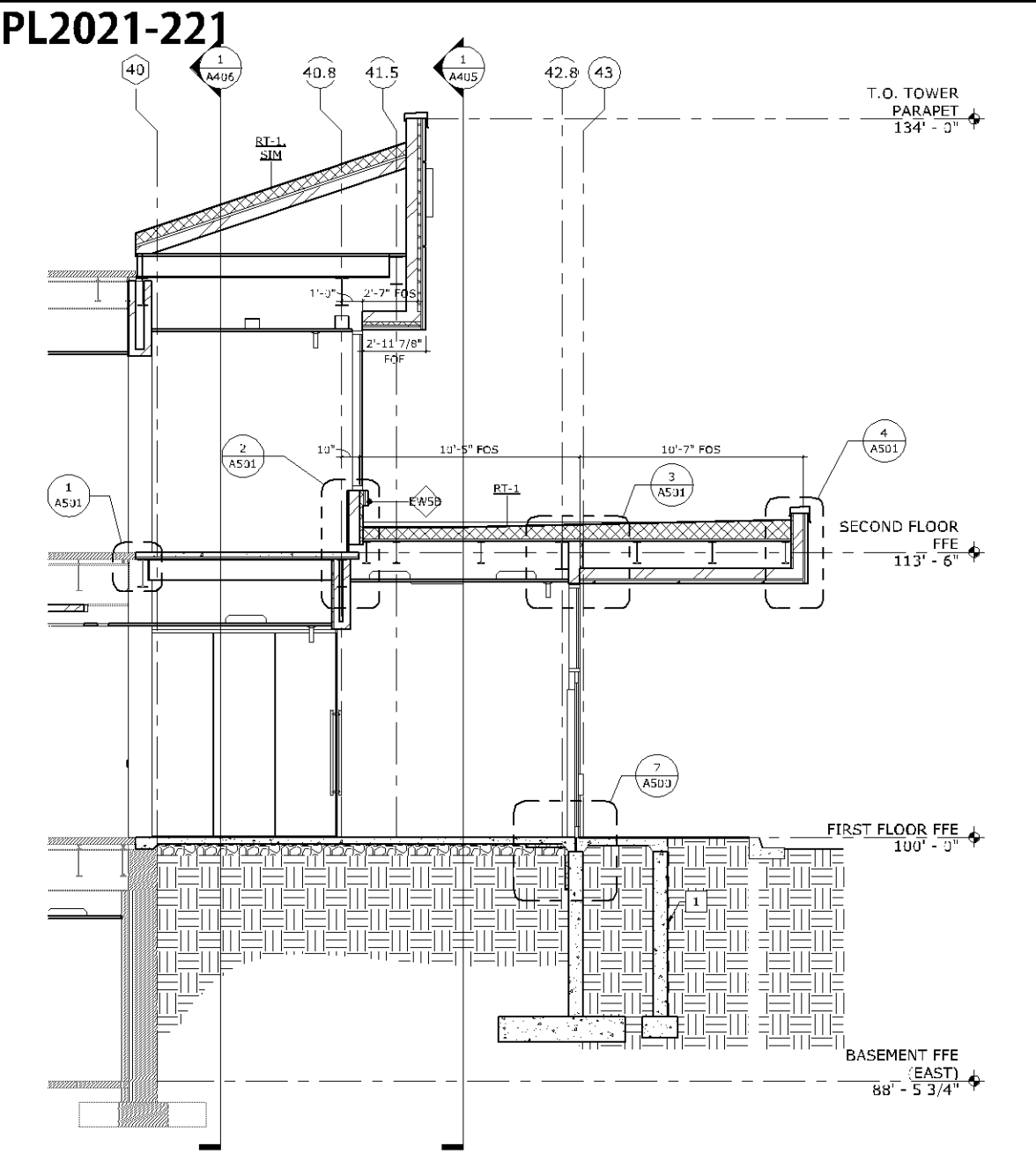
PROJECT:	18162.12
DRAWN BY:	SPM
CHECKED BY:	KDD
DATE:	10/22/21
REVISIONS:	

PRELIMINARY:
NOT FOR
CONSTRUCTION

A407



① TOWER SECTION - VIEW NORTH
1/4" = 1'-0"



② TOWER SECTION - VIEW EAST
1/4" = 1'-0"

