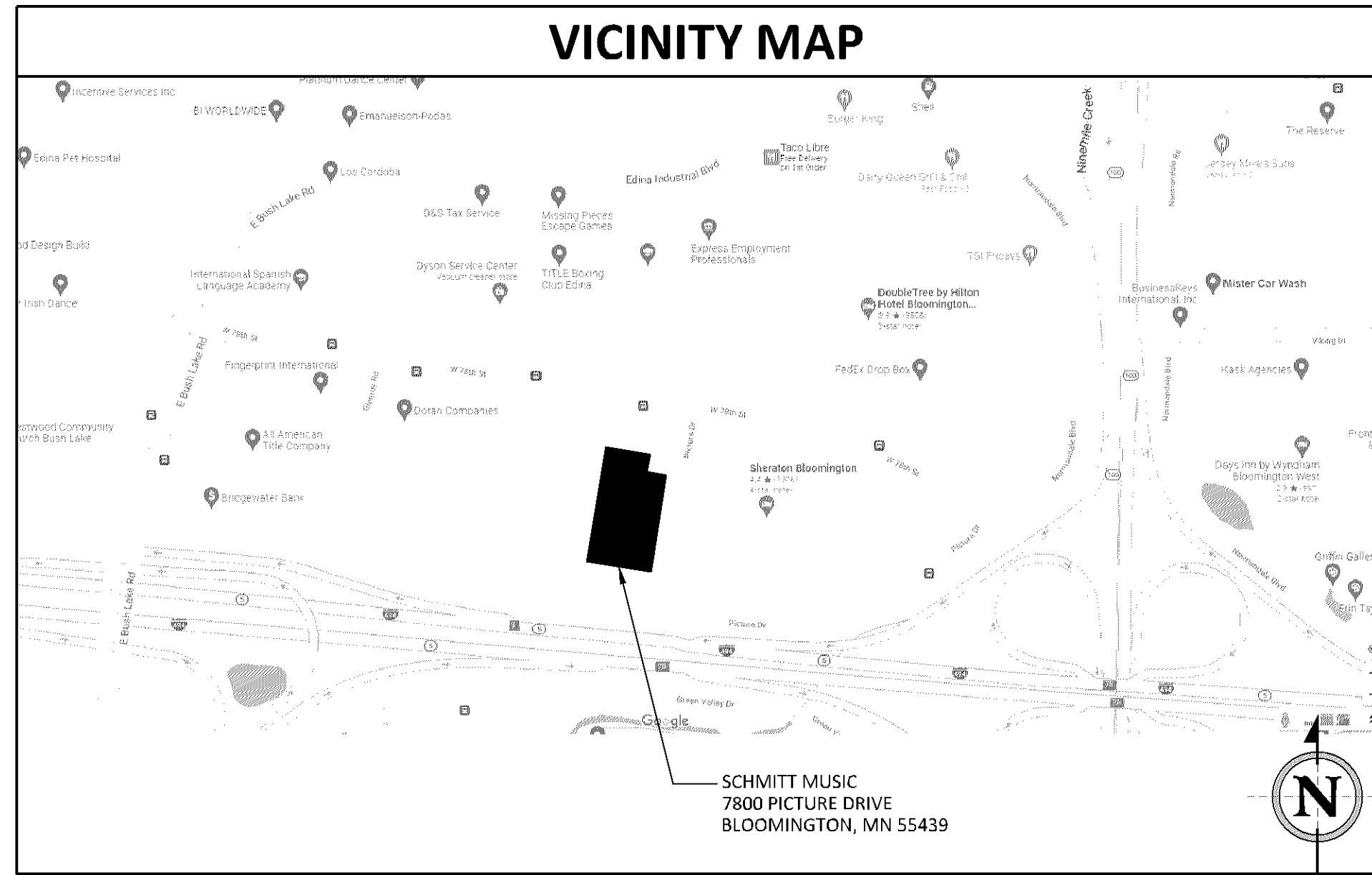


PROJECT TEAM

<p>OWNER: SCHMITT MUSIC 7800 PICTURE DRIVE BLOOMINGTON, MN 55439</p>	<p>GENERAL CONTRACTOR: RYAN CONSTRUCTION, INC. 1100 MENDOTA HEIGHTS ROAD MENDOTA HEIGHTS, MN 55120 651.681.0200 (VOICE) CONTACT: AARON WALLER EMAIL: awaller@ryrjan.com</p>	<p>ARCHITECT: FINN DANIELS, INC. 2145 FORD PARKWAY, SUITE 301 ST. PAUL, MINNESOTA 55116 651.888.6862 (VOICE) CONTACT: SCOTT WIESTLING EMAIL: swiestling@finn-daniels.com</p>
<p>STRUCTURAL ENGINEER: VAA ENGINEERING, PLANNING AND DESIGN SERVICES 2300 BERKSHIRE LANE NORTH, SUITE 200 PLYMOUTH, MN 55444 763.559.9100 (VOICE) CONTACT: BRIAN DALTON EMAIL: bdalton@vaaeng.com</p>		

Bloomington Case PL202200033



GENERAL NOTES

GENERAL NOTES:

- Items listed below are applicable to all contractors, subcontractors, vendors, suppliers and material handlers.
- The contract documents include the working drawings, addenda, modifications, and the conditions of the construction contract.
- The contract documents are the instruments of service and shall remain the property of the architect whether the project for which they are prepared is executed or not. The contract documents are not to be used by the landowner or tenant for other projects or extensions to the project nor are they to be modified in any manner whatsoever except by agreement in writing and with appropriate compensation to the Architect.
- General conditions of the Contract AIA Document A-201 shall be made part of these documents by reference.
- All work shall comply with the applicable codes, amendments, rules, regulations, ordinances, laws, orders, approvals, etc., that are required by public authorities. In the event of conflict, the most stringent requirements shall apply. Requirements include, but are not limited to the current applicable editions or publications.
- All gazing used in this project shall conform to the requirements of all applicable codes and all Federal and State requirements.
- Finn Daniels, Inc. relies upon the professionalism and accuracy of work designed by other subcontractors, and relies that the systems designed by others will perform as required and per industry standards.

CONTRACT DOCUMENT NOTES:

- This set of documents is not all inclusive and is meant to show the intent of the scope of work. The contractor shall bid all work involved with a normally anticipated scope of work.
- All the sheets listed in the drawing index comprise the construction documents for this project. The G.C. is responsible for all the work defined in these construction documents including distributing drawings to subcontractors for bidding purposes. It is not recommended that individual sheets be given to subcontractors for bidding or construction. The entire set of drawings, not any individual sheets, define the work required under the general contract.
- In the event of conflict between data shown on drawings and data shown in the specifications, the specifications shall govern. Dimensions noted on drawings shall take precedence over scaled dimensions. Detail drawings take precedence over drawings of small scale. Should the contractor at any time discover an error in a drawing or specification, or a discrepancy or variation between dimensions on drawings and measurements at site, or lack of dimensions or other information, it shall be brought to the Architect's attention and shall not proceed with work affected until clarification or resolution has been made.
- "Similar" means comparable characteristics for conditions noted. Contractor to verify dimensions and orientation.
- "Typical" means identical for conditions noted.
- Do not scale drawings, written dimensions govern. Verify dimensions with field conditions prior to construction. If discrepancies are discovered between field conditions and drawings or between individual drawings, contact Architect for resolution before proceeding.
- Horizontal dimensions indicated are to/from finished face of construction, except as noted.
- Vertical dimensions indicated are top of floor slab/topping, except where noted to be from above finished floor, (A.F.F.).
- Dimensions are not adjustable without approval of Architect unless noted +/-.
- All symbols and abbreviations used on the drawings are considered to be construction standards. If the contractor has questions regarding symbols & abbreviations used, or their exact meaning, the Architect shall be notified for clarification.

