CASE #PL2021-251

# SITE DEVELOPMENT PLANS
# FOR
# BLOOMINGTON WEST REDEVELOPMENT

## S6, T27N, R24W
## BLOOMINGTON, HENNEPIN COUNTY, MN

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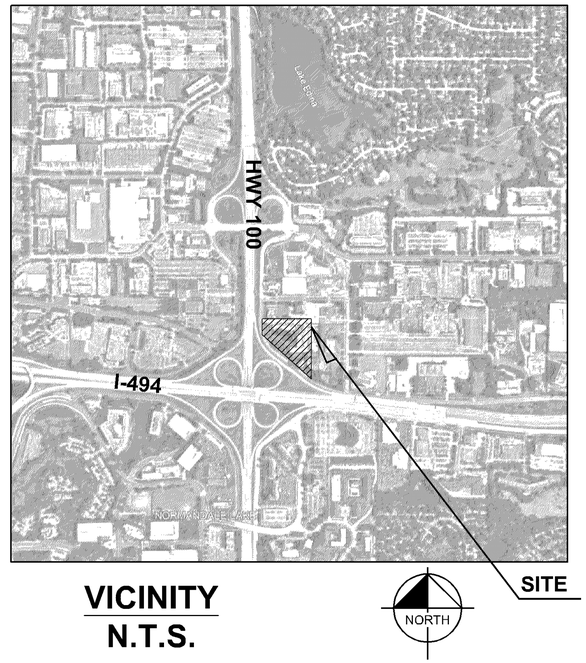


**VICINITY**
**N.T.S.**

**NOTES:**

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A ANSI full bleed D (34.00 x 22.00 Inches) SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

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Know what's below. Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |


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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TOM LINCOLN, P.E.
DATE: 10/06/2021 MN LIC. NO. 21433

KHA PROJECT 160576022
DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

**COVER SHEET**

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

SHEET NUMBER
**C000**


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## GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE MN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.

3. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ACSE 38/02, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA BY THE FHA. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.

6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.

7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.

8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.

10. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.

11. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

13. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.

## EROSION CONTROL MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO THE STANDARD SPECIFICATIONS.

2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.

3. THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

5. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

## TYPICAL OWNER/ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES

## EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF MN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.

4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO PUBLIC AREAS SHALL BE PAID BY THE CONTRACTOR.

5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.

6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.

8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS IS PRACTICABLE.

13. ALL STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCIRCLING THESE AREAS WITH SOME PROTECTIVE MEASURE WILL BE NECESSARY.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBRICANT OIL, PESTICIDES, AND ANY SOLID WASTE MATERIALS.

15. EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT.

16. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF BLOOMINGTON ENGINEERING DIVISION.

17. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL HAVE TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE. ANY REVISIONS TO THE EROSION CONTROL PLAN MADE BY THE CONTRACTOR MUST BE APPROVED BY THE ENGINEER.

## PAVING AND STRIPING NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR MN/DOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.

2. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND CITY STANDARDS.

3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.

4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.

5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.

6. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.

7. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.

8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.

9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.

10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.

11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

## GRADING AND DRAINAGE NOTES

1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.

3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.

4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.

5. BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.

6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.

7. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.

8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.

9. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.

11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MN/DOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

14. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.

15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.

16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MN/DOT SPECIFICATION.

17. ALL CONCRETE/ASPHALT SHALL BE INSTALLED PER GEOTECH REPORT, CITY OF BLOOMINGTON AND MN/DOT SPECIFICATIONS.

18. SPOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.

19. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.

20. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.

21. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.

22. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.

23. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.

24. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

25. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

26. CONTRACTOR SHALL ENSURE MINIMUM GRADES ARE MET WITHIN PAVED AREAS, 1.2% FOR ASPHALT PAVING AND 0.6% FOR CONCRETE PAVING.

## 3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESSURE TEST OF WATER/SEWER
- LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

## WATER STORM SEWER & SANITARY SEWER NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.

3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.

4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.

5. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

6. WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.

7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.

9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

10. CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10' AND A VERTICAL CLEARANCE OF 18" BETWEEN WATER AND SANITARY SEWER MANHOLES AND LINES.

11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT UNLESS OTHERWISE STATED BY CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS.

13. UNLESS OTHERWISE STATED IN CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". EXISTING CASTINGS AND STRUCTURES WITHIN PROJECT LIMITS SHALL BE ADJUSTED TO MEET THESE CONDITIONS AND THE PROPOSED FINISHED GRADE.

14. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.

15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

16. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT OUT.

17. ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELL DRAIN SHALL RUN AT A MINIMUM 1% SLOPE, UNLESS NOTED OTHERWISE, AND TIE IN AT THE CENTERLINE OF THE STORM MAIN.

18. ALL ROOF AND SANITARY SEWER DRAINS SHALL BE INSULATED IF 7' OF COVER CANNOT BE PROVIDED.

19. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.

20. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF CONSTRUCTION.

21. A MINIMUM OF 5' SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.

22. GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.

23. COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.

24. ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERIMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE. REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND SPECIFICATIONS.

25. REFERENCE ARCHITECTURAL PLANS (BY OTHERS). FOR EXACT BUILDING DIMENSIONS, AND MATERIALS SPECIFICATIONS.

26. REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.

27. CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND PAD PREPARATION SPECIFICATIONS.

28. CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR LIGHT POLE WIRING.

**CASE #PL2021-251**

REFER TO GEOTECHNICAL REPORT NO. B1609781.00
BRAUN INTERTEC CORPORATION
11001 HAMPSHIRE AVE. S, MINNEAPOLIS, MN 55438
DATED JULY 28, 2017

PRELIMINARY - NOT FOR CONSTRUCTION

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |

Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TOM LINCOLN, P.E.
DATE: 10/06/2021 MN LIC. NO. 21433

KHA PROJECT 160576022
DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

# GENERAL NOTES

BLOOMINGTON WEST REDEVELOPMENT
PREPARED FOR
UNITED PROPERTIES
BLOOMINGTON MN

SHEET NUMBER
C100

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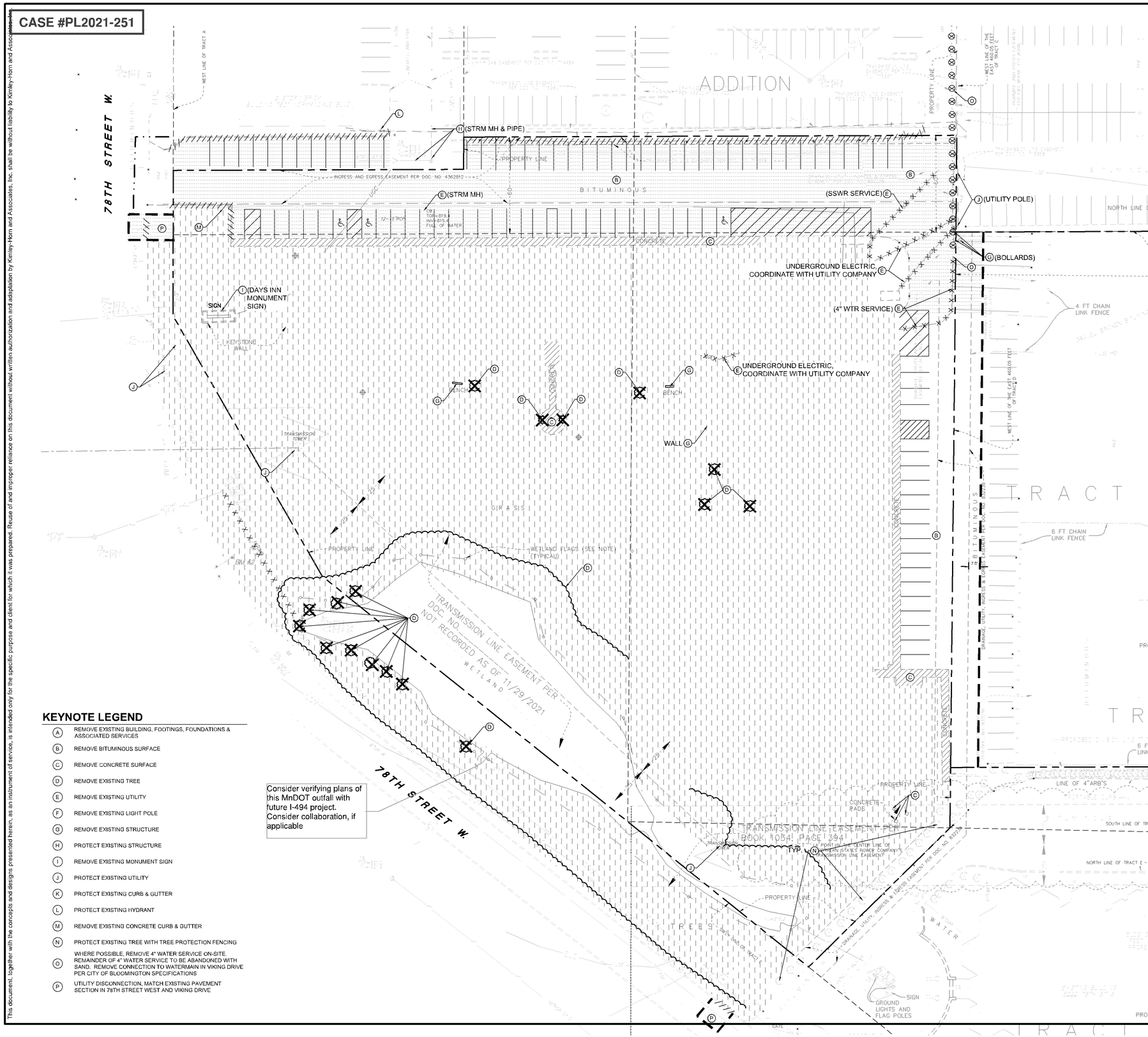
CASE #PL2021-251




## KEYNOTE LEGEND

- (A) REMOVE EXISTING BUILDING, FOOTINGS, FOUNDATIONS & ASSOCIATED SERVICES
- (B) REMOVE BITUMINOUS SURFACE
- (C) REMOVE CONCRETE SURFACE
- (D) REMOVE EXISTING TREE
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- (F) REMOVE EXISTING LIGHT POLE
- (G) REMOVE EXISTING STRUCTURE
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- (M) REMOVE EXISTING CONCRETE CURB & GUTTER
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- (O) WHERE POSSIBLE, REMOVE 4" WATER SERVICE ON-SITE. REMAINDER OF 4" WATER SERVICE TO BE ABANDONED WITH SAND. REMOVE CONNECTION TO WATERMAIN IN VIKING DRIVE PER CITY OF BLOOMINGTON SPECIFICATIONS
- (P) UTILITY DISCONNECTION, MATCH EXISTING PAVEMENT SECTION IN 78TH STREET WEST AND VIKING DRIVE

## DEMOLITION PLAN NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANYS FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATIONS, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH BLOOMINGTON, HENNEPIN COUNTY AND MN/DOT.
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10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF BLOOMINGTON DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
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15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINTILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAINTILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
18. ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING AND STORAGE OF EQUIPMENT AND MATERIALS MUST BE LOCATED ON-SITE. USE OF PUBLIC STREETS FOR PRIVATE CONSTRUCTION PARKING, LOADING/UNLOADING, AND STORAGE WILL NOT BE ALLOWED.
19. ALL UNUSED WATER SERVICES MUST BE PROPERLY ABANDONED AT THE MAIN. ALL UNUSED SANITARY SEWER SERVICES MUST BE PROPERLY ABANDONED AT THE PROPERTY LINE

## LEGEND

- PROPERTY LINE
- REMOVE BITUMINOUS SURFACE
- REMOVE CONCRETE SURFACE
- REMOVE BUILDING
- CLEARING & GRUBBING
- FULL DEPTH SAWCUT
- REMOVE TREE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION, OFFSET 3' FOR CLARITY
- EXISTING OVERHEAD POWER LINE
- EXISTING CHAINLINK FENCE
- EXISTING RETAINING WALL
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING GAS MAIN
- EXISTING UNDERGROUND TELEPHONE
- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING FLARED END SECTION
- EXISTING STORM MANHOLE
- EXISTING STORM CATCHBASIN
- EXISTING GAS METER
- EXISTING POST INDICATOR VALVE
- EXISTING WELL
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING METAL COVER
- EXISTING ELECTRICAL METER
- EXISTING AIR CONDITIONER
- EXISTING TELEPHONE MANHOLE
- EXISTING CABLE BOX
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- EXISTING TREE LINE