KEYNOTES	
MARK	NOTE
1	FLUID APPLIED WATER PROOF MEMBRANE FROM FINISHED GRADE TO TOP OF FOOTING

KOMA

ARCHITECTS | DESIGNERS | ENGINEERS

2551 GILLESPIE DRIVE, SUITE 500, BLOOMINGTON, MINNESOTA 55420
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FOSTER, MULLER & ASSOCIATES, INC.
DATE: 10/22/21 PERMITS: 20415

TOWER SECTIONS

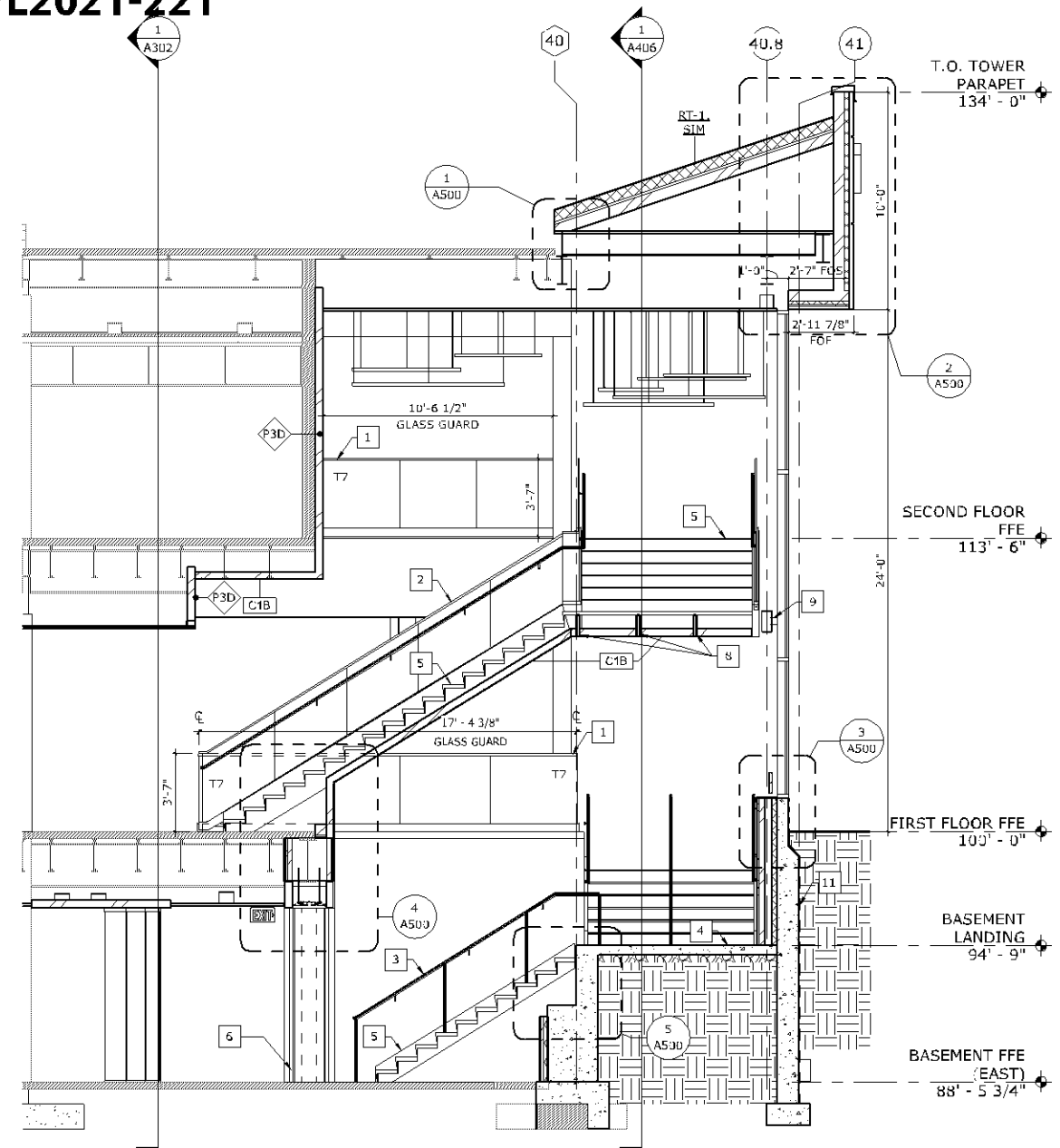
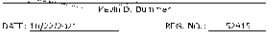
THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