CONSTRUCTION NOTES:

- Contractors, mechanical, electrical and subcontractors shall visit the job site and become familiar with existing conditions before submitting pricing and proceeding with any work.
- All contractors and subcontractors are responsible for paying for and obtaining all their own permits as may be required by governing authorities.
- All Contractors and Subcontractors are responsible for maintaining required licenses and insurances.
- General Contractor shall be responsible for checking contract documents, field conditions and dimensions for accuracy and confirming that work is as shown before proceeding with construction. Clarifications regarding any conflicts shall be achieved or to related work being started.
- General Contractor to coordinate construction needs for phone, power, data, lighting, etc. with Owner prior to negotiating project cost.
- General Contractor shall continuously check Architectural and Structural clearances to verify that no conflicts exist in locations of any and all mechanical, electrical, telephone, data, plumbing and sprinkler equipment and that all required clearances for installation and maintenance of all above equipment is provided. What elements are exposed or concealed shall be determined and reviewed with Architect prior to construction proceeding. The Contractor shall ensure that all pricing including duct work and conduit for systems are included. No allowance of any kind will be made of the Contractor's negligence to note unforeseen means of installing equipment into position inside structure.
- Contractor shall order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable, Contractor shall notify Architect immediately to allow Architect a reasonable amount of time to select an appropriate substitute.
- Materials and workmanship specified by reference to number, symbol or title of a specification such as commercial standards, federal specifications, trade association standard or other similar standard, shall comply with requirements in latest edition or revisions thereof and with any amendment or supplement thereto in effect on date of origin on this project's contract documents. Such standard, except as modified herein, shall have full force and effect as though printed on contract documents.
- Only new items of recent manufacturer, of standard quality, free from defects, will be permitted on the work. Rejected items shall be removed immediately from the work and replaced with items of the quality specified. Failure to remove rejected materials and equipment shall not relieve the Contractor from their responsibility for quality and character of items used nor from any other obligation imposed on him by the contract.
- Make all necessary provisions for items to be furnished or installed by owner. Provide protection for those provisions until completion of the project. General Contractor to coordinate N.I.C. items with appropriate trades.
- Coordinate and provide appropriate structural blocking/backing and reinforcing in partitions behind all wall mounted items, including wall hung owner provided items or furniture N.I.C. Coordinate with owner and plans.
- When any item or finish is scheduled to match existing, Supplier, Vendor or Subcontractor should also visit site in order to provide a perfect match. Notify Architect if documents call out for an item that does not match installed existing conditions.
- All finished work shall be firm, well anchored, in true alignment, plumb, level, with smooth, clean, uniform appearance without waves, distortions, holes, marks, cracks, stains, or discoloration. Paintings shall be tight fitting, neat and well scribed. The finish work shall not have exposed unsightly anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for expansion,

SYMBOLS LEGEND

<p>Section Reference Sheet Number </p> <p>BUILDING SECTION Elevation Reference Sheet Number </p> <p>Detail Reference Sheet Number </p> <p>LOCATION Elevation Reference EL.=XXX'-X"</p> <p>B.M. Elevation Height EL.=XXX'-X"</p>	<p>DETAIL SCALE </p> <p>Existing Grid Number </p> <p>New Grid Number </p> <p>ROOM Room Tag </p> <p>Door / Glazing Opening Mark </p> <p>Key Note / Glass Type </p>	<p>Finish Key </p> <p>Furniture & Casework Item Tag (Supplied By Others) </p> <p>Equipment Item Tag (Supplied By Others) </p> <p>Accessory Tag (Supplied By Others) </p> <p>Wall Type </p> <p>Revision Number </p> <p>North Arrow </p>
--	---	--

ABBREVIATIONS

ABBRV	TERM	ABBRV	TERM	ABBRV	TERM
ACC.	ACCESSIBLE	G.B.	GRAB BAR	S.D.	SHOP DRAWINGS/SHOP DISPENSER
A.C.T.	ACOUSTICAL CEILING TILE	G.C.	GENERAL CONTRACTOR	SECT.	SECTION
A.D.A.	AMERICANS WITH DISABILITIES ACT	GL.	GLASS	SFP.	SPPRATITE
ADDL.	ADDITIONAL	GR.	GRADING	SF.	SQUARE FOOT
ADDM.	ADDENDUM	GP.	GYPSUM BOARD	SITHG.	SHIELDING
ADJ.	ADJACENT	HC.	HANDICAP/YELLOW CORE	SMB.	SMELAR
A.F.F.	ABOVE FINISHED FLOOR	HDWD.	HOLLOW CORE WOOD DOOR	S.N.D.	SANITARY NAPEN DISPENSER
ALT.	ALTERNATE	HW.	HARDWARE	SND.	SOUND INSULATION
ALUM.	ALUMINUM	HMBR.	HOLLOW METAL DOOR AND FRAME	SPIC.	SPECIFICATION
ANDD.	ANODIZED	HT.	HEIGHT	SPKR.	SPEAKER
BUILDG.	BUILDING	HVAC.	HEATING, VENTILATING, & AIR CONDITIONING	S.S.	STAINLESS STEEL
BUTRM.	BUTYROMOUS	I.D.	INSIDE DIAMETER/INSIDE DIMENSION	STD.	STANDARD
BSG.	BEARING	INSUL.	INSULATION	STRUCT.	STRUCTURAL
BSMT.	BASEMENT	INT.	INTERIOR	SUSP. CLG.	SUSPENDED CEILING
BTWN.	BETWEEN	L.	ANGLE	T.	TRENCH DRAIN
CAB.	CABINET	LAM.	LAMINATE	TEL.	TELEPHONE
CL.	CENTER LINE	LAV.	LAVATORY	THRU.	THROUGH
CLASS.	CLASSIFICATION	LOG.	LANDING	T.O.	TOP OF
CLG.	CEILING	LTG.	LIGHTING	T.O. FDN.	TOP OF FOUNDATION
CLG. HT.	CEILING HEIGHT	MAT.	MATERIAL	T.O.B.	TOP OF BEAM
CIR.	CIRAM	MFR.	MANUFACTURER	T.O.F.	TOP OF FLOOR/FOOTING
CMU.	CONCRETE MASONRY UNIT	MFR. REC.	MANUFACTURER'S RECOMMENDATION	T.O.J.	TOP OF JOIST
COLL.	COLLIM	MNL.	MANUAL	T.O.L.	TOP OF MASSING
CONC.	CONCRETE	M.O.	MASONRY OPENING	T.O.P.	TOP OF PARAPET
CONSTR.	CONSTRUCTION	MTL.	METAL	T.O.S.	TOP OF SUBGRADE
COORD.	COORDINATE	NO.	NUMBER	T.O.T.	TOP OF TRUSS
CP.	CARPET	N.I.C.	NOT TO SCALE	T.O.W.	TOP OF WALL
CT.	CERAMIC TILE	O.C.	ON CENTER	T.P.D.	TOILET PAPER DISPENSER
DEMO.	DEMOLITION	O.D.	OUTSIDE DIAMETER/OUTSIDE DIMENSION	T.P.H.	TOILET PAPER HOLDER
DET.	DETAIL	O.F.S.	OUTSIDE FACE OF STUDS	TRETD.	TREATED
D.F.	DRAINING FOUNTAIN	OH.	OVERHEAD	TRP.	TYPICAL
DN.	DNASIER	OPNG.	OPENING	U.O.	UNLESS NOTED OTHERWISE
DIR.	DIRECTION	O.R.D.	OVERFLOW ROOF DRAIN	URN.	URNAL
DR.	DOOR	PAR.	PARALLEL/PARAPET	VAN.	VANITY
DS.	DOWNSPOUT	PART.	PARTIAL	VAR.	VARIABLES
DW.	DISHWASHER	PCC.	PRECAST CONCRETE	VB.	VINYL BASE
EA.	EACH	PLAM.	PLASTIC LAMINATE	VCT.	VINYL COMPOSITION TILE
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	PLYWD.	PLYWOOD	VVRT.	VERTICAL
EXP.	EXPANSION JOINT	PRECAST.	PRECAST	VVF.	VEFFY
EVN.	ELEVATION / ELEVATOR	PRELNE.	PRELIMINARY	WFL.	WALL COVERING
EQ.	EQUAL	PRIM.	PRIMER	WV.	WATER
EQUIP.	EQUIPMENT	PRNG.	PARKING	WVD.	WITHOUT
ESMT.	EASEMENT	PT.	PAINT/PRESSURE TREATED	W.C.	WALL COVERING/WATER CLOSET
EXIST.	EXISTING	P.T.D.	PAPER TOWEL DISPENSER	W.	WOOD
FC BRK.	FACE BRICK	PTN.	PARTITION	WVW.	WINDOW
F.D.	FLOOR DRAIN	QT.	QUARRY TILE		
FDN.	FOUNDATION	QTB.	QUARRY TILE BASE		
F.F.	FRESH FLOOR ELEVATION	R.	RAIN/SURF		
FIN.	FINISH	REFLECTED CEILING PLAN			
FIN. FIB.	FINISH FLOOR	R.D.	ROOF DRAIN		
FIXT.	FIXTURE	REBAR.	REINFORCING STEEL BARS		
F.L.B.	FLOOR	REC.	RECESSED		
FLOORC.	FLOORING	REINF.	REINFORCEMENT		
F.P.P.	FIBERGLASS REINFORCED PLASTIC	REV.	REVISIONS / REVERSE		
FT.	FEET	R.M.	ROOM		
F.TG.	FOOTING	R.O.W.	RIGHT OF WAY		
FURB.	FURNISHING	RTU.	ROOF TOP UNIT		
GALV.	GALVANIZED	SCHBUL.	SCHEDULE		
		SCWD.	SOULD CORE WOOD DOOR		

Abbreviations used in referring to standards that apply to the work include, but are not necessarily limited to, the following:

- A.A. Architectural Association, Inc.
- A.A.A. Architectural Alum. Manufacturer's Assoc.
- A.C.I. American Concrete Institute
- A.I.C. American Institute of Steel Construction
- A.N.S. American National Standards Institute
- A.S.T.M. American Society for Testing Materials
- A.W.S. American Welding Society
- C.R.S. Concrete Reinforcing Steel Institute
- N.A.A.A.M. National Association of Architectural Metal Manufacturers
- N.F.P.A. National Fire Protection Association

SCHMITT MUSIC

BUILDING RENOVATION

7800 PICTURE DRIVE BLOOMINGTON, MINNESOTA 55439

DRAWING SCHEDULE

DATE	ISSUE TYPE	DESCRIPTION
12.22.2021	DEMO PERMIT ISSUE	
01.27.2022	DEMO REV #1	
02.08.2022	PERMIT ISSUE	

ISSUED FOR PRELIMINARY REVIEW/BIDDING
 ISSUED FOR PERMIT/CONSTRUCTION
 ISSUED FOR REFERENCE ONLY
 ISSUED FOR CONSTRUCTION WITH REVISED INFO.