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

PRELIMINARY - NOT FOR CONSTRUCTION

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |


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DATE: 10/06/2021

KHA PROJECT 160576022
DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

# EXISTING CONDITIONS AND REMOVALS PLAN

BLOOMINGTON WEST REDEVELOPMENT
PREPARED FOR UNITED PROPERTIES
BLOOMINGTON MN

SHEET NUMBER
C200


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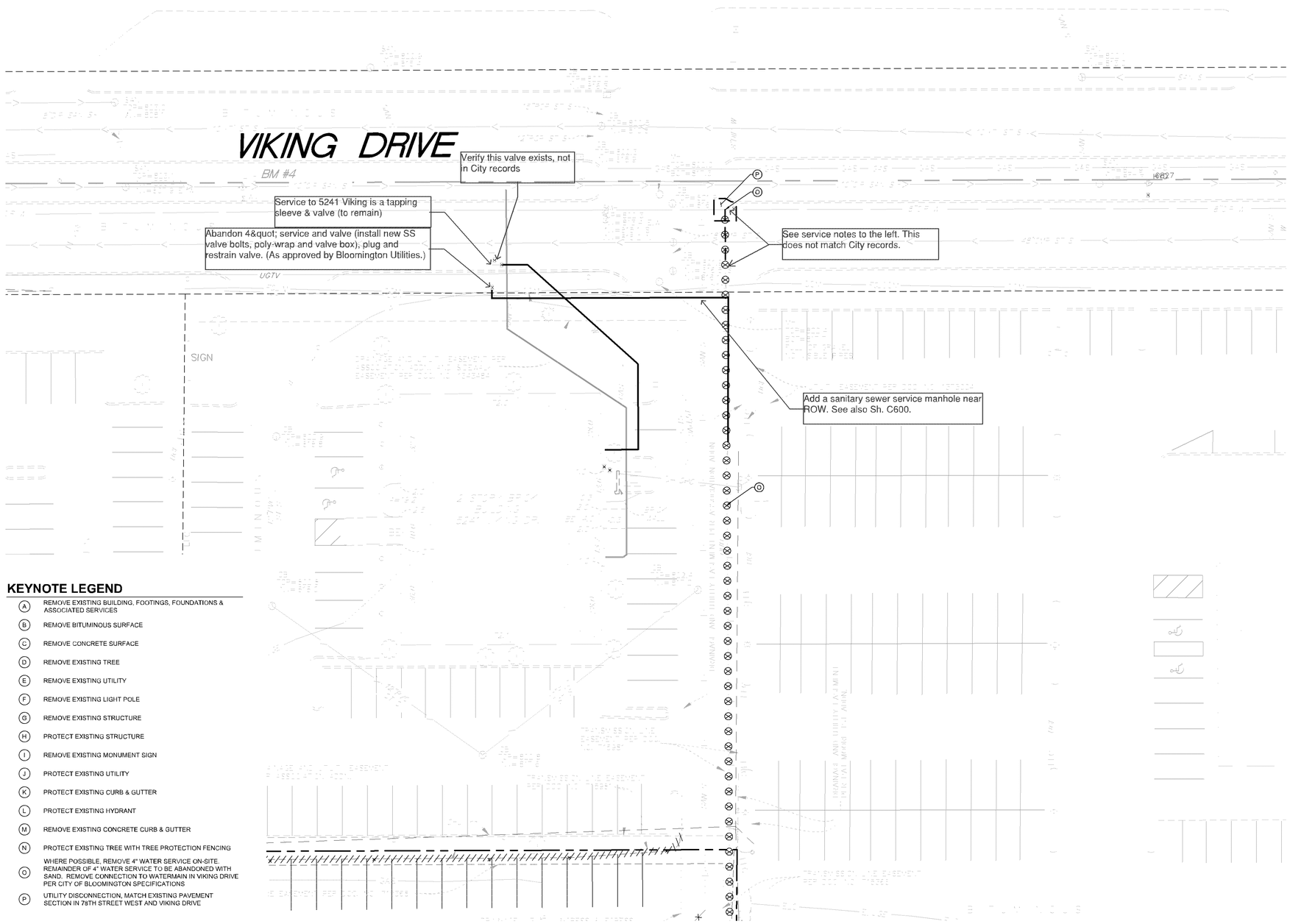
**CASE #PL2021-251**

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- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION, OFFSET 3' FOR CLARITY
- EXISTING OVERHEAD POWER LINE
- EXISTING CHAINLINK FENCE
- EXISTING RETAINING WALL
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING GAS MAIN
- EXISTING UNDERGROUND TELEPHONE
- 928 EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING FLARED END SECTION
- EXISTING STORM MANHOLE
- EXISTING STORM CATCHBASIN
- EXISTING GAS METER
- EXISTING POST INDICATOR VALVE
- EXISTING WELL
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING METAL COVER
- E EXISTING ELECTRICAL METER
- EXISTING AIR CONDITIONER
- EXISTING TELEPHONE MANHOLE
- EXISTING CABLE BOX
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- EXISTING TREE LINE

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

PRELIMINARY - NOT FOR CONSTRUCTION

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |

Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TOM LINCOLN, P.E.
DATE 10/06/2021 MN LIC. NO. 21433

KHA PROJECT 160576022
DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

# EXISTING CONDITIONS AND REMOVALS PLAN

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
UNITED PROPERTIES
BLOOMINGTON MN

SHEET NUMBER
C201

K:\TWC_LDEV\United_Properties\BLOOMINGTON TESLA\3 Design\CAD\PlanSheets\C3-EROS PH1 PLAN.dwg December 01, 2021 - 12:55pm

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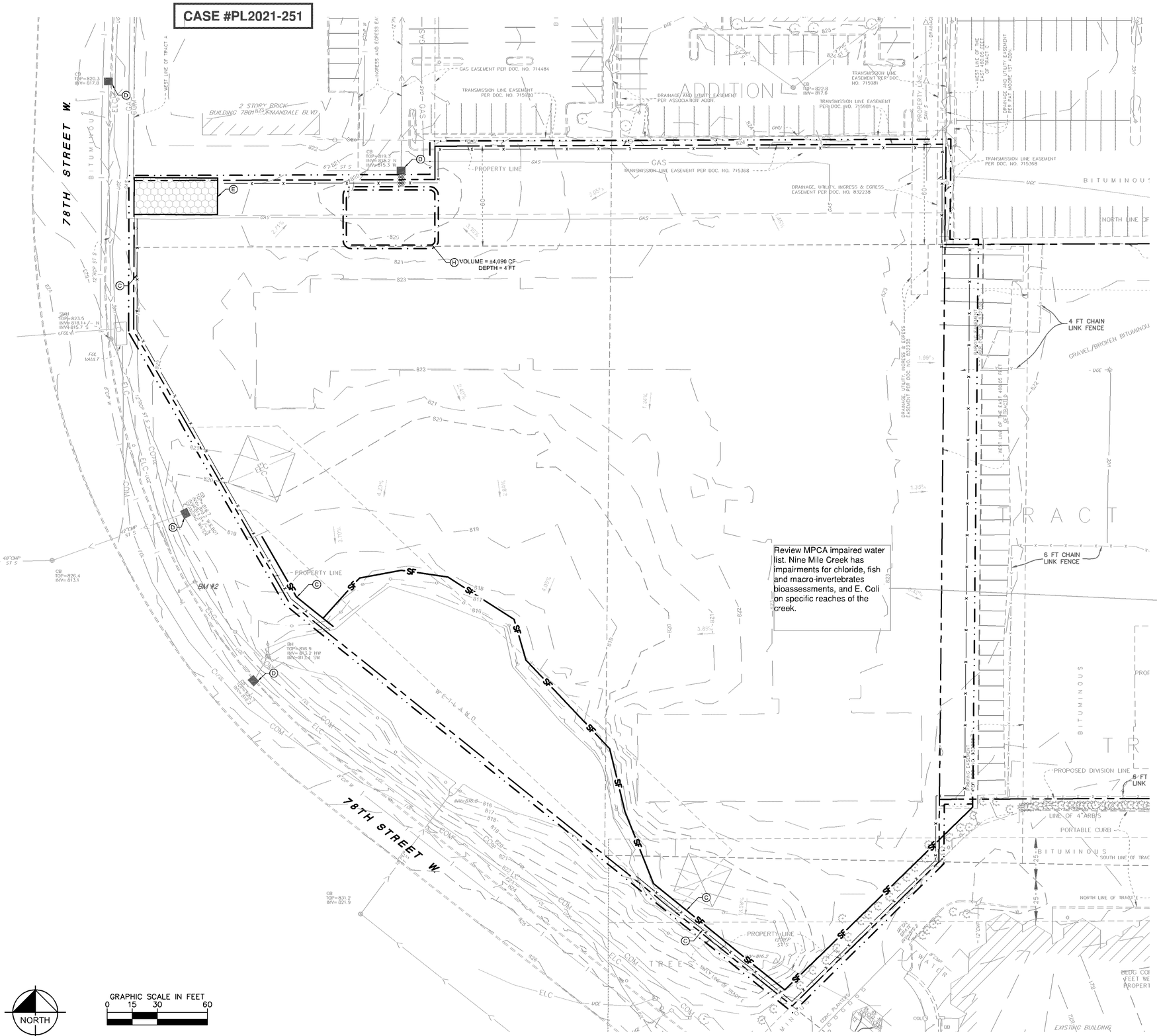


## LEGEND

- ROCK ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- SAFETY FENCE
- BIOROLL

## EROSION CONTROL PLAN NOTES

1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
3. THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
4. WITHIN 1 WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
6. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
7. ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
8. REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
9. THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
10. IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

## SEQUENCE OF CONSTRUCTION:

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:

1. INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1), CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
5. PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
6. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
7. TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF BLOOMINGTON GRADING PERMIT.

## SWPPP UPDATES AND AMENDMENTS

THE GC MUST UPDATE THE SWPPP, INCLUDING THE JOBSITE BINDER AND SITE MAPS, TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE. UPDATES SHALL BE MADE DAILY TO TRACK PROGRESS WHEN ANY OF THE FOLLOWING ACTIVITIES OCCUR: BMP INSTALLATION, MODIFICATION OR REMOVAL, CONSTRUCTION ACTIVITIES (E.G., PAVING, STORM SEWER INSTALLATION, FOOTING INSTALLATION, ETC.), CLEARING, GRUBBING OR GRADING, OR TEMPORARY OR PERMANENT STABILIZATION.

**SITE DISCHARGE**
RUNOFF WILL DISCHARGE INTO NINEMILE CREEK LOCATED APPROXIMATELY 0.05 MILES TO THE WEST. THIS CREEK WAS DELISTED IN 2010 AND IS NO LONGER CLASSIFIED AS AN IMPAIRED STREAM.

**SOIL TYPES**
THE SITE BORING LOGS CONSIST GENERALLY OF 2 TO 10 FEET OF FILL FOLLOWED BY SWAMP DEPOSITS AND GLACIAL DEPOSITS. NATIVE SOILS LARGELY CONSIST OF POORLY GRADED SAND WITH SILT (SP-SM), SILTY SANDS (SM), AND CLAYEY SANDS (SC).

## AREA SUMMARY

| | |
|---|---|
| TOTAL PROPERTY AREA | 4.02 AC |
| EXISTING IMPERVIOUS AREA | 1.85 AC |
| EXISTING PERVIOUS AREA | 2.16 AC |
| PROPOSED IMPERVIOUS AREA | 2.55 AC |
| PROPOSED PERVIOUS AREA | 1.47 AC |

## KEYNOTE LEGEND

- (A) LIMITS OF DISTURBANCE
- (B) SILT FENCE - OFFSET FROM LIMITS OF DISTURBANCE FOR CLARITY
- (C) SAFETY FENCE - OFFSET FROM LIMITS OF DISTURBANCE FOR CLARITY
- (D) INLET PROTECTION
- (E) ROCK CONSTRUCTION ENTRANCE/EXIT
- (F) TEMPORARY CHECK DAM
- (G) TEMPORARY DIVERSION DITCH
- (H) SEDIMENT TRAP WITH RIP-RAP TO INLET STRUCTURE

| No. | REVISIONS | DATE | BY |
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TOM LINCOLN, P.E.
MN
DATE: 10/06/2021 LIC. NO. 21433

KHA PROJECT 160576022
DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

# EROSION AND SEDIMENT CONTROL PLAN - PHASE 1

PRELIMINARY - NOT FOR CONSTRUCTION

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
UNITED PROPERTIES
BLOOMINGTON MN

SHEET NUMBER
C300

K:\TWC_LDEV\United_Properties\BLOOMINGTON TESLA\3 Design\CAD\PlanSheets\C3-EROS PH2 PLAN.dwg December 01, 2021 - 12:55pm