PROJECT:	18162.12
DRAWN BY:	SPM
CHECKED BY:	KDD
DATE:	10/22/21
REVISIONS:	

PERMIT SET

A405

PL2021-221



② TOWER SECTION - VIEW EAST
1/4" = 1'-0"

TOWER SECTIONS

THERMO KING - PHASE 3B EAST OFFICE

BID PACK 2

314 W 90th STREET
BLOOMINGTON, MN 55420

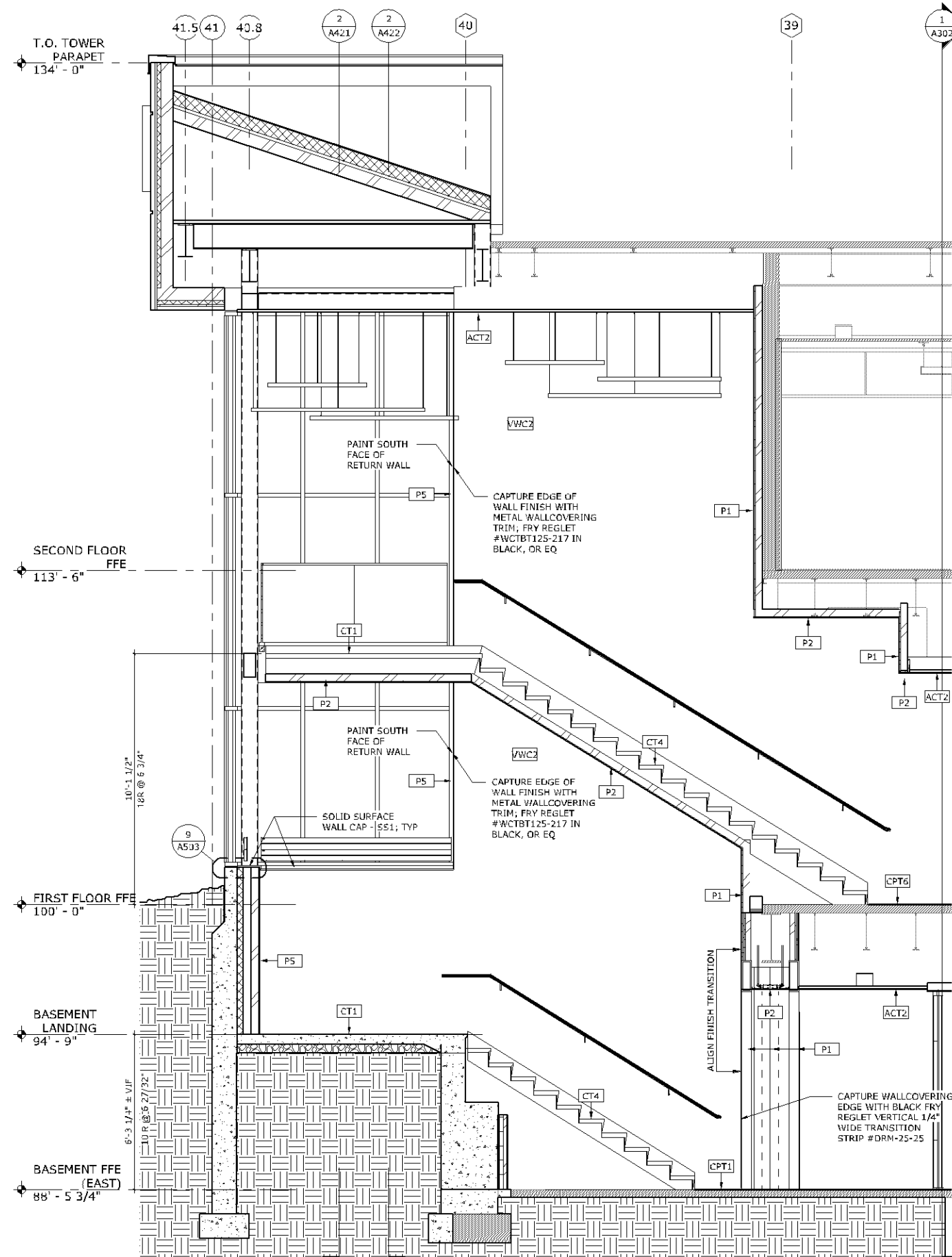
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DATE:	10/22/21