GENERAL

G000	PROJECT INFORMATION
G001	PLAN REVIEW CODE COMPLIANCE & UPPER LEVEL LIFE SAFETY PLAN
G002	MAIN LEVEL LIFE SAFETY PLAN
G003	ACCESSIBILITY DETAILS

ARCHITECTURAL

D200	DEMOLITION FLOOR PLANS & DEMOLITION NOTES
D201	DEMOLITION FLOOR PLANS - MAIN LEVEL AREA A
D202	DEMOLITION FLOOR PLANS - MAIN LEVEL AREA B
D203	DEMOLITION FLOOR PLANS - MAIN LEVEL AREA C
D204	DEMOLITION FLOOR PLANS - MAIN LEVEL AREA D
D205	DEMOLITION FLOOR PLANS - UPPER LEVEL AREA E
D206	DEMOLITION FLOOR PLANS - UPPER LEVEL AREA F
D300	DEMOLITION EXTERIOR ELEVATIONS
A000	DOOR & HARDWARE SCHEDULE
A001	DOOR, FRAME, & GLAZING FRAME TYPES
A002	ROOM FINISH SCHEDULE
A100	OVERALL SITE PLAN
A101	SITE PLAN - AREA OF WORK
A102	LANDSCAPE PLAN - AREA OF WORK
A200	OVERALL FLOOR PLAN AND WALL PARTITION TYPES
A201	FLOOR PLAN AREA A
A202	FLOOR PLAN AREA B
A203	FLOOR PLAN AREA C
A204	FLOOR PLAN AREA D
A205	REFLECTED CEILING PLAN AREA A
A206	REFLECTED CEILING PLAN AREA B
A207	REFLECTED CEILING PLAN AREA C
A208	REFLECTED CEILING PLAN AREA D
A210	ENLARGED TOILET ROOM PLANS AND ELEVATIONS
A211	TOILET ROOM ELEVATIONS
A300	EXTERIOR ELEVATIONS
A400	WALL SECTIONS AND STAIR DETAILS
A600	MILLWORK ELEVATIONS AND DETAILS

STRUCTURAL

S000	GENERAL STRUCTURAL NOTES
S101	FOUNDATION PLAN
S102	2ND FLOOR AND LOW ROOF FRAMING PLAN
S201	HIGH ROOF FRAMING PLAN
S501	STRUCTURAL DETAILS

2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name

49243 License Number 02.08.2022 Date

PROJECT:

7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:
PROJECT INFORMATION

GOOO

PLAN REVIEW FOR CODE COMPLIANCE

GENERAL INFORMATION:
A. PROJECT NAME: SCHMITT MUSIC BUILDING RENOVATION
PROJECT LOCATION: 7800 PICTURE DRIVE BLOOMINGTON, MINNESOTA 55439
B. ZONING & LAND USE: CO-1 - COMMERCIAL OFFICE
C. OVERLAY DISTRICT: PD - PLANNED DEVELOPMENT
D. LOT SIZE*: 44.78 ACRES / 1,950,477 S.F.
E. TYPE OF CONSTRUCTION: II-B
F. FULLY SPRINKLERED IN COMPLIANCE WITH CHAPTER 9 & 2020 MN STATE FIRE CODE

APPLICABLE CODES:
A. INTERNATIONAL BUILDING CODE 2018
B. MINNESOTA STATE BUILDING CODE 2020
C. MINNESOTA STATE FIRE CODE 2020
D. MINNESOTA STATE ELECTRICAL CODE (NEC) 2020
E. MINNESOTA MECHANICAL AND FUEL GAS CODE 2020
F. MINNESOTA STATE PLUMBING CODE 2020
G. MINNESOTA STATE ENERGY CODE 2020
H. ICC/ANSI A117.1 (ACCESSIBLE BUILDINGS & FACILITIES) 2009
I. MINNESOTA STATE ACCESSIBILITY CODE 2020

BUILDING CLASSIFICATION:
A. BUILDING OCCUPANCY & CLASSIFICATION (Ch. 3 & Ch. 6)
 1. OCCUPANCIES (MSBC 508.1): The building consists of B, M, F-1, and S-1 occupancies, as well as associated accessory occupancies as defined by Section 508.2. Per Table 508.4, there is no occupancy separation required between the occupancies.
 2. BUSINESS (OFFICE)
 - Group B
 - 11,878 SF
 - 1 Story above grade
 - Type of Construction: Type II-B
 - Fully Sprinklered in compliance with Chapt. 9 & 2020 MN State Fire Code
 3. FACTORY (WOOD SHOP, PIANO SHOP, PAINT BOOTH)
 - Group F-1
 - 4,968 SF
 - 1 Story above grade
 - Type of Construction: Type II-B
 - Fully Sprinklered in compliance with Chapt. 9 & 2020 MN State Fire Code
 4. MERCANTILE (RETAIL) - Retail area design by others.
 - Group M
 - 19,558 SF
 - 1 Story above grade
 - Type of Construction: Type II-B
 - Fully Sprinklered in compliance with Chapt. 9 & 2020 MN State Fire Code
 5. STORAGE (WAREHOUSE)
 - Group S-1
 - 54,247 SF
 - 2 Stories above grade
 - Type of Construction: Type II-B
 - Fully Sprinklered in compliance with Chapt. 9 & 2020 MN State Fire Code

B. ALLOWABLE HEIGHT / ALLOWABLE AREA (Ch. 5)
 1. ALLOWABLE HEIGHT (Sect. 504, Tables 504.3 & 504.4)
 - Group B, Type II-B
 - 55'-0" / 2 Stories
 - Group F-1, Type II-B
 - 55'-0" / 2 Stories
 - Group M, Type II-B
 - 55'-0" / 2 Stories
 - Group S-1, Type II-B
 - 55'-0" / 3 Stories
 2. ALLOWABLE AREA (Table 506.2):
 - Unlimited per MSBC 507.5
 - Group B, F, M, & S buildings not more than two stories above grade shall not be limited where building is equipped throughout with an automatic sprinkler system.

FIRE - RESISTANCE - RATED CONSTRUCTION (TYPE II-B):
A. BUILDING ELEMENTS (Sect. 601 & 602)

Element	II-B
Structural Frame	0 Hours
Exterior Bearing Walls	0 Hours
Interior Bearing Walls	0 Hours
Exterior Non-Bearing Wall	N/A
Interior Non-Bearing Walls	0 Hours
Floor Construction	0 Hours
Roof Construction	0 Hours

B. EXTERIOR WALL OPENINGS (Sect. 705.8)

Fire Separation Distance	Area of Opening Permitted
0-13 Feet	15%
14-20 Feet	25%
21-30 Feet	45%
31-40 Feet	55%
41-50 Feet	75%
51-60 Feet	No Limit
61-70 Feet	No Req'd
71-80 Feet	No Req'd
81-90 Feet	No Req'd
91-100 Feet	No Req'd

C. FIRE WALLS (Sect. 706)
 - None Required

D. FIRE BARRIERS (Sect. 707)

Fire Barrier	Rating	Opening
Vertical Shaft Enclosures (3 Stories or less)	1 Hour	1 Hour
Vertical Exit Enclosure-Stairs	1 Hr/2 Hr	1 Hr/1.5 Hr
Exit Passageway	1 Hour	1 Hour
Horizontal Exit	2 Hour	2 Hour
Separation of Occupancies	N/A	N/A
Incidental Use Areas	Table 509	

E. FIRE PARTITIONS (Sect. 708 & Table 1020.1)

Fire Partition	Occupancy Group	Rating	Opening
Corridor Walls	Group B	0 Hour	0 Min.
	Group F-1	0 Hour	0 Min.
	Group M	0 Hour	0 Min.
	Group S-1	0 Hour	0 Min.