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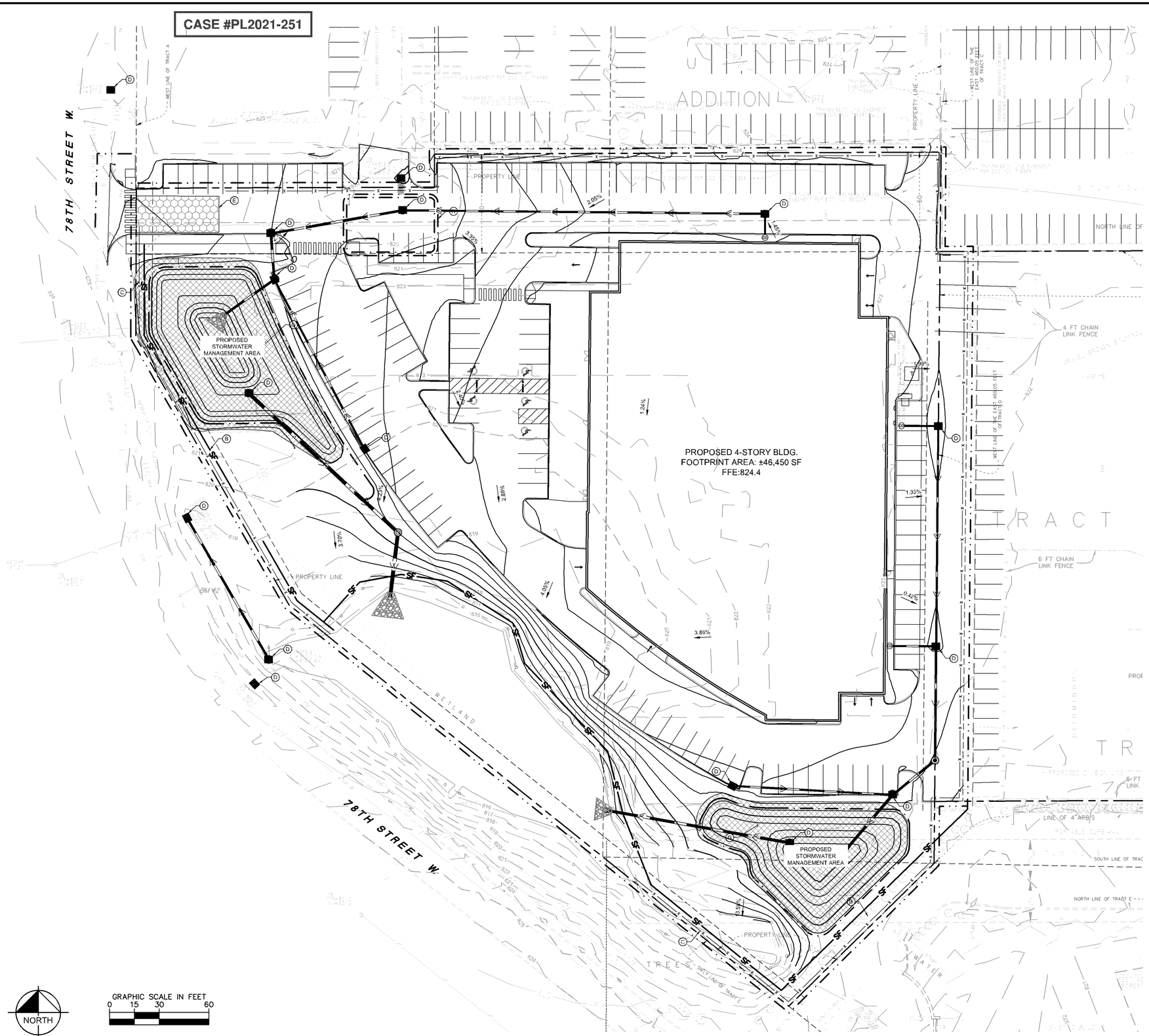


## LEGEND

- ROCK ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
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| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |

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TOM LINCOLN, P.E.

DATE: 10/06/2021 MN LIC. NO. 21433

| | |
|---|---|
| KHA PROJECT | 160576022 |
| DATE | 12/01/2021 |
| SCALE | AS SHOWN |
| DESIGNED BY | EIS |
| DRAWN BY | EIS |
| CHECKED BY | TJL |

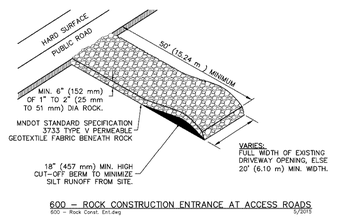
# EROSION AND SEDIMENT CONTROL PLAN - PHASE 2

PRELIMINARY - NOT FOR CONSTRUCTION

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
UNITED PROPERTIES
BLOOMINGTON MN

SHEET NUMBER
C301

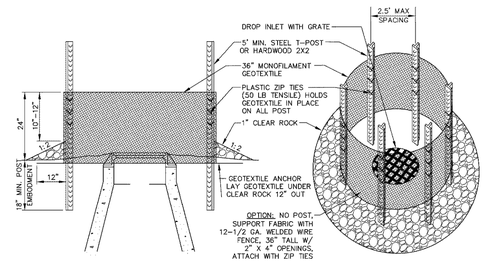
CASE #PL2021-251




600 – ROCK CONSTRUCTION ENTRANCE AT ACCESS ROADS
600 – Rock Const. Ent.dwg 5/2015

U:\Cad_Comm\Details Updated\0 – EROSION\600 – Rock Const. Ent

| CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700 | PLATE NAME: 600 – Rock Const. Ent | |
|---|---|---|
| ENGINEERING DIVISION PUBLIC WORKS DEPARTMENT | LAST REVISED: 5/15/2015 | |
| | LAST REVISED BY: KBO | |

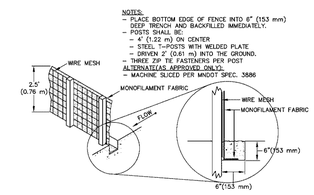



USE WHERE INLET DRAINS IN AN AREA WITH SLOPES AT 1:3 or LESS

603 – INLET PROTECTION
SILT FENCE RING AND ROCK FILTER BERM
603 – Inlet Protection (Ring).dwg 5/2015

U:\Cad_Comm\Details Updated\0 – EROSION\603 – Inlet Protection (Ring)

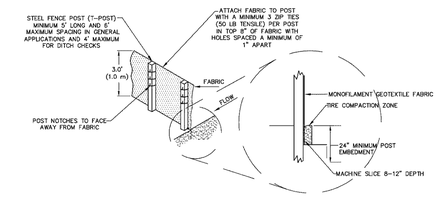
| CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700 | PLATE NAME: 603 – Inlet Protection (Ring) | |
|---|---|---|
| ENGINEERING DIVISION PUBLIC WORKS DEPARTMENT | LAST REVISED: 5/15/2015 | |
| | LAST REVISED BY: KBO | |




607 – SILT FENCE, TYPE HEAVY DUTY
607 – Silt Fen (HEAVY DUTY).dwg 5/2015

U:\Cad_Comm\Details Updated\0 – EROSION\607 – Silt Fen (HEAVY DUTY)

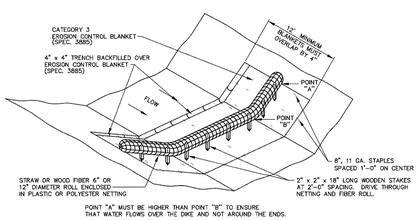
| CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700 | PLATE NAME: 607 – Silt Fen (HEAVY DUTY) | |
|---|---|---|
| ENGINEERING DIVISION PUBLIC WORKS DEPARTMENT | LAST REVISED: 5/15/2015 | |
| | LAST REVISED BY: KBO | |




608 – SILT FENCE– MACHINE SLICED
608 – Silt Fen (MACHINE SLICED).dwg 5/2015

U:\Cad_Comm\Details Updated\0 – EROSION\608 – Silt Fen (MACHINE SLICED)

| CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700 | PLATE NAME: 608 – Silt Fen (MACHINE SLICED) | |
|---|---|---|
| ENGINEERING DIVISION PUBLIC WORKS DEPARTMENT | LAST REVISED: 5/15/2015 | |
| | LAST REVISED BY: KBO | |



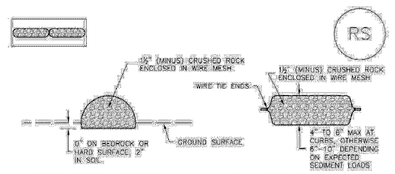

POINT "A" MUST BE HIGHER THAN POINT "B" TO ENSURE THAT WATER FLOWS OVER THE DIKE AND NOT AROUND THE ENDS.

610 – BIOROLL BLANKET SYSTEM ( TYPE 3 SPEC. 3889 )
610 – Bioroll.dwg 5/2015

U:\Cad_Comm\Details Updated\0 – EROSION\610 – Bioroll

| CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700 | PLATE NAME: 610 – Bioroll | |
|---|---|---|
| ENGINEERING DIVISION PUBLIC WORKS DEPARTMENT | LAST REVISED: 5/15/2015 | |
| | LAST REVISED BY: KBO | |






ROCK SOCK SECTION ROCK SOCK PLAN

ANY GAP AT JOINT SHALL BE FILLED WITH AN ADEQUATE AMOUNT OF 1½" (MINUS) CRUSHED ROCK AND WRAPPED WITH ADDITIONAL WIRE MESH SECURED TO ENDS OF ROCK REINFORCED SOCK. AS AN ALTERNATIVE TO FILLING JOINTS BETWEEN ADJOINING ROCK SOCKS WITH CRUSHED ROCK AND ADDITIONAL WIRE WRAPPING, ROCK SOCKS CAN BE OVERLAPPED (TYPICALLY 12-INCH OVERLAP) TO AVOID GAPS.

ROCK SOCK JOINTING

| GRADATION TABLE | |
|---|---|
| SIEVE SIZE | MASS PERCENT PASSING SQUARE MESH SIEVES |
| | NO. 4 |
| 2" | 100 |
| 1½" | 90 – 100 |
| 1" | 20 – 55 |
| ¾" | 0 – 15 |
| ⅜" | 0 – 5 |
| MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES. | |

ROCK SOCK INSTALLATION NOTES:

1. SEE PLAN VIEW FOR:
   –LOCATION(S) OF ROCK SOCKS.

2. CRUSHED ROCK SHALL BE 1½" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1½" MINUS).

3. WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF ½". RECOMMENDED MINIMUM ROLL WIDTH OF 48"

4. WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.

5. SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS–1. ROCK SOCK PERIMETER CONTROL





ROCK SOCK MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.

5. SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY ½ OF THE HEIGHT OF THE ROCK SOCK.

6. ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.

7. WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT RUNABLE IN AUTOCAD

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER INDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS. HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.



| No. | REVISIONS | DATE | BY |
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| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |

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DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

# EROSION AND SEDIMENT CONTROL DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

BLOOMINGTON WEST REDEVELOPMENT
PREPARED FOR UNITED PROPERTIES
BLOOMINGTON MN

SHEET NUMBER
C302

K:\TWC_LDEV\United_Properties\BLOOMINGTON TESLA\3 Design\CAD\PlanSheets\C3-EROS DETAILS.dwg December 01, 2021 - 12:56pm
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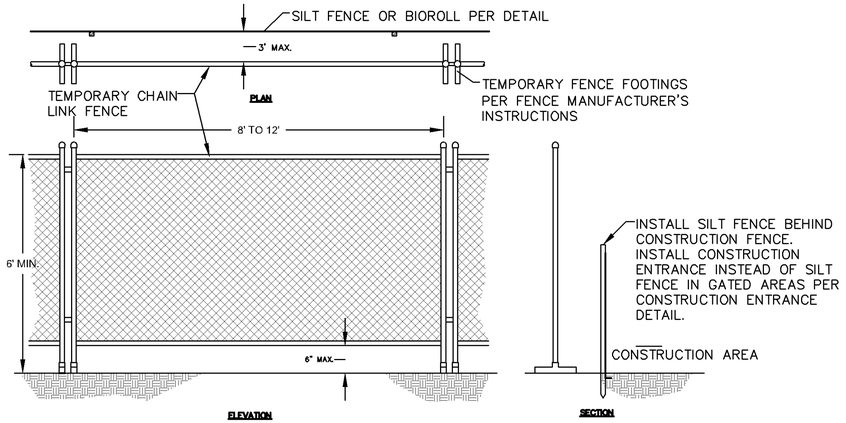
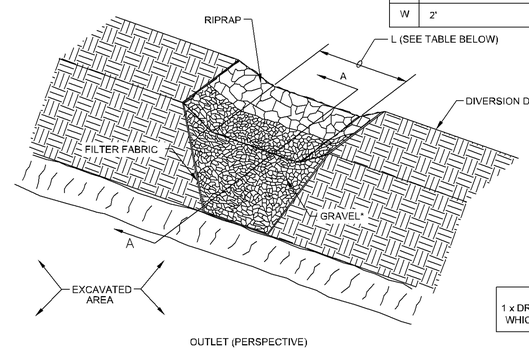
**CASE #PL2021-251**




## SAFETY FENCE

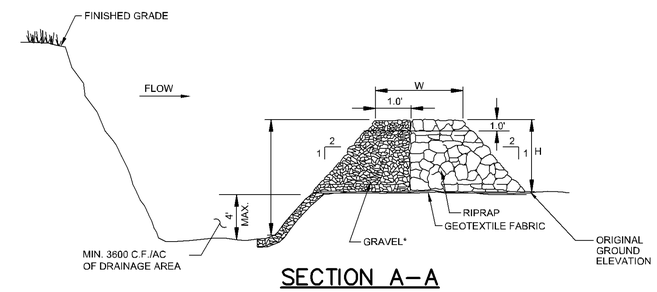
| OUTLET DIM (FT). | |
|---|---|
| | ALL SEDIMENT TRAPS |
| L | 6' |
| H | 2' |
| W | 2' |



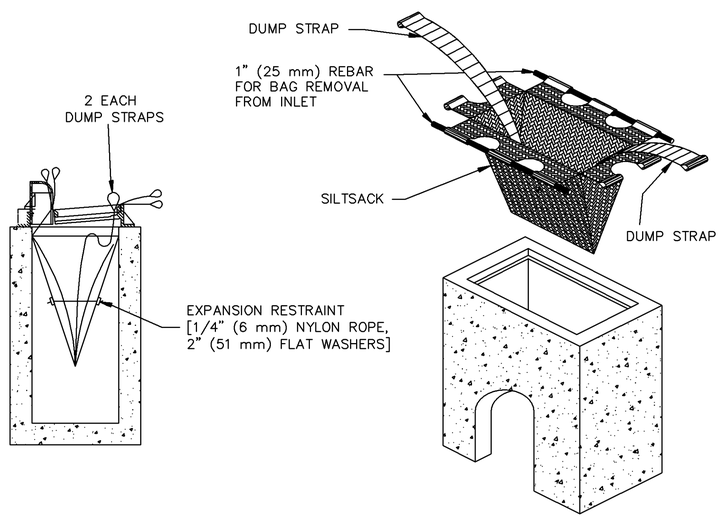

NOTE:
OUTLET DIMENSIONS PROVIDED BELOW AND VOLUME FOR EACH SEDIMENT TRAP LOCATED ON THE PLANS. (SEE SITE MAPS)

L (IN FEET) = 6' OR
1 x DRAINAGE AREA (AC)
WHICHEVER IS LARGER

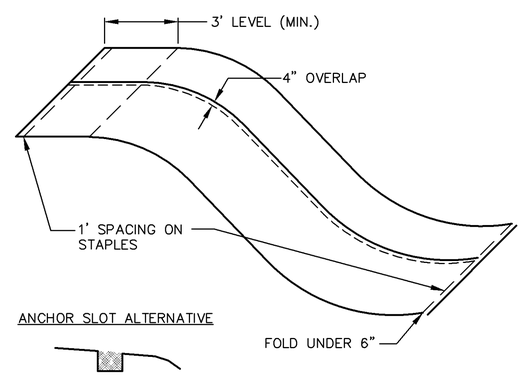
## TEMPORARY SEDIMENT TRAP




## SECTION A–A




## INLET PROTECTION, SEDIMENT FILTER SACK




## EROSION CONTROL BLANKET

| No. | REVISIONS | DATE | BY |
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| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |


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TOM LINCOLN, P.E.