PRELIMINARY:
NOT FOR
CONSTRUCTION

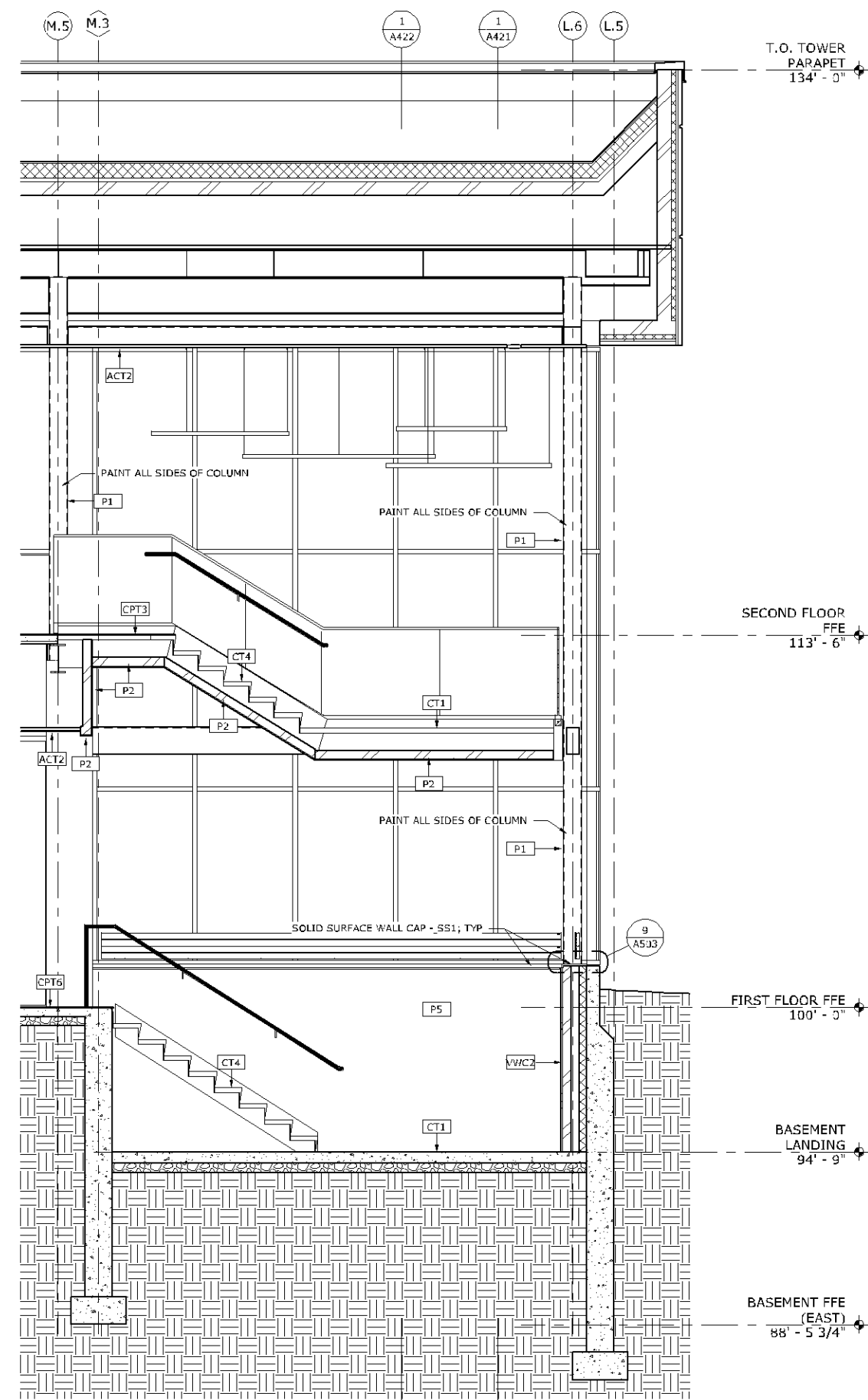
A406

PL202100221

PL2021-221



① STAIR 1 SECTION - N/S
3/8" = 1'-0"



② STAIR 1 SECTION E/W
3/8" = 1'-0"