NOTE:
 Fire sprinkler systems shall be 'Design-Build' by the applicable sub-contractor. The sub-contractor shall coordinate with G.C. and Owner, the project scope, requirements, and systems to be designed into this project to achieve the design intent indicated in these drawings. The sub-contractor is responsible for submitting the necessary documents/applications to the governing jurisdiction and to pay for all applicable fees associated in order to complete their work on this project so as to meet applicable governing codes and ordinances.

F. ROOF AND INTERIOR FINISH REQUIREMENTS
 - Minimum Roof Classification (Table 1505.1) = Class C
 - Minimum Wall and Ceiling Finish Requirement (Table 803.13)

Building Component	Finish Class
Exit Enclosures/Exit Passageways	Group B/M = Class B Group F = Class C Group S = Class C
Corridors	Group B/M = Class C Group F = Class C Group S = Class C
Rooms And Enclosed Spaces	Group B/M = Class C Group F = Class C Group S = Class C

*Exception f, For places of religious worship, wood used for ornamental purposes etc. shall be permitted.

EXITING:
A. DESIGN OCCUPANT LOAD (Sect. 1004.5) = 195 Total Occupants
 1. Main Level: 195 Occupants (not including retail area).
 2. Second Level: Future Tenant Improvement

B. EXITS
 1. Number Required (Sect. 1006)
 Main Level: 2 Required, 6 Provided
 Second Level: 2 Required, 2 Provided
 2. Number Accessible Required (Sect. 1009.1) = 2
 - Provide directional exit signs
 3. Arrangement (Sect. 1007) Not Less Than 1/3 Diagonal
 4. Travel Distance Maximums
 -Exit Access (Table 1016.2) = 300'(B) / 250'(S-1 & F-1)
 -Common Path of Egress (Table 1006.2.1) = 100'(B) / 100'(S-1 & F-1)
 Width (The Greater of Two Conflicting Widths Shall Be Used)
 -Design Exit Width (Sect. 1005.1)
 Stairways = See Plans
 Other Components = 44"
 -Stairways (Sect. 1011.2) = 44"
 -Corridors (Sect. 1020.2) = 44"
 -Exit Passageways (Sect. 1024.2) = 44"
 -Exit Doors (Sect. 1010.1.1) = 32" Min. Clear / 48" Max. Nom.
 3. Doors
 - Swing (Sect. 1010.1.2): Side hinged swinging in direction of egress travel at occupant load greater than 49
 - Landings (Sect. 1010.1.6): Width not less than width of door or width of stair, whichever is greater, length in direction of travel not less than 44"
 - Thresholds (Sect. 1010.1.7): Max. Ht. = 1/2" (1/2 beveled edge if 1/4" or higher floor change)
 - Consecutive Doors (Sect. 1010.1.8): 48" + Door Width Apart
 - All swinging door hardware shall be lever type and be readily operable from the egress side without the use of a key or any special knowledge or effort (Sect. 1010.1.9)
 - Manually operated flush bolts and surface bolts are not permitted (IBC 1010.1.8.4)
 - Fire Exit Hardware (IBC 1010.1.9): Not required at exit/exit access doors

ENERGY CODE:
A. MN Energy Code - 2020 (2018 IECC)
 1. Climate Zone 6A
 2. Opaque Thermal Envelope Requirements (Table C402.1.3 & C402.1.4)
 - Insulation Entirely Above Deck: R-30ci (Existing to remain)
 - Walls Above Grade (Mass): R-13.3ci
 - Opaque Doors (Swinging): U-0.37
 3. Fenestration (C402.4)
 - Table C402.4 Building Envelope Requirements
 - U-Factor:
 - Fixed Fenestration: 0.36
 - Operable Fenestration: 0.43
 - Entrance Doors: 0.77
 - SHGC:
 (Glazed Storefront & Entry systems scheduled these drawings shall be provided & installed to meet these requirements.)

OTHER:
A. ACCESSIBILITY (MN Accessibility Code - 2020)
 1. Building is Accessible
B. GUARDS (Sect. 1015)
 1. 42" high min. guards shall be installed where a change in levels drops 30" or more.
C. SAFETY GLAZING (Sect. 2406)
 1. Safety glazing shall be installed in hazardous locations as specified
D. ROOF ACCESS (Sect. 1011.12)
 1. Provided (Existing)
E. DRAFT STOPS
 1. Floors (Sect. 718.3) - Not Applicable
 2. Attics (IBC 718.4) - Not Applicable
F. VENTILATION
 1. Floors (Sect. 1202.4) - Not Applicable
 2. Attics (Sect. 1202.2) - Not Applicable
G. ATTIC ACCESS (Sect. 1208.2)
 1. Not Applicable

PLUMBING FIXTURES:
A. Number of Fixtures Required (Table 2902.1)
 1. 51 Total Factory Occupants (F)
 2. 80 Total Business Occupants (B)
 3. 64 Total Storage Occupants (S) on Main Level
 4. 195 Total Occupants (Not including retail area or upper level)
 5. Group M occupancy calculation and fixture by Retail Design Documents.
 6. Group S occupancy upper level calculation and fixtures by future tenant improvements.

B. 195 Occupants = 98 Men / 98 Women
 Group F: 51 Occupants = 26 Men / 26 Women
 Group B: 80 Occupants = 40 Men / 40 Women
 Group S: 64 Occupants = 32 Men / 32 Women

Fixture	Required								Provided		
	B	W	M	S	F	M	W	M	W	M	W
Water Closets	2	2	1	1	1	1	1	4	4	3	4
Urinals	-	-	-	-	-	-	-	-	-	1	-
Lavatories	1	1	1	1	1	1	1	3	3	3	3
Drinking Fountains	1	1	1	1	1	1	1	1	1	1	1
Service Sink	1	1	1	1	1	1	1	1	1	1	1

Note: Up to 67% of required water closets may be substituted as urinals per MSBC Table 2902.1(K)

LIFE SAFETY PLAN KEY

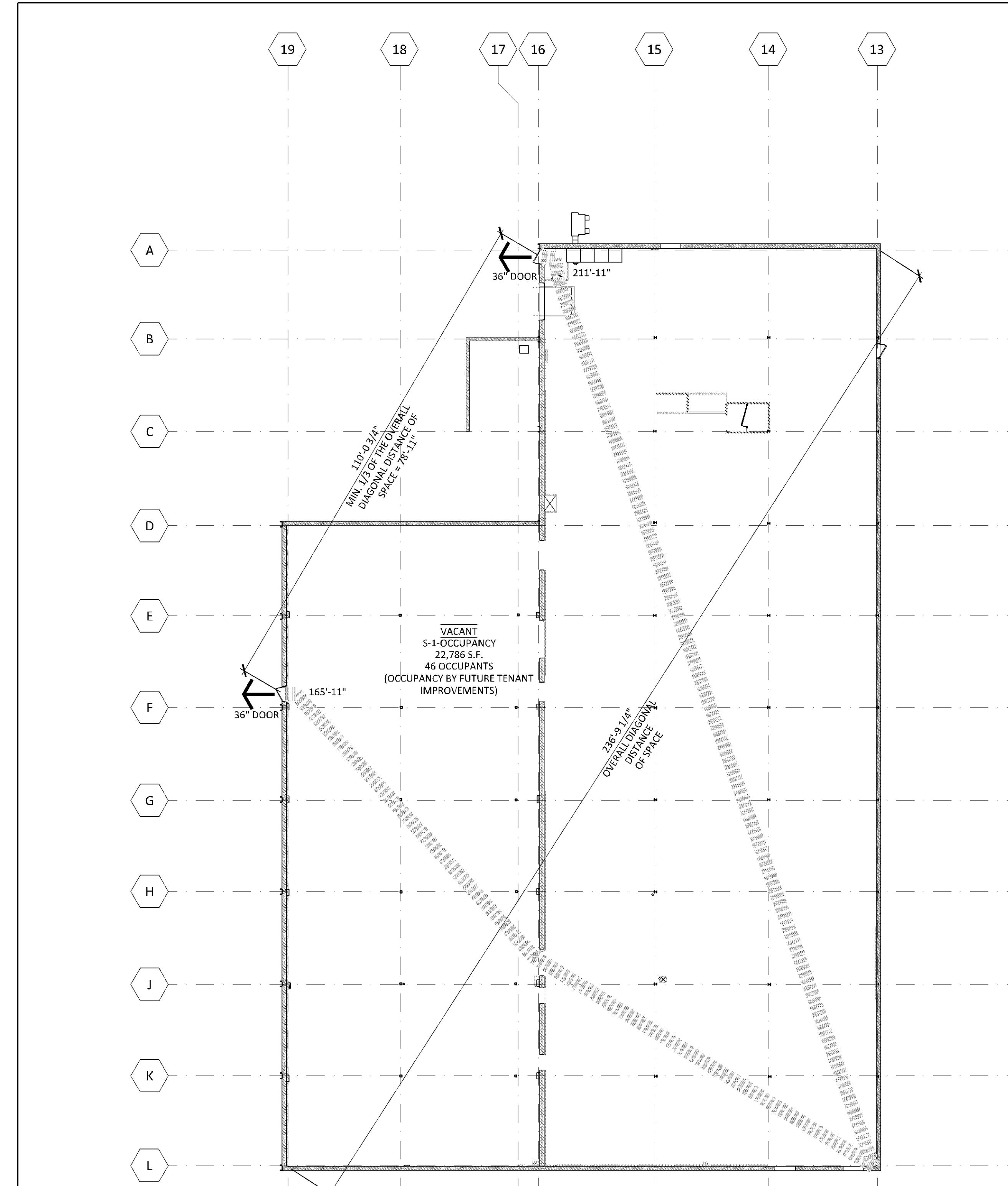
EXIT ACCESS TRAVEL DISTANCE
 PER MSBC TABLE 1017.2:
 • 250' (S-1) (SPRINKLERED)
 • PROPOSED LONGEST EXIT ACCESS TRAVEL DISTANCE = 211'-11"