DATE 12/06/2021 MN LIC. NO. 21433

| | |
|---|---|
| KHA PROJECT | 160576022 |
| DATE | 12/01/2021 |
| SCALE | AS SHOWN |
| DESIGNED BY | EIS |
| DRAWN BY | EIS |
| CHECKED BY | TJL |

# EROSION AND SEDIMENT CONTROL DETAILS

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

SHEET NUMBER
**C303**

PRELIMINARY - NOT FOR CONSTRUCTION


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Sidewalks along collector roads must be eight feet in width (Sec. 21.301.04(d)(1)(A)(ii)).

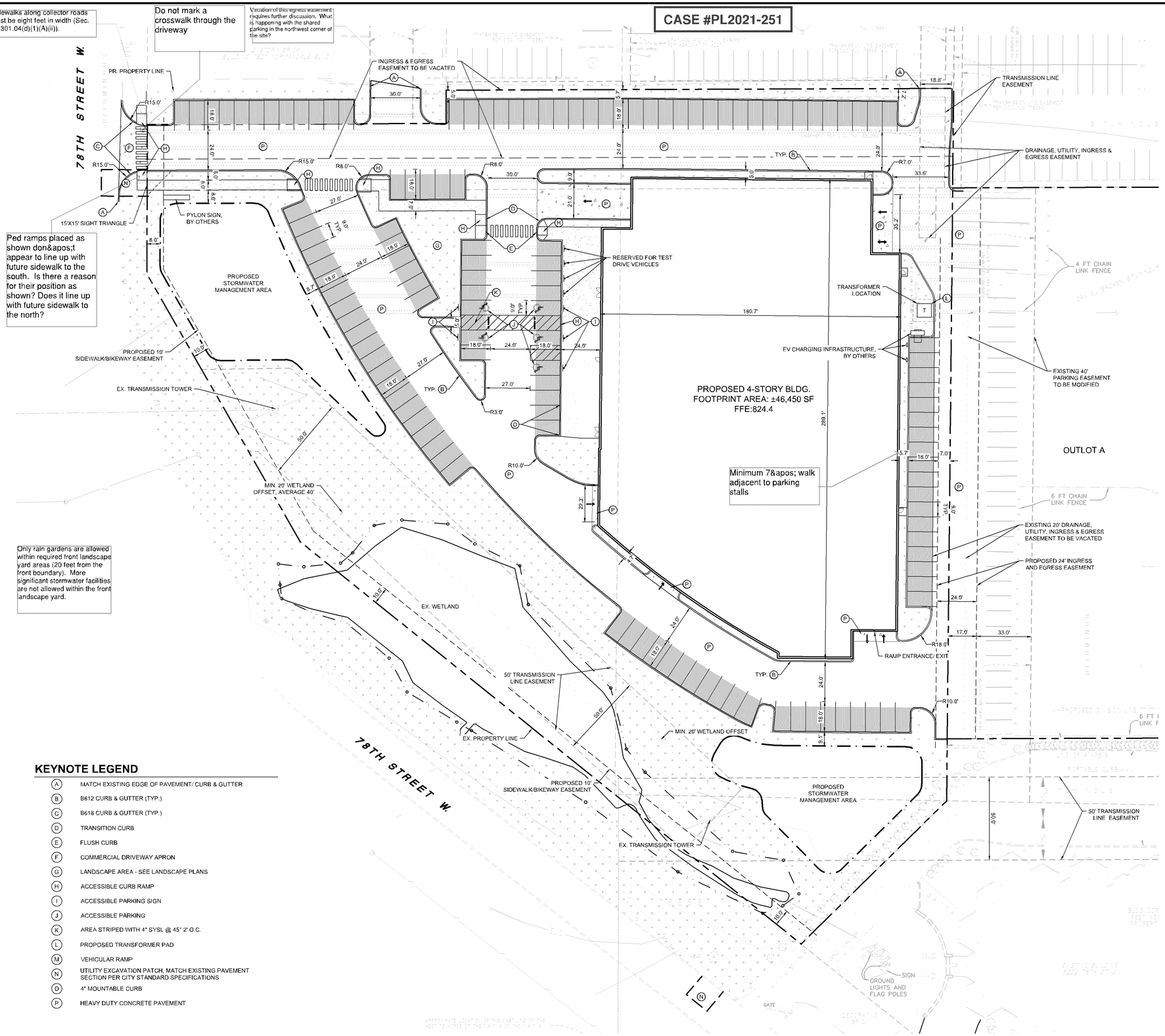
Do not mark a crosswalk through the driveway

Vacation of this ingress easement requires further discussion. What is happening with the shared parking in the northwest corner of the site?

Ped ramps placed as shown don't appear to line up with future sidewalk to the south. Is there a reason for their position as shown? Does it line up with future sidewalk to the north?

Only rain gardens are allowed within required front landscape yard areas (20 feet from the front boundary). More significant stormwater facilities are not allowed within the front landscape yard.

Minimum 7' walk adjacent to parking stalls




## KEYNOTE LEGEND

| | |
|---|---|
| A | MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER |
| B | B612 CURB & GUTTER (TYP.) |
| C | B618 CURB & GUTTER (TYP.) |
| D | TRANSITION CURB |
| E | FLUSH CURB |
| F | COMMERCIAL DRIVEWAY APRON |
| G | LANDSCAPE AREA - SEE LANDSCAPE PLANS |
| H | ACCESSIBLE CURB RAMP |
| I | ACCESSIBLE PARKING SIGN |
| J | ACCESSIBLE PARKING |
| K | AREA STRIPED WITH 4" SYSL @ 45° 2' O.C. |
| L | PROPOSED TRANSFORMER PAD |
| M | VEHICULAR RAMP |
| N | UTILITY EXCAVATION PATCH, MATCH EXISTING PAVEMENT SECTION PER CITY STANDARD SPECIFICATIONS |
| O | 4" MOUNTABLE CURB |
| P | HEAVY DUTY CONCRETE PAVEMENT |

## LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- WETLAND BOUNDARY
- PROPOSED CURB AND GUTTER
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT

| PROPERTY SUMMARY | |
|---|---|
| BLOOMINGTON WEST REDEVELOPMENT | |
| ZONING SUMMARY | |
| FREEWAY COMMERCIAL DISTRICT (C-3) | |
| **BUILDING DATA SUMMARY** | |
| FOOTPRINT AREA | ±46,450SF |
| PARKING | |
| PROPOSED SURFACE PARKING | 118 SPACES |
| CITY PARKING REQUIREMENT | 75 SPACES |
| SURFACE ADA STALLS REQ'D / PROVIDED | 5 STALLS / 5 STALLS |
| TOTAL PROPERTY AREA | 4.02 AC |

## SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
7. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY SUNDE LAND SURVEYING, DATED 12/18/2017.

   KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
8. TOTAL LAND AREA IS 4.02 ACRES.
9. PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
10. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
11. NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
12. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
13. REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
14. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
15. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
16. ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
17. THERE ARE WETLANDS EXISTING ON SITE.
18. CONTRACTOR SHALL OBTAIN A PUBLIC WORKS PERMIT FOR OBSTRUCTION AND CONCRETE WORK WITHIN THE RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVALS OR INSTALLATION. CONTACT SEAN JENKINS.
19. ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING AND STORAGE OF EQUIPMENT AND MATERIALS MUST BE ON-SITE. USE OF PUBLIC STREETS FOR PRIVATE CONSTRUCTION PARKING, LOADING/UNLOADING, AND STORAGE WILL NOT BE ALLOWED.

NORTH

GRAPHIC SCALE IN FEET
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| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | ES |

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TOM LINCOLN, P.E.
DATE: 10/06/2021 MN LIC. NO. 21433

K-H PROJECT 160576022
DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

# SITE PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

SHEET NUMBER
**C400**

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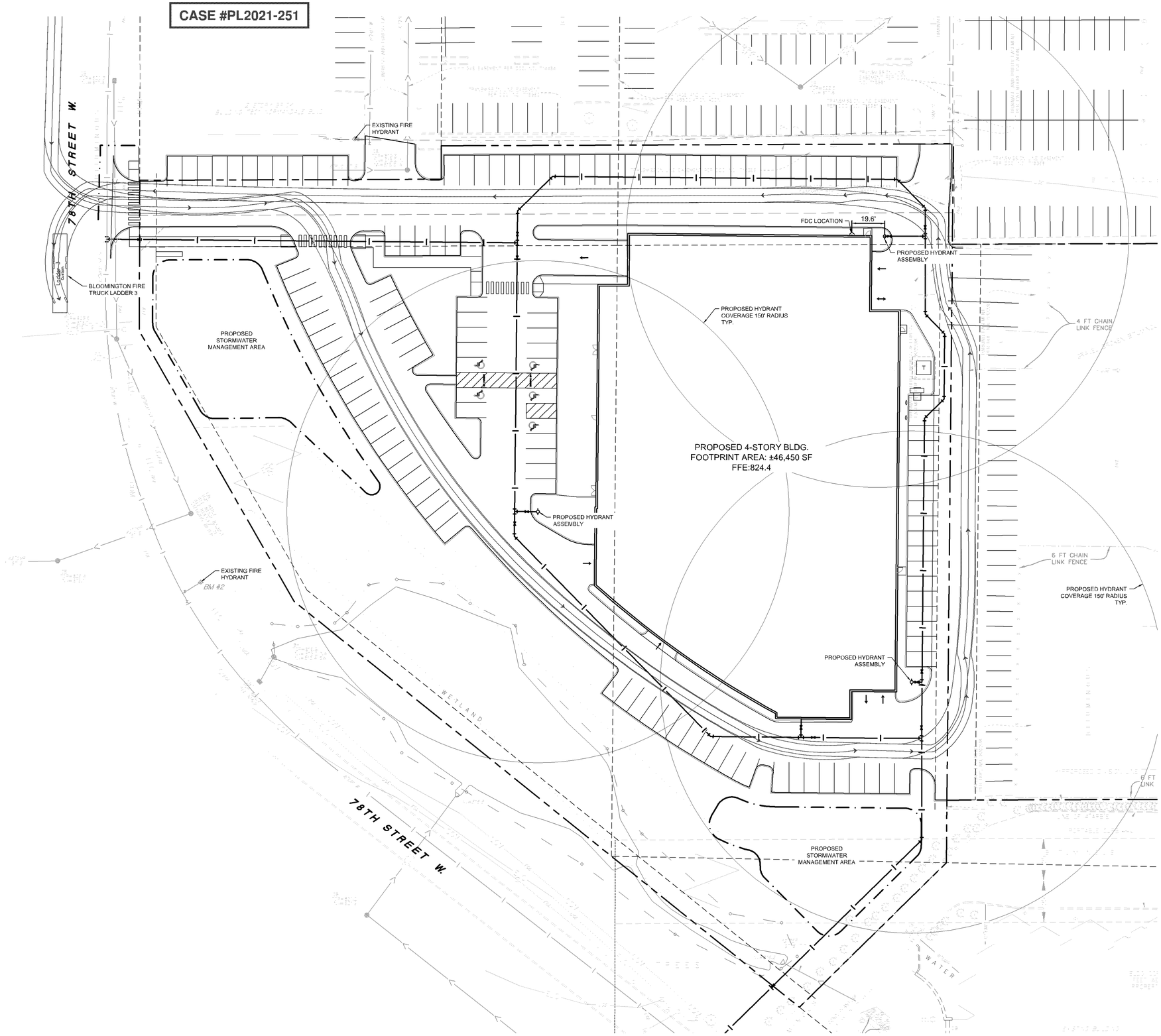
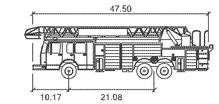
**CASE #PL2021-251**




## LEGEND

| EXISTING | PROPOSED | |
|---|---|---|
| | | FIRE HYDRANT |
| | | WATERMAIN |




Bloomington Fire Ladder 3

| | feet |
|---|---|
| Width | : 8.33 |
| Track | : 8.33 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 40.0 |

THE VEHICLE MANEUVERINGS IDENTIFIED ON THIS PLAN WERE PREPARED USING AUTOTURN SOFTWARE AND DOES NOT NECESSARILY REPRESENT ACTUAL CONDITIONS NOR DOES IT ACCOUNT FOR EXTERNAL FACTORS. THIS ANALYSIS SHOULD NOT BE USED AS THE SOLE BASIS FOR THE CLIENT'S DECISION MAKING

NORTH

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0 15 30 60

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MN
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KHA PROJECT 160576022

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| 12/01/2021 | |
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# FIRE ACCESS PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

SHEET NUMBER
**C401**

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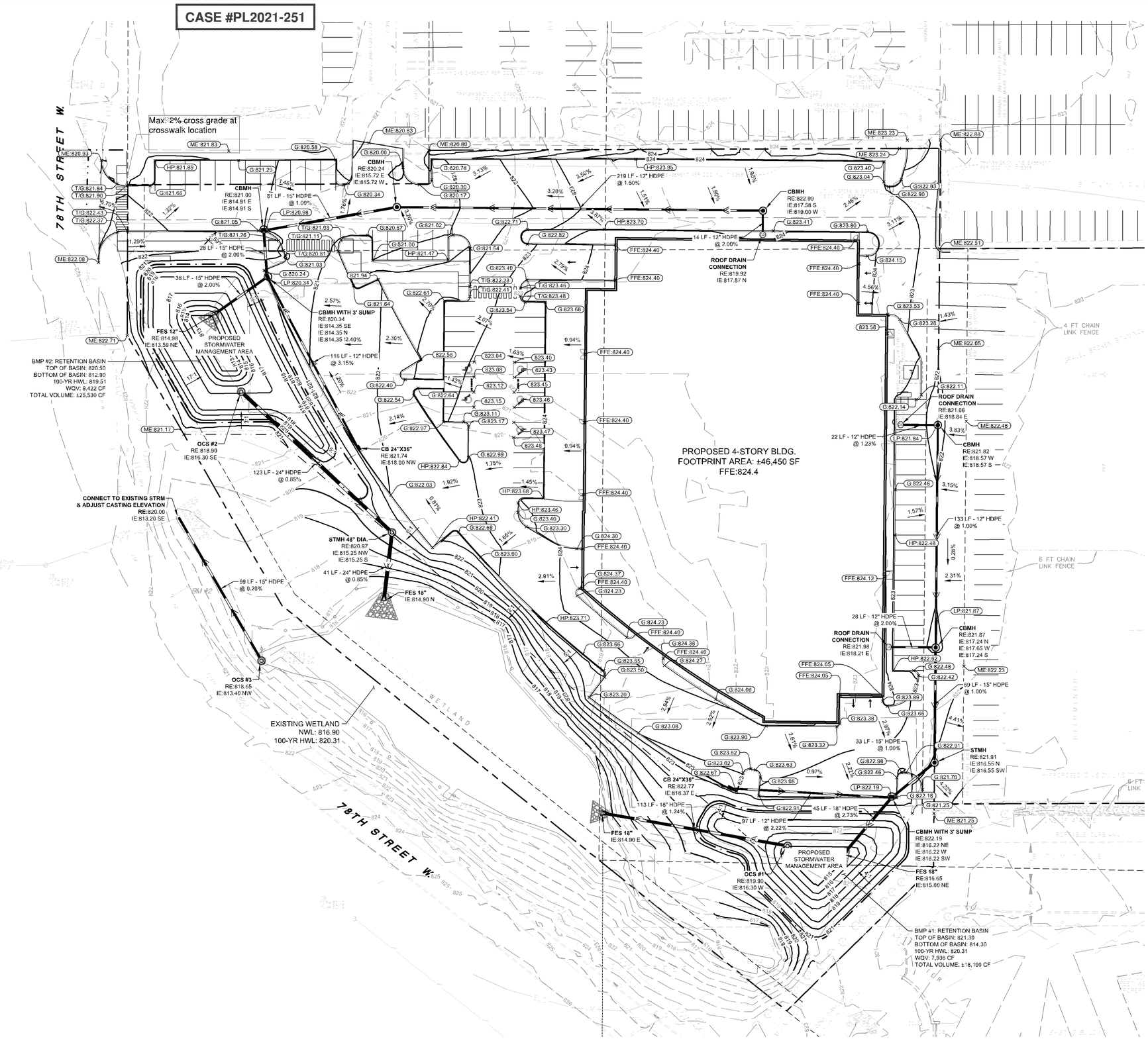
CASE #PL2021-251




## LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLENOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW
- PROPOSED DRAINAGE DIRECTION
- PROPOSED ADA SLOPE

## GRADING PLAN NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTRACTOR TO CALL GOPHER STATE CALL ONE @ <1-800-252-1166> AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
3. STORM SEWER PIPE SHALL BE AS FOLLOWS:
   RCP PER ASTM C-76
   HDPE: 6" - 10" PER AASHTO M-252
   HDPE: 12" OR GREATER PER ASTM F-2306
   PVC SCH. 40 PER ASTM D-1785
   STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
   RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
   HDPE PER ASTM 3212
   PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
4. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
5. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
7. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
8. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
9. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
10. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
11. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
12. INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
13. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
14. ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
15. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
16. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
17. CONTRACTOR TO PROVIDE 3" INSULATION BY 5' WIDE CENTERED ON STORM PIPE IF LESS THAN 4' OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
18. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
19. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
20. MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
21. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.
22. HDPE PIPE CONNECTIONS INTO ALL CONCRETE STRUCTURES MUST BE MADE WITH WATER TIGHT MATERIALS UTILIZING A-LOK OR WATERSTOP GASKET OR BOOT, CAST-IN-PLACE RUBBER BOOT, OR APPROVED EQUAL. WHERE THE ALIGNMENT PRECLUDES THE USE OF THE ABOVE APPROVED WATER TIGHT METHODS, CONSEAL 231 WATERSTOP SEALANT OR APPROVED EQUAL WILL ONLY BE ALLOWED AS APPROVED BY THE ENGINEER.

NORTH

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# GRADING PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

SHEET NUMBER
**C500**

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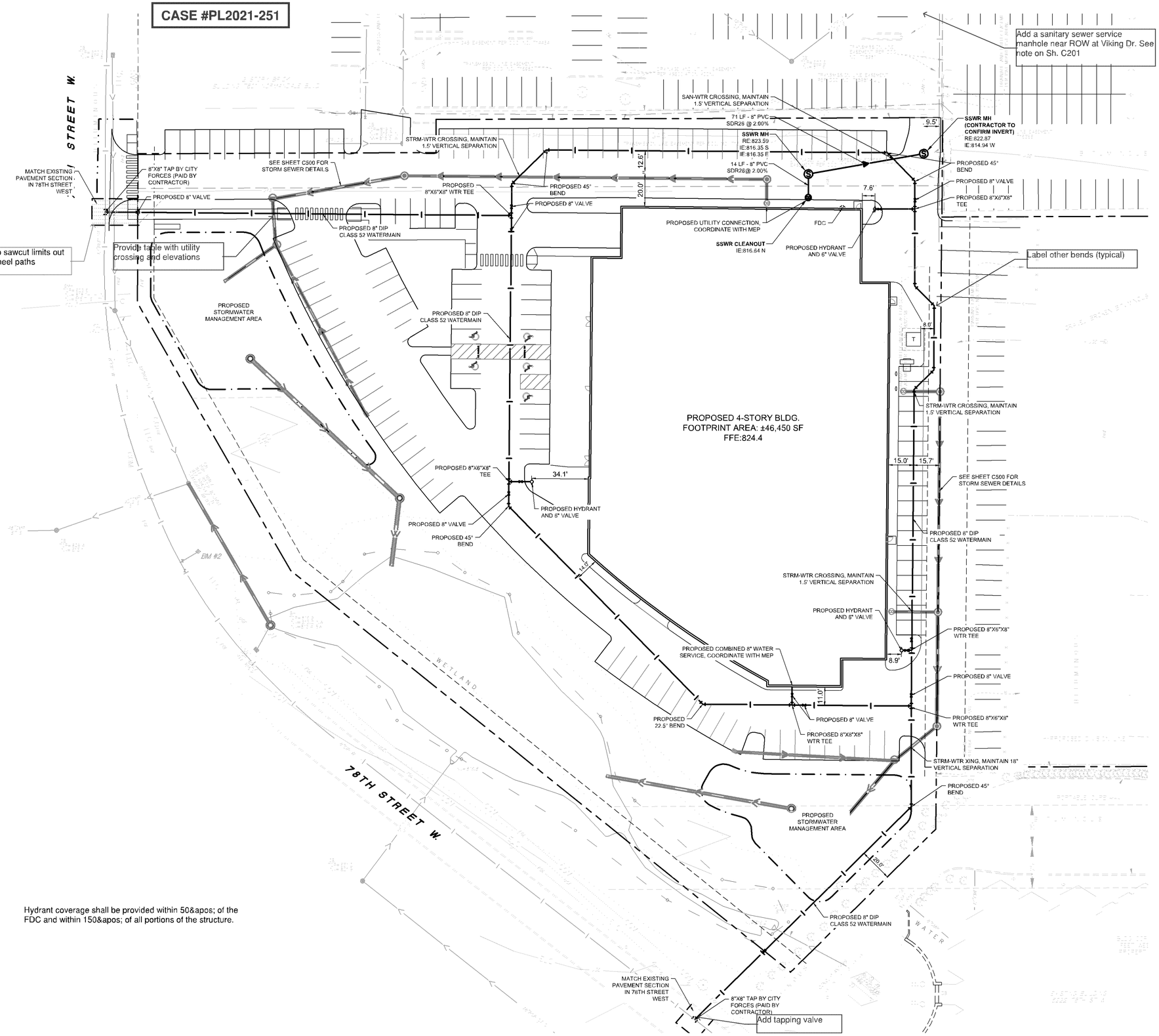



## LEGEND

| EXISTING | PROPOSED | |
|---|---|---|
| | | GATE VALVE |
| | | HYDRANT |
| | | REDUCER |
| | | TEE |
| | | SANITARY SEWER MANHOLE |
| | | SANITARY CLEANOUT |
| | | WATERMAIN |
| | | SANITARY SEWER |
| | | STORM SEWER |
| | | STORM SEWER |
| ELC | ELC | UNDERGROUND ELECTRIC |
| COM | COM | TELEPHONE |
| GAS | GAS | GAS MAIN |

## UTILITY PLAN NOTES

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
   10" PVC SDR26, SCHEDULE 40, OR EQUIVALENT PER ASTM D 3034
   8" PVC SDR26, SCHEDULE 40, OR EQUIVALENT PER ASTM D 3034
   6" PVC SCHEDULE 40
   DUCTILE IRON PIPE PER AWWA C150
3. WATER LINES SHALL BE AS FOLLOWS:
   6" AND LARGER DUCTILE IRON PIPE PER AWWA C150
   12" AND SMALLER USE CLASS 52 DIP

   A MINIMUM OF 8MIL POLYWRAP IS REQUIRED ON ALL DIP. DIP TO BE ZINC COATED.
4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
7. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-5" COVER ON ALL WATERLINES. 8' -0&quo
8. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
9. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
10. TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
12. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
13. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF BLOOMINGTON AND/OR STATE OF MN WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
15. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
16. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
17. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
18. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
19. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
20. ALL ONSITE WATERMAINS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
21. ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.
22. HDPE CONNECTIONS INTO ALL CONCRETE STRUCTURES MUST BE MADE WITH WATER TIGHT MATERIALS UTILIZING AN A-LOK OR WATERSTOP GASKET OR BOOT, CAST-IN-PLACE RUBBER BOOT, OR APPROVED EQUAL. WHERE THE ALIGNMENT PRECLUDES THE USE OF THE ABOVE APPROVED WATER TIGHT METHODS, CONSEAL 231 WATERSTOP SEALANT, OR APPROVED EQUAL WILL ONLY BE ALLOWED AS APPROVED BY THE ENGINEER.
23. TAP OF LIVE WATER MAINS ARE DONE BY CITY FORCES AND PAID FOR AND COORDINATED WITH THE CONTRACTOR.
24. UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTIONS AND TESTING.
25. ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT MUST UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANSI/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNLINED OR UNCOATED PIPE IS NOT ALLOWED.
26. ALL UNUSED WATER SERVICE MUST PROPERLY ABANDONED AT THE MAIN. ALL UNUSED SANITARY SEWER SERVICES MUST PROPERLY ABANDONED AT THE PROPERTY LINE.
27. UTILITY PERMITS ARE REQUIRED FOR CONNECTIONS TO THE PUBLICS STORM, SANITARY, AND WATER SYSTEM. CONTACT CITY OF BLOOMINGTON UTILITIES DIVISION (952-563-8777) FOR PERMIT INFORMATION.
28. RESTORE UTILITY TRENCHES PER STANDARDS LISTED IN ARTICLE 5, CH. 17 OF THE BLOOMINGTON CITY CODE (SEE UTILITY DETAILS).
29. INTERIOR CHIMNEY SEALS SHALL BE INSTALLED ON ALL SANITARY MANHOLES.
30. PROVIDE A MINIMUM OF 8-FEET AND A MAXIMUM OF 10-FEET OF COVER OVER ALL WATER LINES, VALVES, SERVICES, ETC.
31. COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAD ON FLANGE OR AN MJ TO FLANGE ADAPTER.
32. CONTRACTOR SHALL OBTAIN A PUBLIC WORKS PERMIT FOR UNDERGROUND WORK WITHIN THE RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVALS OR INSTALLATION. CONTACT UTILITIES (952-563-4568) FOR PERMIT INFORMATION.