EGRESS WIDTH REQUIRED
 PER MSBC 1005.3.2:
 • MIN. EGRESS WIDTH REQUIRED (DOOR) = 32"
 • MIN. EGRESS WIDTH PROVIDED (AISLE) = 36"
 • 0.2" PER PERSON x 76 PERSONS = 15.2"

NUMBER OF EXITS & CONTINUITY (MSBC 1006.2)
 • (2) EXITS ARE REQUIRED.
 • (2) EXITS PROPOSED.

EXIT ACCESS DOORWAY ARRANGEMENT (MSBC 1007.1.1)
 • WHERE 2 EXITS ARE REQUIRED WITHIN A SPACE, EXITS MUST BE PLACED A MINIMUM OF 1/3 THE OVERALL DIAGONAL DISTANCE
 • 78'-11" REQUIRED
 • 110'-0 3/4" PROVIDED

Bloomington Case PL202200033



1 LIFE SAFETY PLAN - UPPER LEVEL
 G001 1/16"-1'-0"

finn daniels
 ARCHITECTS
 2145 Ford Parkway, Suite 301
 Saint Paul, Minnesota 55116
 651.690.5525
 www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
 Typed Name

 49243 License Number 02.08.2022 Date

PROJECT:

7800 PICTURE DRIVE
 BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

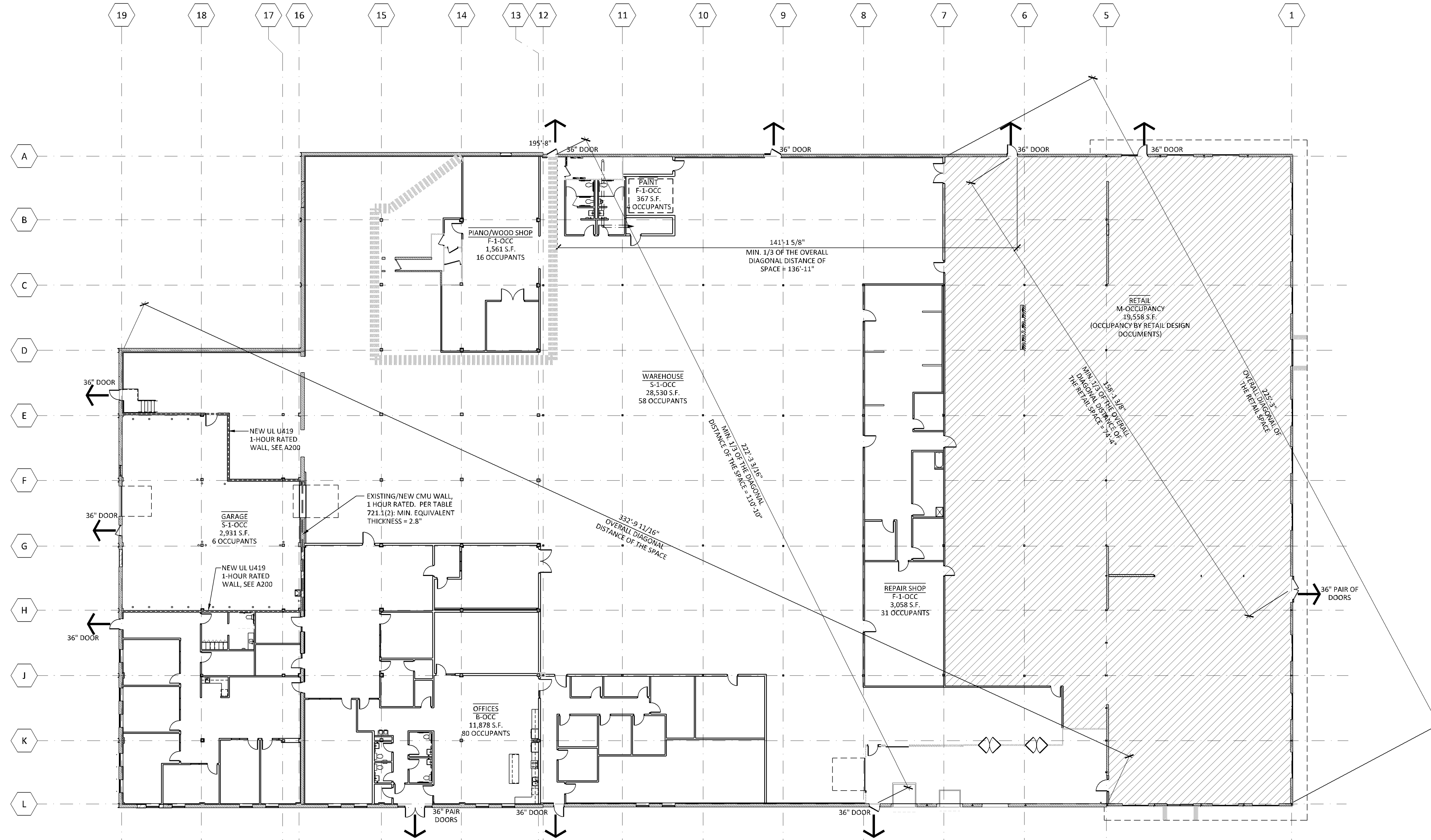
ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:
 CODE REVIEW &
 UPPER LEVEL
 LIFE SAFETY PLAN

G001

- EXIT ACCESS TRAVEL DISTANCE**
PER MSBC TABLE 1017.2:
- 250' (S-1/F-1) (SPRINKLERED)
 - PROPOSED LONGEST EXIT ACCESS TRAVEL DISTANCE = 195'-8"
- NUMBER OF EXITS & CONTINUITY (MSBC 1006.2)**
- (2) EXITS ARE REQUIRED.
 - (8) EXITS PROPOSED (NON-RETAIL AREA)
 - (3) EXITS PROPOSED IN FUTURE RETAIL AREA
- EXIT ACCESS DOORWAY ARRANGEMENT (MSBC 1007.1.1)**
- WHERE 2 EXITS ARE REQUIRED WITHIN A SPACE, EXITS MUST BE PLACED A MINIMUM OF 1/3 THE OVERALL DIAGONAL DISTANCE
 - 110'-10" REQUIRED (NON-RETAIL AREA)
 - 222'-3 3/16" PROVIDED (NON-RETAIL AREA)



CONSULTANT:

SEAL/SIGNATURE:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name

Rebecca Olson
Signature

49243 License Number 02.08.2022 Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

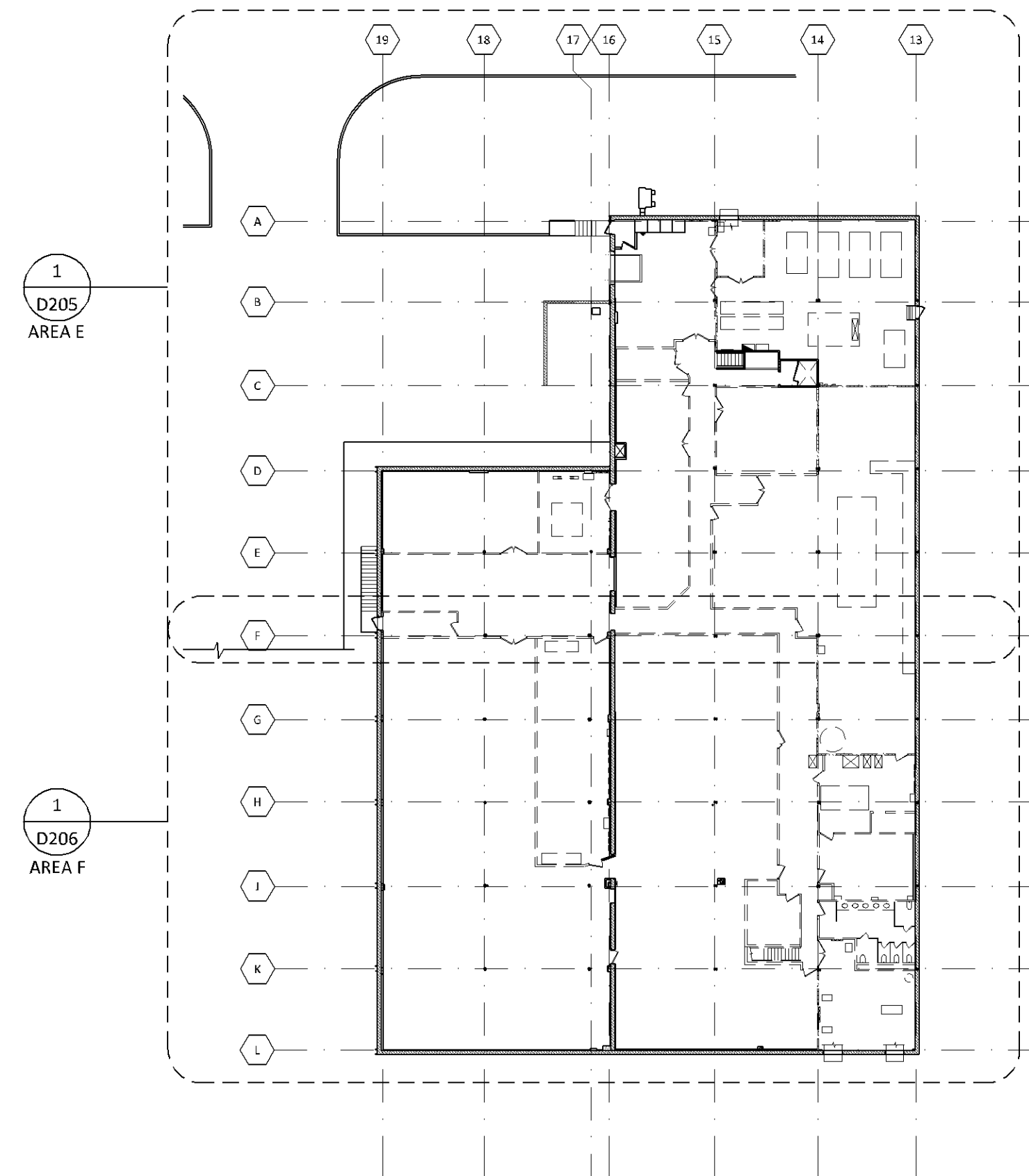
PERMIT ISSUE 02.08.2022

SHEET TITLE:

**MAIN LEVEL
LIFE SAFETY PLAN**

G002

Bloomington Case PL202200033



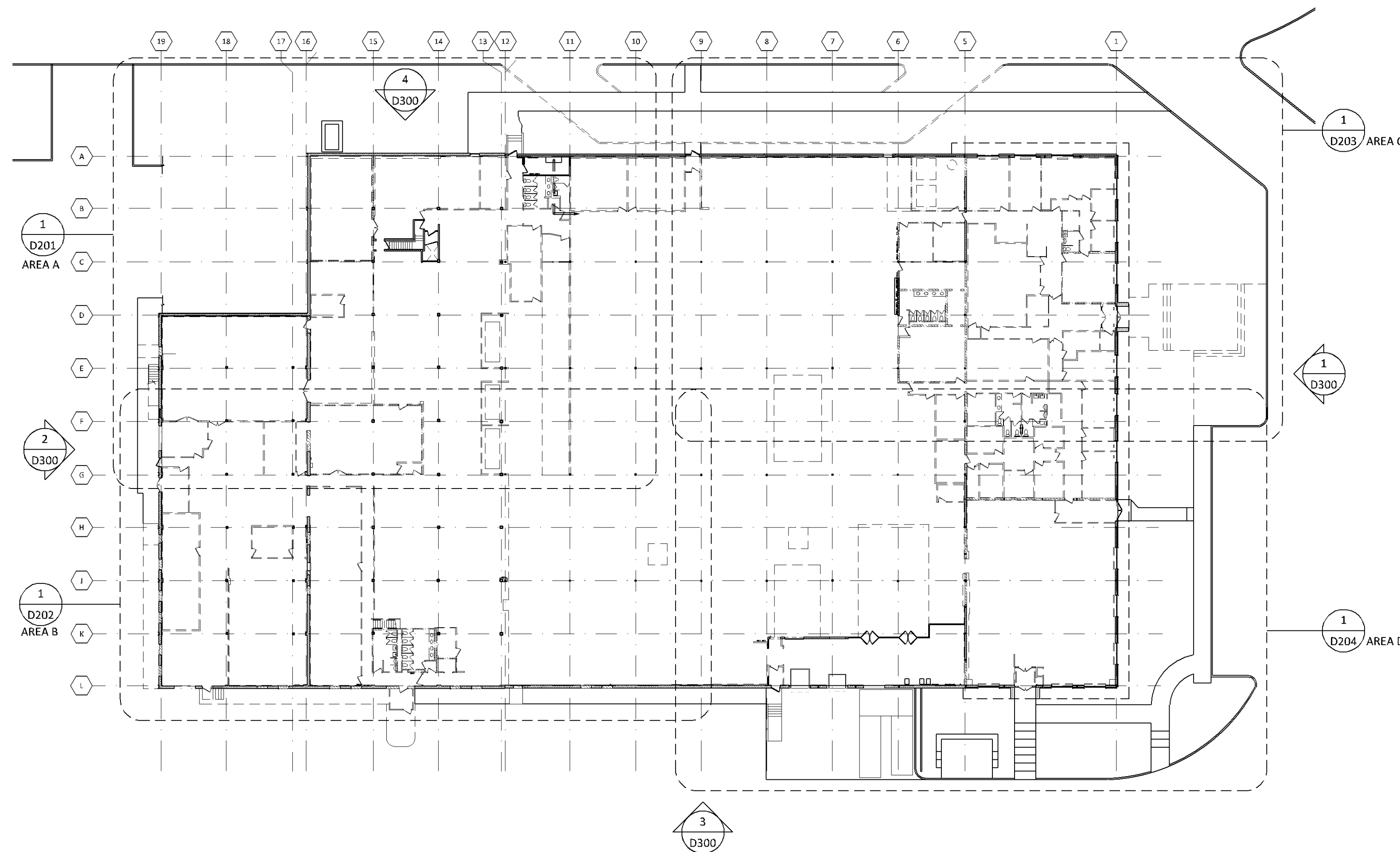
1
D200 1/32"=1'-0"
DEMOLITION FLOOR PLAN (UPPER LEVEL)