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |

Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TOM LINCOLN, P.E.
DATE: 10/06/2021 MN LIC. NO. 21433

| | |
|---|---|
| K-H PROJECT | 160576022 |
| DATE | 12/01/2021 |
| SCALE | AS SHOWN |
| DESIGNED BY | EIS |
| DRAWN BY | EIS |
| CHECKED BY | TJL |

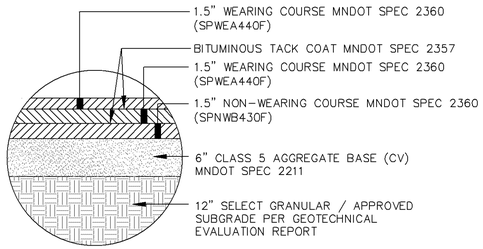
# UTILITY PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

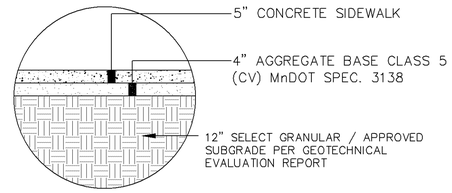
**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

SHEET NUMBER
**C600**

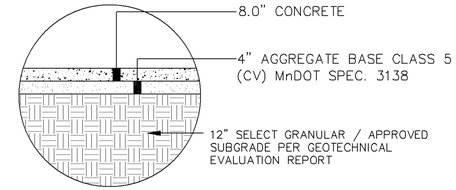
**CASE #PL2021-251**



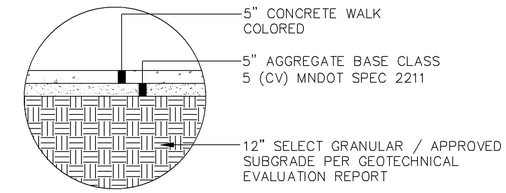

HEAVY DUTY BITUMINOUS PAVEMENT



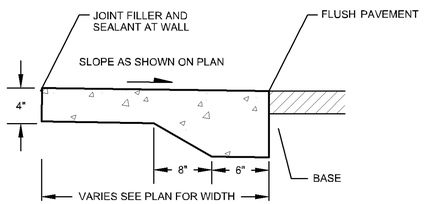

CONCRETE SIDEWALK



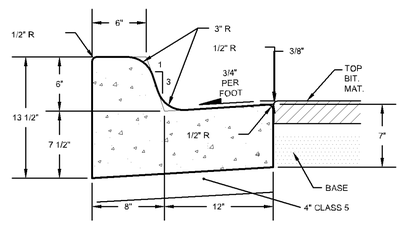

HEAVY DUTY CONCRETE PAVEMENT



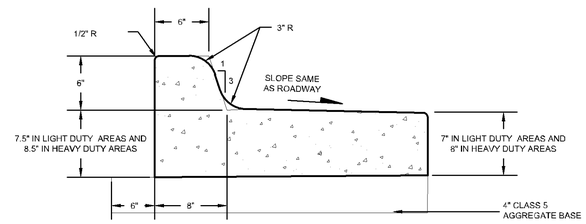

CONCRETE PAVEMENT–PUBLIC



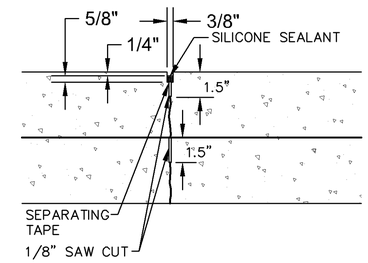

FLUSH CONCRETE CURB
(OUTFALL)



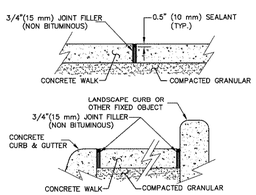

B612 CURB & GUTTER




B612 CURB & GUTTER
(OUTFALL)



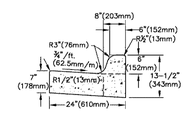

CONTRACTION JOINT DETAIL




126 – EXPANSION JOINT DETAIL
126 – Typ Expansion Joint.dwg 6/2015

H:\Cad_Comm\Details Updated\0 – STREET\126 – Typ Expansion Joint

| CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST BLOOMINGTON MN 55431 PHONE (952) 563-8700 | PLATE NAME: 126 – Typ Expansion Joint | |
|---|---|---|
| ENGINEERING DIVISION PUBLIC WORKS DEPARTMENT | LAST REVISED: 6/5/2015 | |
| | LAST REVISED BY: KBO | |

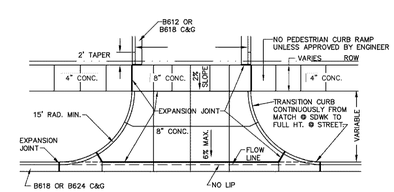



105 – B618 STANDARD CURB & GUTTER
105 – C&G (Bloom Std).dwg 5/2015

H:\Cad_Comm\Details Updated\0 – STREET\105 – C&G (Bloom Std)

| CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST BLOOMINGTON MN 55431 PHONE (952) 563-8700 | PLATE NAME: 105 – C&G (Bloom Std) | |
|---|---|---|
| ENGINEERING DIVISION PUBLIC WORKS DEPARTMENT | LAST REVISED: 6/5/2015 | |
| | LAST REVISED BY: KBO | |

NOTE:
- EACH DRIVEWAY PANEL NOT TO EXCEED 100 SF.
- REINFORCEMENT BARS OR WELDED WIRE FABRIC (STEEL MESH) ARE NOT ALLOWED IN THE RIGHT-OF-WAY.
- CLASS 5 AGGREGATE BASE REQUIRED UNDER CURB AND GUTTER.
- IF PRESENT, STREET LIGHT, SIGNAL AND INTERCONNECT CONDUIT OR DIRECT BURIED STREET LIGHT WIRING MUST BE EXPOSED FOR INSPECTION PRIOR TO POUR.




100 – NONRESIDENTIAL DRIVEWAY APPROACH WITH BOULEVARD SIDEWALK
100 – Drwy (Commercial).dwg 5/2015

H:\Cad_Comm\Details Updated\0 – STREET\100 – Drwy (Commercial)

| CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST BLOOMINGTON MN 55431 PHONE (952) 563-8700 | PLATE NAME: 100 – Drwy (Commercial) | |
|---|---|---|
| ENGINEERING DIVISION PUBLIC WORKS DEPARTMENT | LAST REVISED: 6/5/2015 | |
| | LAST REVISED BY: KBO | |

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |


Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM


I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

FOR REFERENCE ONLY

TOM LINCOLN, P.E.
DATE: 10/06/2021 LIC. NO. 21433 MN

KHA PROJECT 160576022
DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

# CONSTRUCTION DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

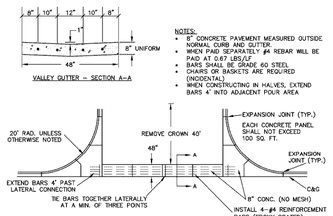
SHEET NUMBER
**C700**


K:\TWC_LDEV\United_Properties\BLOOMINGTON TESLA\3 Design\CAD\Plan Sheets\C4-SITE DETAILS.dwg December 01, 2021 - 12:57pm
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

K:\TWC_LDEV\United_Properties\BLOOMINGTON TESLA\3 Design\CAD\PlanSheets\C4-SITE DETAILS.dwg December 01, 2021 - 12:57pm

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**CASE #PL2021-251**




NOTES:
- 8" CONCRETE PAVEMENT MEASURED OUTSIDE NORMAL CURB AND GUTTER.
- WHEN PAID SEPARATELY #4 REBAR WILL BE PAID AT 0.67 LBS/LF.
- BARS SHALL BE GRADE 60 STEEL.
- CHAIRS OR BASKETS ARE REQUIRED (INCIDENTAL).
- WHEN CONSTRUCTING IN HALVES, EXTEND BARS 4' INTO ADJACENT POUR AREA

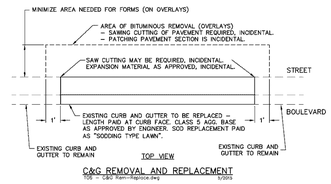
116 – VALLEY GUTTER AT INTERSECTION
116 – Valley Gutter.dwg 5/2015

W:\Cad_Comm\Details Updated\0 – 100 – STREET\116 – Valley Gutter

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: **116 – Valley Gutter**
LAST REVISED: 4/11/2017
LAST REVISED BY: KBO




TOP VIEW

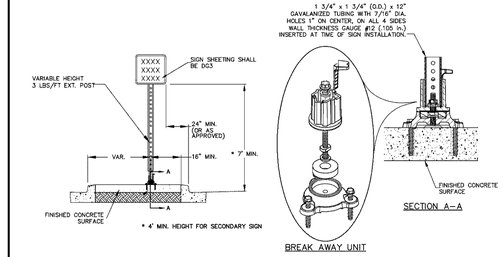
C&G REMOVAL AND REPLACEMENT
106 – C&G Rem-Replace.dwg 6/2015

W:\Cad_Comm\Details Updated\0 – STREET\106 – C&G Rem-Replace

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: **106 – C&G Rem–Replace**
LAST REVISED: 6/5/2015
LAST REVISED BY: KBO




BREAK AWAY UNIT

SECTION A–A

NOTES:
1. ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND SIGNING SHALL CONFORM TO THE LATEST VERSION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
2. ALL PRODUCTS SHALL CONFORM WITH THE LATEST MnDOT APPROVED PRODUCTS LIST
3. NO SUBSTITUTIONS MAY BE MADE ITEMS SHOWN IN THIS DETAIL WITHOUT THE EXPRESS AUTHORIZATION OF THE PROJECT ENGINEER

BREAK AWAY MOUNTING UNIT NOTES:
1. GENERAL REQUIREMENTS:
1.1. SURFACE MOUNTED UNIT SHALL BE ATTACHED WITH NO LESS THAN 3 TITAN HD ANCHORS WITH A MINIMUM DIAMETER OF ¾" AND A MINIMUM LENGTH OF 4". THE MINIMUM EMBEDDED DEPTH SHALL BE 3–¾". THE ALLOWABLE TENSION LOAD SHALL BE 2270lbs WHEN INSTALLED IN NORMAL WEIGHT, 3000psi CONCRETE.
1.2. UNITS SHALL BE INSTALLED PLUMB (SURFACE UNITS CAN BE SHIMMED TO A MAXIMUM HEIGHT OF ½").
1.3. UNIT SHALL ALLOW FOR 360° INDEXING TO ALLOW FOR PROPER SIGN ORIENTATION AFTER INSTALLATION.
1.4. UNIT SHALL HAVE A STUB HEIGHT OF 4" MAXIMUM AFTER BREAK AWAY.
1.5. UNIT SHALL UTILIZE A SHEAR BOLT AS ITS" MEANS OF BREAKING AWAY.
1.6. UNIT SHALL UTILIZE A LOCKING WEDGE OR SHIM TO ELIMINATE ALL TOLERANCE BETWEEN MOUNTING UNIT AND TELESPAR POST
1.7. UNIT SHALL CONFORM WITH THE MnDOT APPROVED PRODUCTS LIST
2. UNIT SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS

PAYMENT: FURNISH AND INSTALLATION OF BREAK AWAY UNIT IS CONSIDERED INCIDENTAL TO "INSTALL SIGN" OR "SIGN PANEL TYPE C", NO DIRECT PAYMENT THEREOF WILL BE MADE.

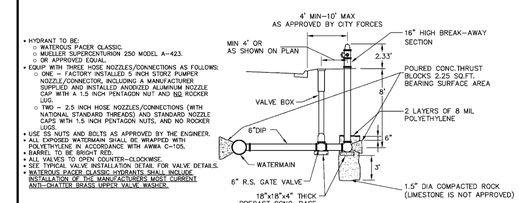
700 – SIGN (CONC. MOUNTED)
700 – SIGN (CONC. MOUNTED).DWG 3/2018

W:\Cad_Comm\Details Updated\0 – 700 – TRAFFIC\700 – Sign (Conc. Mounted)

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: **700 – Sign (Conc. Mounted)**
LAST REVISED: 3/27/2018
LAST REVISED BY: KBO




- HYDRANT TO BE:
  - WATEROUS PACER CLASSIC
  - MUELLER SUPERCENTURION 250 MODEL A–423.
  - OR APPROVED EQUAL.
- EQUIP WITH THREE HOSE NOZZLES/CONNECTIONS AS FOLLOWS:
  - ONE – FACTORY INSTALLED 5 INCH STORZ PUMPER NOZZLE/CONNECTOR, INCLUDING A MANUFACTURER SUPPLIED AND INSTALLED ANODIZED ALUMINUM NOZZLE CAP WITH A 1.5 INCH PENTAGON NUT AND NO ROCKER LUG.
  - TWO – 2.5 INCH HOSE NOZZLES/CONNECTIONS (WITH NATIONAL STANDARD THREADS) AND STANDARD NOZZLE CAPS WITH 1.5 INCH PENTAGON NUTS, AND NO ROCKER LUGS.
- USE SS NUTS AND BOLTS AS APPROVED BY THE ENGINEER.
- ALL EXPOSED WATERMAIN SHALL BE WRAPPED WITH POLYETHYLENE IN ACCORDANCE WITH AWWA C–105.
- BARREL TO BE BRIGHT RED.
- ALL VALVES TO OPEN COUNTER–CLOCKWISE.
- SEE TYPICAL VALVE INSTALLATION DETAIL FOR VALVE DETAILS.
- WATEROUS PACER CLASSIC HYDRANTS SHALL INCLUDE INSTALLATION OF THE MANUFACTURERS MOST CURRENT ANTI–DRAFTER BRASS UPPER VALVE WASHER.

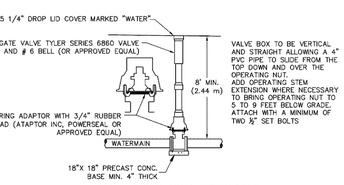
300 – TYPICAL HYDRANT INSTALLATION
300 – Hyd Install.dwg 6/2015

W:\Cad_Comm\Details Updated\0 – 300 – WATER\300 – Hyd Install

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: **300 – Hyd Install**
LAST REVISED: 6/15/2015
LAST REVISED BY: KBO



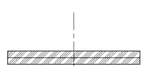

302 – TYPICAL VALVE INSTALLATION
302 – Valve (RSGV).dwg 6/2015

W:\Cad_Comm\Details Updated\0 – 300 – WATER\302 – Valve (RSGV)

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: **302 – Valve (RSGV)**
LAST REVISED: 6/15/2015
LAST REVISED BY: KBO



NOTES:
1. EXISTING GROUND AROUND AND ADJACENT TO WATER SERVICE SHALL BE COMPACTED TO PREVENT BREAKAGE OF INSULATION
2. INSULATION JOINTS SHALL BE STAGGERED
3. LOCATING SERVICE AND EXCAVATION ARE CONSIDERED INCIDENTAL.
4. ADJUSTMENT OF CURB STOP (WHEN REQUIRED) SHALL BE PAID PER THE UNIT BID PRICE

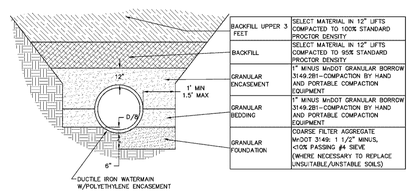
305 – WATER SERVICE INSULATION
305 – Wat Serv Insul.dwg 6/2015

W:\Cad_Comm\Details Updated\0 – 300 – WATER\305 – Wat Serv Insul

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: **305 – Wat Serv Insul**
LAST REVISED: 6/15/2015
LAST REVISED BY: KBO




| | |
|---|---|
| BACKFILL UPPER 3 FEET | SELECT MATERIAL IN 12" LIFTS COMPACTED TO 100% STANDARD PROCTOR DENSITY. |
| BACKFILL | SELECT MATERIAL IN 12" LIFTS COMPACTED TO 95% STANDARD PROCTOR DENSITY |
| GRANULAR ENCASEMENT | 1" MINUS MnDOT GRANULAR BORROW 3149.281–COMPACTION BY HAND AND PORTABLE COMPACTION EQUIPMENT |
| GRANULAR BEDDING | 1" MINUS MnDOT GRANULAR BORROW 3149.281–COMPACTION BY HAND AND PORTABLE COMPACTION EQUIPMENT |
| GRANULAR FOUNDATION | COARSE FILTER AGGREGATE MnDOT 3149: 1 1/2" MINUS, <10% PASSING #4 SIEVE (WHERE NECESSARY TO REPLACE UNSUITABLE/UNSTABLE SOILS) |

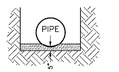
308 – TYPICAL WATER MAIN INSTALLATION DETAIL
308 – Watermain Install.dwg 6/2015

W:\Cad_Comm\Details Updated\0 – 300 – WATER\308 – Watermain Install

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: **308 – Watermain Install**
LAST REVISED: 6/15/2015
LAST REVISED BY: KBO




PIPE BEDDED IN GRANULAR BEDDING TO DEPTH OF 5 INCHES. BACKFILL COMPACTED TO FINISHED GRADE.

309 – PIPE BEDDING DETAIL
309 – Pipe Bedding.dwg 5/2015

W:\Cad_Comm\Details Updated\0 – 300 – WATER\309 – Pipe Bedding

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: **309 – Pipe Bedding**
LAST REVISED: 6/15/2015
LAST REVISED BY: KBO

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |

Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

FOR REFERENCE ONLY

TOM LINCOLN, P.E.
MN
DATE: XX/XX/XXXX LIC. NO. XXXXX

KHA PROJECT 160576022

| | |
|---|---|
| DATE | 12/01/2021 |
| SCALE | AS SHOWN |
| DESIGNED BY | EIS |
| DRAWN BY | EIS |
| CHECKED BY | TJL |

# CONSTRUCTION DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

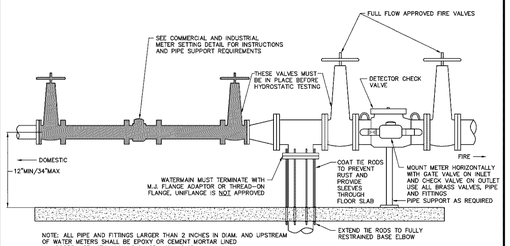
**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

SHEET NUMBER
**C701**

K:\TWC_LDEV\United_Properties\BLOOMINGTON TESLA\3 Design\CAD\PlanSheets\C4-SITE DETAILS.dwg December 01, 2021 - 12:57pm

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**CASE #PL2021-251**




318 – FIRE–DOMESTIC SERV
318 – FIRE-DOMESTIC SERV.DWG 9/2016

H:\Cad_Comm\Details Updated\0 – 300 – WATER\318 – Fire-Domestic Serv

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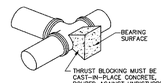
| PLATE NAME: | 318 – Fire–Domestic Serv |
|---|---|
| LAST REVISED: 9/16/2016 | |
| LAST REVISED BY: KBO | |




| PIPE SIZE | BEARING AREA |
|---|---|
| 6" | 2.25 SF |
| 8" | 4 SF |

NOTES:
1. THRUST BLOCKS TO BE USED FOR BENDS 22 1/2° AND OVER, INCLUDING HYDRANTS AND HYDRANT TEES.
2. THRUST BLOCKS ARE REQUIRED REGARDLESS OF ANY OTHER RESTRAINT METHODS USED ON WATERMAIN LESS THAN 12" IN DIA.
3. RESTRAINT METHODS ON WATERMAIN LARGER THAN 12" SHALL BE MEGALUGS, LOCKING GASKETS OR OTHER APPROVED EQUAL. THE LENGTH OF RESTRAINT SHALL BE AS COMPUTED BY DIPRA.

310 – STANDARD THRUST BLOCK
310 – Thrust Blk (Std).dwg 6/2015

H:\Cad_Comm\Details Updated\0 – 300 – WATER\310 – Thrust Blk (Std)

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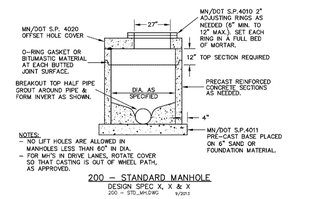
| PLATE NAME: | 310 – Thrust Blk (Std) |
|---|---|
| LAST REVISED: 6/15/2015 | |
| LAST REVISED BY: KBO | |




NOTES:
- NO LIFT HOLES ARE ALLOWED IN MANHOLES LESS THAN 60" IN DIA.
- FOR MH'S IN DRIVE LANES, ROTATE COVER SO THAT CASTING IS OUT OF WHEEL PATH, AS APPROVED.

200 – STANDARD MANHOLE
DESIGN SPEC X, X & X
200 – STD_MH.DWG 9/2015

H:\Cad_Comm\Details Updated\0 – 200 – STORM sewer\200 – Std MH

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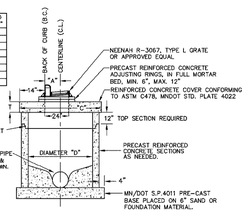
| PLATE NAME: | 200 – Std MH |
|---|---|
| LAST REVISED: 9/13/2016 | |
| LAST REVISED BY: KBO | |

| DIA. "D" | COVER "C" | THICKNESS "T" | B.C. TO B.C. "A" |
|---|---|---|---|
| 48" | 36" | 6" | 21" |
| 60" | 72" | 8" | 24" |
| 66" | 79" | 8" | 24" |
| 72" | 86" | 8" | 24" |
| 84" | 100" | 8" | 30" |
| 96" | 114" | 8" | 30" |
| 108" | 128" | 12" | 45" |
| 120" | 144" | 12" | 48" |




201 – STANDARD MANHOLE w/ 2x3' CASTING
201 – STD MH (2X3 COV).DWG 9/2016

H:\Cad_Comm\Details Updated\0 – 200 – STORM sewer\201 – Std MH (2x3 Cov)

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

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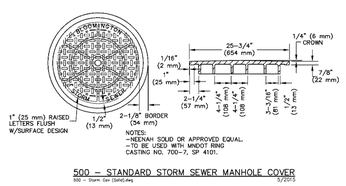
PUBLIC WORKS DEPARTMENT

| PLATE NAME: | 201 – Std MH (2x3 Cov) |
|---|---|
| LAST REVISED: 9/13/2016 | |
| LAST REVISED BY: KBO | |




NOTES:
–NEENAH SOLID OR APPROVED EQUAL.
–TO BE USED WITH MNDOT RING CASTING NO. 700–7, SP 4101.

500 – STANDARD STORM SEWER MANHOLE COVER
500 – Storm Cov (Solid).dwg 5/2015

H:\Cad_Comm\Details Updated\0 – CASTINGS\500 – Storm Cov (Solid)

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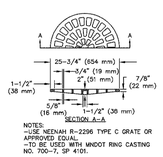
PUBLIC WORKS DEPARTMENT

| PLATE NAME: | 500 – Storm Cov (Solid) |
|---|---|
| LAST REVISED: 5/15/2015 | |
| LAST REVISED BY: KBO | |




NOTES:
–USE NEENAH R–2296 TYPE C GRATE OR APPROVED EQUAL.
–TO BE USED WITH MNDOT RING CASTING NO. 700–7, SP 4101.

502 – RADIAL GRATE STORM MANHOLE COVER
502 – Radial Grate.dwg 4/2009

H:\Cad_Comm\Details Updated\0 – CASTINGS\502 – Radial Grate

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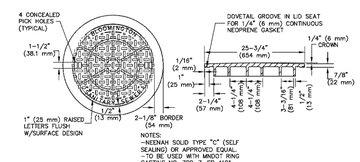
ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

| PLATE NAME: | 502 – Radial Grate |
|---|---|
| LAST REVISED: 6/15/2015 | |
| LAST REVISED BY: KBO | |




NOTES:
–NEENAH SOLID TYPE "C" (SELF SEALING) OR APPROVED EQUAL.
–TO BE USED WITH MNDOT RING CASTING NO. 700–7, SP 4101.

501 – STANDARD SANITARY MANHOLE COVER
501 – Sanitary Cov.dwg 5/2015

H:\Cad_Comm\Details Updated\0 – CASTINGS\501 – Sanitary Cov

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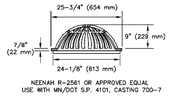
PUBLIC WORKS DEPARTMENT

| PLATE NAME: | 501 – Sanitary Cov |
|---|---|
| LAST REVISED: 5/15/2015 | |
| LAST REVISED BY: KBO | |




NEENAH R–2561 OR APPROVED EQUAL
USE WITH MN/DOT S.P. 4101, CASTING 700–7

511 – BEE HIVE GRATE CASTING FOR C.B.
511 – B-Hive Inlet.dwg 5/2015

H:\Cad_Comm\Details Updated\0 – CASTINGS\511 – B-Hive Inlet

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

| PLATE NAME: | 511 – B–Hive Inlet |
|---|---|
| LAST REVISED: 5/15/2015 | |
| LAST REVISED BY: KBO | |

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |

Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
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FOR REFERENCE ONLY

TOM LINCOLN, P.E.
DATE: XX/XX/XXXX MN LIC. NO. XXXXX

| KHA PROJECT 160576022 | |
|---|---|
| DATE 12/01/2021 | |
| SCALE AS SHOWN | |
| DESIGNED BY EIS | |
| DRAWN BY EIS | |
| CHECKED BY TJL | |

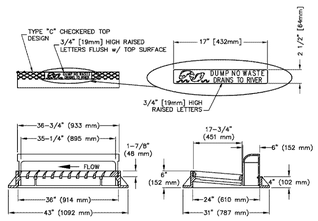
# CONSTRUCTION DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
UNITED PROPERTIES
BLOOMINGTON MN

SHEET NUMBER
**C702**

CASE #PL2021-251




USE NEENAH R-3067 WITH TYPE L GRATE OR APPROVED EQUAL

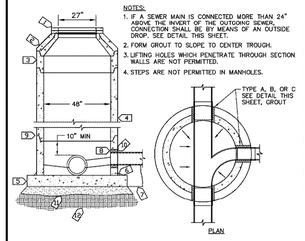
504 – RECTANGULAR CATCH BASIN CASTING ASSEMBLY
504 – Rect. CB.dwg 5/2015

H:\Cad_Comn\Details Updated\0 – CASTINGS\504 – Rect. CB

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: 504 – Rect. CB
LAST REVISED: 5/15/2015
LAST REVISED BY: KBO




NOTES:
1. IF A SEWER MAIN IS CONNECTED MORE THAN 24" ABOVE THE INVERT OF THE OUTGOING SEWER, CONNECTION SHALL BE BY MEANS OF AN OUTSIDE DROP. SEE DETAIL THIS SHEET.
2. FORM GROUT TO SLOPE TO CENTER TROUGH.
3. LIFTING HOLES WHICH PENETRATE THROUGH SECTION WALLS ARE NOT PERMITTED.
4. STEPS ARE NOT PERMITTED IN MANHOLES.