GENERAL DEMOLITION NOTES

1. DO NOT ALLOW DEMOLISHED MATERIALS TO COLLECT & CREATE A HAZARD. REMOVE FROM SITE ON A REGULAR BASIS, DAILY IF REQ'D.
2. COORDINATE STORAGE LOCATION OF MATERIALS & FURNITURE TO BE SALVAGED WITH OWNER.
3. COMPLY WITH ALL APPLICABLE LOCAL, STATE, & FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
4. EXERCISE EXTREME CARE DURING DEMOLITION AS TO NOT DISRUPT OR DAMAGE ANY EXISTING UTILITIES OR SPRINKLER LINES. CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY OF ANY DISRUPTION OR DAMAGE.
5. REMOVE ALL ELECTRICAL OR MECHANICAL LINES THAT ARE NOT SPECIFICALLY INTENDED TO REMAIN. REFER TO ELECTRICAL & MECHANICAL DESIGN-BUILD DRAWINGS FOR INFORMATION ON EXISTING EQUIPMENT TO REMAIN FOR REUSE. ALL UNUSED ELECTRICAL WIRING SHALL BE PULLED BACK TO THE MAIN SWITCH GEAR. ALL UNUSED PLUMBING LINES SHALL BE CAPPED IN THE WALL OR BELOW THE FLOOR.
6. ALL ABANDONED ELECTRICAL, TELEPHONE CONDUIT, PLUMBING LINES, DRAIN LINES, AND MECHANICAL DUCTWORK, AS THE RESULT OF DEMOLITION, SHALL BE REMOVED BACK TO THE ORIGINAL POINT. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES.
7. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK AND PREVENT MOVEMENT/SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AS REQUIRED. CONTRACTOR WILL ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.
8. PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, GUARDRAILS, DUST PROTECTION, ETC. AS REQUIRED BY APPLICABLE REGULATORY ADVISORY TO PROTECT WORKERS & REQUIRED TO MAINTAIN OPERATION OF EXISTING OWNER SPACES.
9. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL UNUSED, ABANDONED, & EXTRANEOUS ITEMS. BURNING MATERIAL ON SITE IS NOT PERMITTED.
10. DO NOT BLOCK REQUIRED EXIT WAYS. ERECT BARRICADES AND PROVIDE TEMPORARY LIGHTING IF REQUIRED TO MAINTAIN EGRESS PATH OF TRAVEL.
11. THE ARCHITECT HAS NO KNOWLEDGE OF, AND SHALL NOT BE LIABLE FOR, AND DAMAGES CAUSED BY AN EXISTING WATER LEAKAGE & MOLDS.
12. COORDINATE DEMOLITION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS. SUBCONTRACTORS TO PROVIDE DESIGN BUILD DOCUMENTS AS REQUIRED FOR PLANNED DEMOLITION & EXISTING ELEMENTS TO REMAIN. SHORING AND BRACING OF THE EXISTING STRUCTURE SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR.
13. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND NOTIFY OWNER & ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
14. NO DEMOLITION IS TO TAKE PLACE ANYWHERE OUTSIDE OF THE AREA OF WORK WITHOUT THE APPROVAL OF THE OWNER & ARCHITECT.
15. REPAIR ALL EXISTING WALL PENETRATIONS AND VOIDS IN EXISTING WALLS TO REMAIN WHERE MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL FIXTURES HAVE OR WILL BE REMOVED. EXISTING WALLS TO BE PAINTED, FURRED OUT, AND FINISHED TO MATCH EXISTING AS REQUIRED.
16. ALL ABANDONED ROOF PENETRATIONS SHALL BE APPROPRIATELY CAPPED ON THE ROOF AND MADE WATERTIGHT.
17. ALL ABANDONED EXTERIOR WALL PENETRATIONS SHALL BE INFILLED WITH WALL CONSTRUCTION TO MATCH THE EXISTING ADJACENT WALL CONSTRUCTION.
18. ALL ABANDONED FLOOR AND/OR FLOOR-CEILING PENETRATIONS SHALL BE INFILLED WITH FLOOR AND/OR FLOOR-CEILING CONSTRUCTION TO MATCH EXISTING.
19. REMOVE ALL PREVIOUS TENANT'S ABANDONED EQUIPMENT, INCLUDING ANY CONCRETE CURBS/MAINTENANCE PADS, STEEL SUPPORTS/RAILS, ETC. THROUGHOUT THE SPACE, UNLESS SPECIFICALLY INDICATED TO REMAIN.

DEMOLITION KEY NOTES

1. REMOVE PORTION OF EXTERIOR WALL CONSTRUCTION TO EXTENTS INDICATED (TYPICALLY BETWEEN EXIST. VERTICAL CMU REVEALS), FROM 2'-8" TO 8'-0" (VERIFY W/ EXISTING MASONRY COURSING). PREP OPENING FOR INSTALLATION OF NEW DOOR / WINDOW AS INDICATED.
2. REMOVE OVERHEAD DOOR AND FRAME. PREP OPENING FOR WALL INFILL AND WINDOW INSTALLATION AS INDICATED.
3. REPAIR AND/OR REPLACE EXISTING WINDOW AS REQUIRED TO MATCH EXISTING ADJ. WINDOWS.
4. REMOVE PORTION OF WALL CONSTRUCTION (AND DOORS & FRAMES THEREIN IF PRESENT) TO EXTENTS INDICATED AND AS REQ'D. FOR INSTALLATION OF NEW DOOR AND FRAME AS SCHEDULED.
5. REMOVE EXISTING WALL CONSTRUCTION (AND DOORS & FRAMES THEREIN IF PRESENT) FROM FLOOR TO UNDERSIDE OF DECK ABOVE (SHOWN DASHED).
6. REMOVE EXISTING DOOR & FRAME. PREP OPENING FOR WALL INFILL.
7. REMOVE EXISTING PLUMBING FIXTURES THIS ROOM. MODIFY EXISTING DOMESTIC AND SANITARY LINES AS REQ'D. FOR INSTALLATION OF NEW PLUMBING FIXTURES. DESIGN/BUILD PLUMBING CONTRACTOR TO COORDINATE.
8. REMOVE EXISTING PLUMBING FIXTURES THIS ROOM. CAP EXISTING PLUMBING LINES BELOW SLAB AS REQ'D. PER CODE. SEE PLUMBING. INFILL ABANDONED FLOOR PENETRATIONS WITH CONCRETE TO MATCH EXISTING.
9. EXISTING CMU, ELEC. SERVICE PANELS, ELEC. SERVICE FEED AND RACEWAY TO REMAIN.
10. REMOVE EXISTING DOOR. EXISTING FRAME TO REMAIN. PREP FRAME TO RECEIVE NEW DOOR AND HARDWARE AS SCHEDULED.
11. REMOVE EXISTING STOREFRONT DOOR, WINDOWS AND FRAMES. PREP OPENING FOR INSTALLATION OF NEW DOORS & FRAMES AS SCHEDULED.
12. PROTECT EXISTING STAIR TO REMAIN DURING DEMOLITION AND NEW CONSTRUCTION.
13. REMOVE EXISTING FLOORING, WALL FINISHES AND BASE THROUGHOUT. PREP SURFACES FOR NEW FINISHES AS INDICATED.
14. REMOVE EXISTING HVAC EQUIPMENT IN ITS ENTIRETY. DESIGN/BUILD MECHANICAL CONTRACTOR TO COORDINATE.
15. REMOVE IN ITS ENTIRETY EXISTING EXTERIOR ENTRY ENCLOSURE, INCLUDING ANY CONC. SLAB AND/OR FOUNDATION.
16. EXISTING COLUMN AND ASSUMED FOOTING BELOW SLAB TO REMAIN. PROTECT FROM DEMOLITION AND NEW CONSTRUCTION AS REQUIRED.
17. EXISTING DOOR AND FRAME TO REMAIN. PROTECT FROM DEMOLITION AND NEW CONSTRUCTION AS REQUIRED.
18. REMOVE PORTION OF EXTERIOR WALL CONSTRUCTION (AND DOOR/FRAMES THEREIN, IF PRESENT) TO EXTENTS INDICATED FROM FLOOR TO HEIGHT INDICATED. PREP OPENING FOR INSTALLATION OF NEW DOOR OR WINDOW AS SCHEDULED.
19. EXISTING UTILITY ROOM WALLS, PANELS, PUMPS, ETC. TO REMAIN.
20. EXISTING WALL TO REMAIN (SHOWN SHADED). PATCH AND REPAIR ALL SURFACES AS REQUIRED FOR NEW FINISHES SCHEDULED.
21. EXISTING WINDOWS AND FRAMES TO REMAIN. U.N.O. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIR NEEDED. ENSURE ALL SEALS, GASKETS, GLASS, FRAMING, ETC. ARE IN GOOD CONDITION REPLACE ALL DAMAGED PARTS, PATCH GLASS / FRAMING SYSTEM TO MATCH EXISTING AS REQUIRED.
22. REMOVE AND REPLACE DAMAGED OVERHEAD DOOR PANELS. COORDINATE ANY ADDITIONAL WORK WITH ARCHITECT/OWNER.
23. SANDBLAST EXISTING RAILINGS / HANDRAILS AND PREP FOR NEW FINISH AS INDICATED.
24. REMOVE EXISTING CEILING, DUCTWORK, PIPING, CONDUITS, HVAC SYSTEMS, LIGHT FIXTURES, ETC., UNLESS SPECIFICALLY INDICATED TO REMAIN. COORDINATE W/ DESIGN/BUILD CONTRACTORS THROUGHOUT.
25. REMOVE EXISTING EXTERIOR STAIRS, CONC. WALK, ETC. THIS AREA IN ITS ENTIRETY.
26. REMOVE EXISTING EXTERIOR CONCRETE CURB/SIDEWALK AS REQ'D. PREP FOR LANDSCAPE RETAINING WALL.
27. CUT AND REMOVE EXISTING BITUMINOUS SURFACE THIS AREA AND PREP SUB BASE FOR NEW CONCRETE WALK AS REQUIRED.
28. REMOVE DOCK BUMPERS, PATCH AND REPAIR ADJACENT MATERIALS AS REQUIRED.
29. EXISTING STEEL STAIR, GUARDRAILS, ETC. TO REMAIN.
30. REMOVE EXTERIOR STAIR AND STOOP/CONCRETE PAD. PREP FOR PLANTER RETAINING WALL.
31. REMOVE EXISTING BITUMINOUS SURFACE AND CURB. PREP FOR LANDSCAPING.
32. REMOVE CURB/GUTTER, BITUMINOUS DRIVE SURFACE, AND CURB CUTS AT EAST SIDE OF BLDG. WHERE INDICATED.
33. EXISTING FIRE SPRINKLER MAIN TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION.
34. PROTECT EXISTING ELEVATOR TO REMAIN DURING DEMOLITION AND NEW CONSTRUCTION.
35. EXISTING CONC. BLOCK (NON-BEARING) TO BE REMOVED IN ITS ENTIRETY FROM FLOOR TO STRUCTURE / DECK ABOVE. IF CONC. BLOCK GOES BELOW THE FLOOR SLAB, THE FIRST COURSE OF BLOCK BELOW THE FLOOR SHALL BE REMOVED AND THE CONCRETE SLAB INFILLED TO MATCH THE ADJACENT SLAB.
36. EXISTING CONC. WALK / PATIO / ETC. AT EXTERIOR OF BUILDING TO REMAIN, U.N.O.
37. REMOVE INDICATED PORTION OF EXTERIOR CONCRETE SIDEWALK AS REQUIRED FOR NEW STOOP AND LEVEL DOOR LANDING.
38. REMOVE EXTERIOR AND/OR INTERIOR CMU WALL GYP. BD. FURRING SYSTEM FROM FLOOR TO DECK/STRUCTURE ABOVE.
39. REMOVE EXISTING ELECTRICAL EQUIPMENT (PANELS, TRANSFORMERS, DISCONNECTS, CONDUITS, ETC.) NOT SPECIFICALLY INDICATED TO REMAIN. REMOVE ALL BACK TO SOURCE.
40. REMOVE EXISTING FLOOR HVAC REGISTERS AND INFILL BELOW FLOOR DUCTWORK WITH CONCRETE AND / OR SPRAY FOAM. UNDER FLOOR HVAC SYSTEM SHALL BE ABANDONED. DESIGN / BUILD MECHANICAL CONTRACTOR TO COORDINATE.
41. EXISTING OVERHEAD DOCK DOORS TO REMAIN. CONTRACTOR SHALL REPAIR DOORS AND ASSOCIATED HARDWARE TO ALLOW FOR A FULLY FUNCTIONAL OPERATION.
42. REMOVE EXISTING ALUM/GLASS STOREFRONT WINDOW. PREP OPENING FOR NEW ALUM/GLASS STOREFRONT INFILL W/ DOOR AS SCHEDULED.
43. REMOVE ALL SUMP PITS, PROCESS PITS, ETC. INCLUDING ALL ASSOCIATED PLUMBING AND ELECTRICAL CONNECTIONS. IN THEIR ENTIRETY. INFILL FLOOR PENETRATIONS WITH COMPACTED GRANULAR FILL AND CONC. FLOOR SLAB TO MATCH EXISTING. INFILL FLOOR SLAB SHALL BE SMOOTH AND LEVEL WITH ADJ. FLOOR SLAB.
44. REMOVE EXISTING STEEL STAIR IN ITS ENTIRETY.
45. EXISTING ELECTRICAL SWITCH GEAR TO REMAIN.
46. REMOVE EXISTING THROUGH WALL HVAC PENETRATION IN ITS ENTIRETY. INFILL ABANDONED PENETRATION OPENING IN WALL WITH WALL CONSTRUCTION TO MATCH EXISTING.
47. REMOVE PREVIOUS TENANT'S ABANDONED EQUIPMENT, INCLUDING ALL ELEC., PLUMBING, HVAC CONNECTIONS.
48. REMOVED RAISED FLOOR AND ALL UNDER FLOOR ELECTRICAL/DATA WIRING, CONDUITS, BOXES, ETC. REMOVE ALL FLOOR FINISHES UNDER RAISED FLOOR AREA.
49. REMOVE CONCRETE CONTAINMENT CURBS THAT MAY BE IN PLACE AROUND THIS ROOM. PREP SLAB SMOOTH AND LEVEL FOR NEW FINISHES.
50. REMOVE EXISTING ABANDONED EQUIPMENT PLATFORMS/RAILS/ETC. IN THEIR ENTIRETY.
51. REMOVE INDICATED PORTION OF EXTERIOR CONCRETE SIDEWALK AND ADJACENT SURFACES AS REQ'D FOR NEW CONCRETE STOOP AT EGRESS DOOR.
52. REMOVE EXIST. ALUM/GLASS STOREFRONT SYSTEM. PREP OPENING FOR NEW ALUM/GLASS STOREFRONT INFILL AS SCHEDULED.