KEY NOTES:
1. MN/DOT S.P.4010 2" ADJUSTING RINGS AS NEEDED (6" MIN. TO 12" MAX.) SET EACH RING IN FULL BED OF MORTAR.
2. MN/DOT S.P.4010 STD. SHORT CONE SECTION.
3. 12" TOP SECTION REQUIRED.
4. USE ONLY PRECAST SECTIONS. NO BRICK OR BLOCK
5. 8" CAST IN-PLACE CONCRETE OR 6" PRECAST REINFORCED CONCRETE (64" MINIMUM OD)
6. CEMENT MORTAR ALL AROUND
7. LEAN CONCRETE TO BEAR AGAINST FIRM UNDISTURBED SOIL
8. PROVIDE WATER TIGHT PIPE CONNECTIONS SEE DETAIL THIS SHEET
9. O-RING GASKET
10. FOR CONNECTION TO EXISTING MH'S, CORE DRILL OPENING AND PROVIDE TYPE B WATER TIGHT CONNECTOR
11. 6" SAND OR FOUNDATION MATERIAL
12. UNDISTURBED SOIL OR COMPACTED SUBGRADE

400 – STD. SANITARY SEWER MH
400 – Std San MH.dwg 5/2015

H:\Cad_Comn\Details Updated\0 – SAN SEWER\400 – Std San MH

CITY OF BLOOMINGTON MINNESOTA — 1700 W 98TH ST, BLOOMINGTON MN 55431, PHONE (952) 563-8700

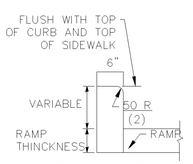
ENGINEERING DIVISION
PUBLIC WORKS DEPARTMENT

PLATE NAME: 400 – Std San MH
LAST REVISED: 6/15/2015
LAST REVISED BY: KBO

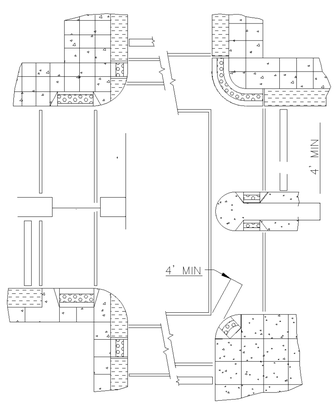
GENERAL NOTES:

1. THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMPS SHALL BE 1:10; HOWEVER, IF THE WIDTH OF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS TAN 1.2m (4'-0") THEN THE MAXIMUM SLOPE SHALL BE 1:12.
2. ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMNT (V:H).
3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.
4. RAMP DETAILS TO BE COORDINATED PER VILLAGE REQUIREMENTS.
5. DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WHICH CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
6. CONTRACTOR TO SELECT ADA DETECTABLE WARNING PERMEABLE PAVERS OR CONCRETE WITH ADA DETECTABLE WARNING DOMES FOR RAMPS.

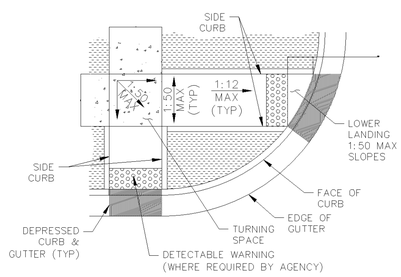
LEGEND
- SIDEWALK
- RAMP
- DETECTABLE WARNINGS
- NON WALKING AREA
- FACE OF BUILDING



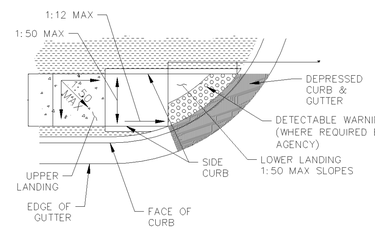

DETAIL OF SIDE CURB
(SIDE CURB MAY BE CONSTRUCTED MONOLITHICALLY WITH RAMP)



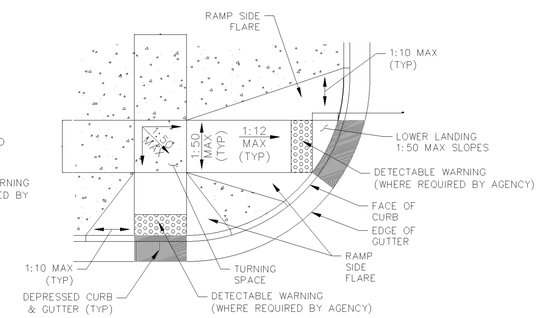

RECOMMENDED LOCATION OF RAMPS



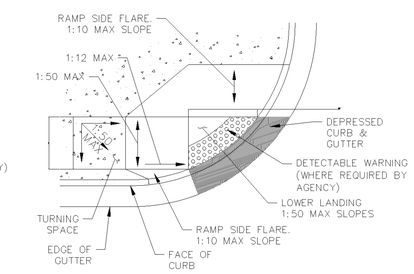

RAMPS IN LANDSCAPED AREA
(SETBACK < 5')



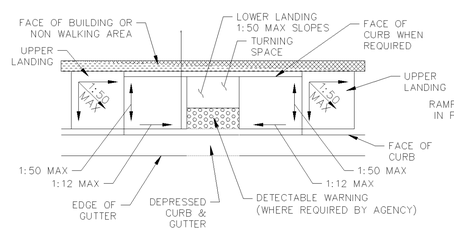

RAMPS IN LANDSCAPED AREA
(SETBACK > 5')



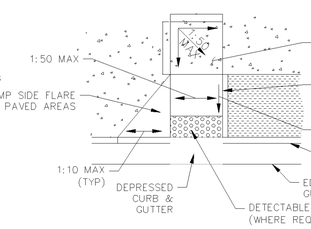

RAMPS IN PAVED AREA
(SETBACK < 5')



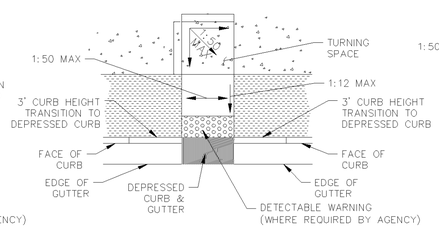

RAMPS IN PAVED AREA
(SETBACK > 5')



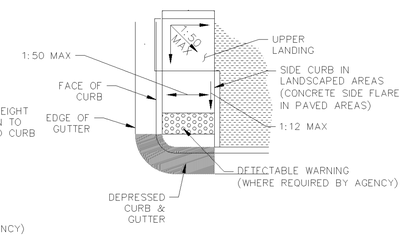

PARALLEL MID-BLOCK CURB RAMP




PERPENDICULAR MID-BLOCK CURB RAMP




PERPENDICULAR MID-BLOCK CURB RAMP
(OPTION 2)




RAMPS ADJACENT TO PAVEMENT

## SIDEWALK AND SIDEWALK RAMPS

N.T.S.

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |


Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM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FOR REFERENCE ONLY

TOM LINCOLN, P.E.
DATE: XX/XX/XXXX MN LIC. NO. XXXXX

KHA PROJECT 160576022
DATE 12/01/2021
SCALE AS SHOWN
DESIGNED BY EIS
DRAWN BY EIS
CHECKED BY TJL

# CONSTRUCTION DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

BLOOMINGTON WEST REDEVELOPMENT
PREPARED FOR
UNITED PROPERTIES
BLOOMINGTON MN

SHEET NUMBER
C703


K:\TWC_LDEV\United_Properties\BLOOMINGTON TESLA\3 Design\CAD\PlanSheets\C4-SITE DETAILS.dwg December 01, 2021 - 12:57pm

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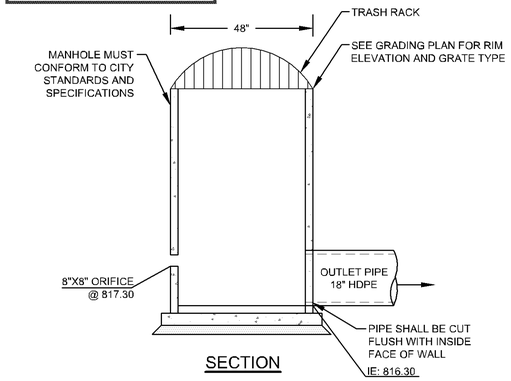
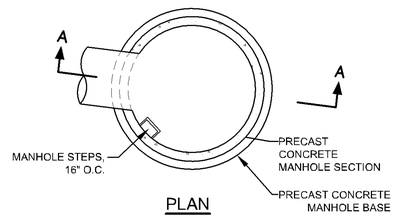
**CASE #PL2021-251**

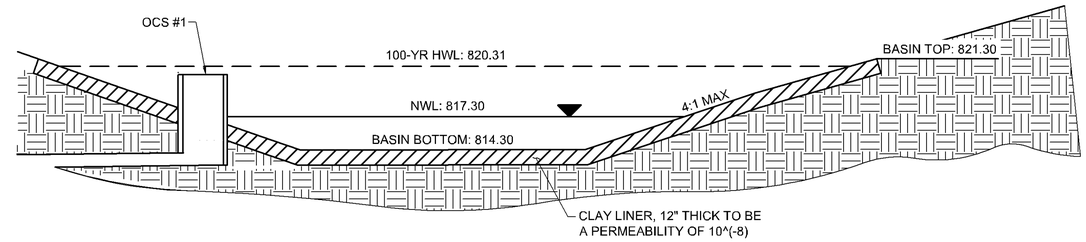



SECTION

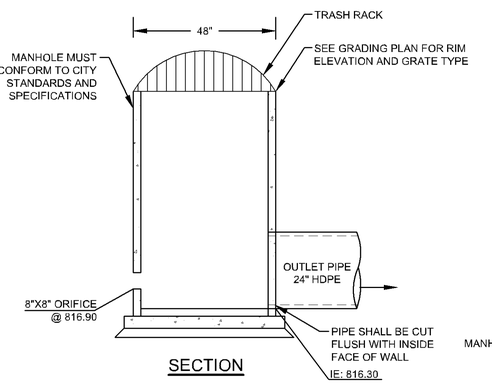



PLAN

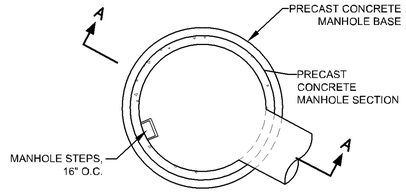
## OUTLET CONTROL STRUCTURE
## OCS #1
N.T.S.




## BMP #1 RETENTION BASIN
## TYPICAL SECTION
N.T.S.

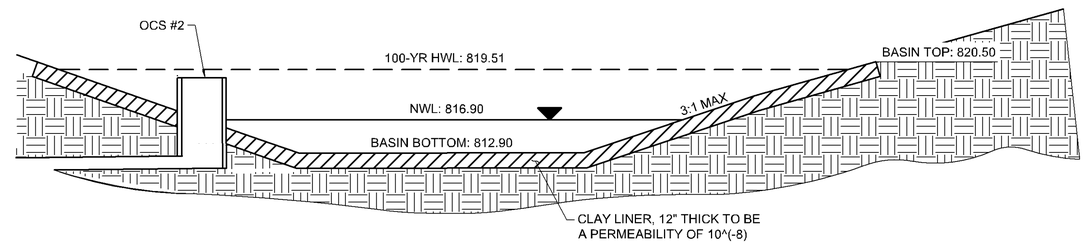



SECTION

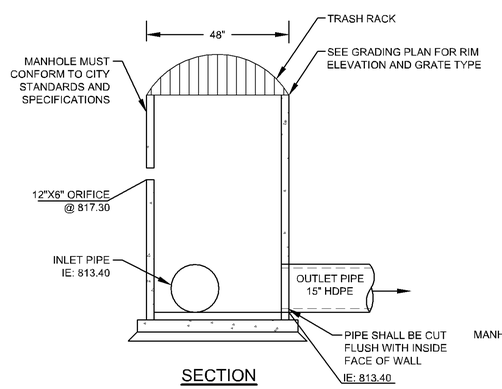



PLAN

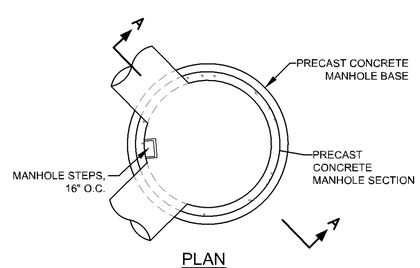
## OUTLET CONTROL STRUCTURE
## OCS #2
N.T.S.




## BMP #2 RETENTION BASIN
## TYPICAL SECTION
N.T.S.




SECTION




PLAN

## OUTLET CONTROL STRUCTURE
## OCS #3
N.T.S.

| No. | REVISIONS | DATE | BY |
|---|---|---|---|
| 1 | DEVELOPMENT APPLICATION | 12/01/2021 | EIS |


Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TOM LINCOLN, P.E.
MN
DATE XX/XX/XXXX LIC. NO. XXXXX

KHA PROJECT 160576022

| DATE | |
|---|---|
| 12/01/2021 | |
| SCALE | AS SHOWN |
| DESIGNED BY | EIS |
| DRAWN BY | EIS |
| CHECKED BY | TJL |

# CONSTRUCTION DETAILS

**BLOOMINGTON WEST REDEVELOPMENT**
PREPARED FOR
**UNITED PROPERTIES**
BLOOMINGTON MN

SHEET NUMBER
**C704**

PRELIMINARY - NOT FOR CONSTRUCTION


K:\TWC_LDEV\United_Properties\BLOOMINGTON TESLA\3 Design\CAD\PlanSheets\C4-SITE DETAILS.dwg December 01, 2021 - 12:57pm
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