2
D200 1/32"=1'-0"
DEMOLITION FLOOR PLAN (MAIN LEVEL)

finn daniels
ARCHITECTS

2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON

Typed Name

Rebecca Olson

49243 02.08.2022

License Number Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

DEMO PERMIT 12.22.2021

DEMO - Rev #1 01.27.2022

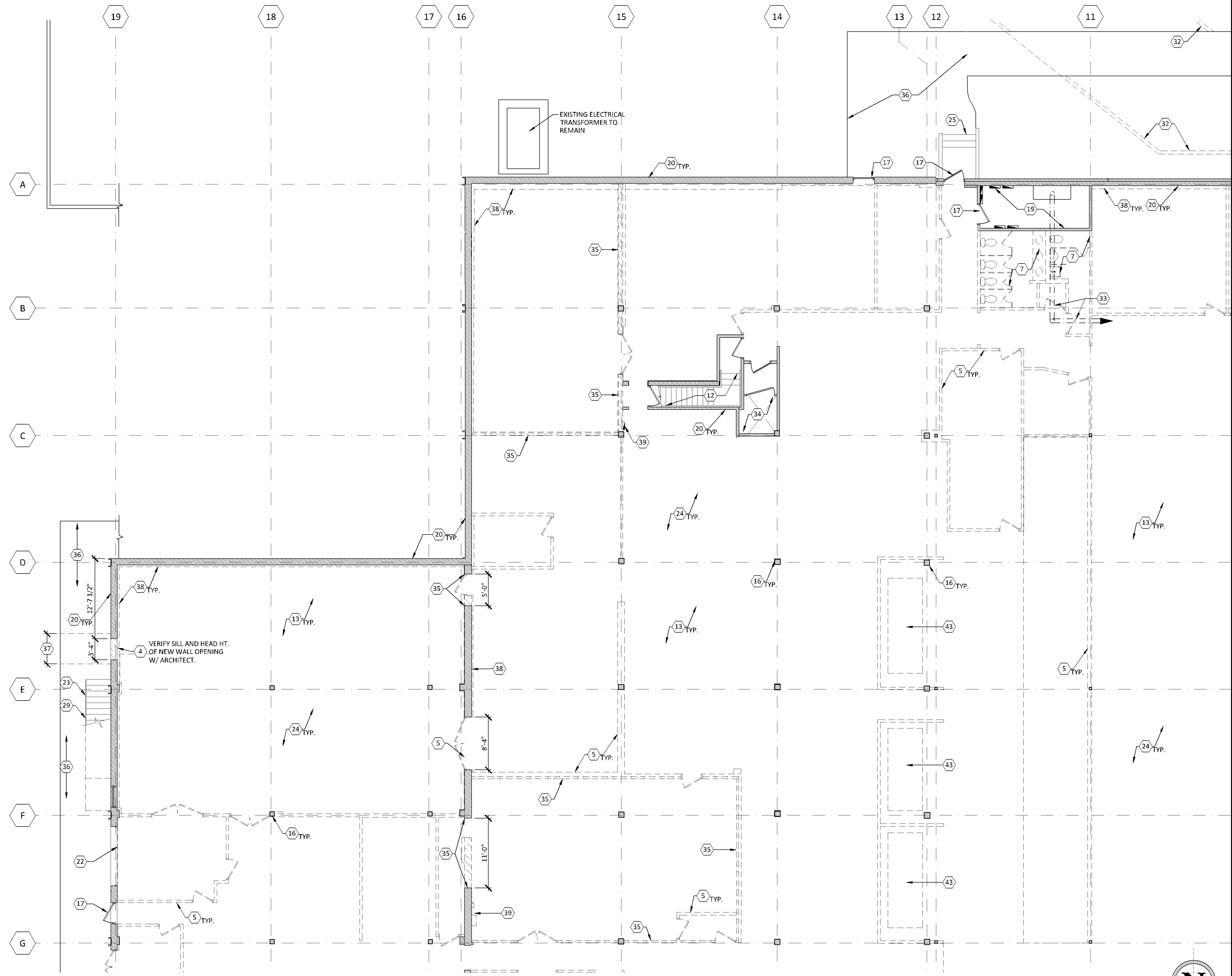
PERMIT ISSUE 02.08.2022

SHEET TITLE:

**DEMOLITION FLOOR
PLANS &
DEMOLITION NOTES**

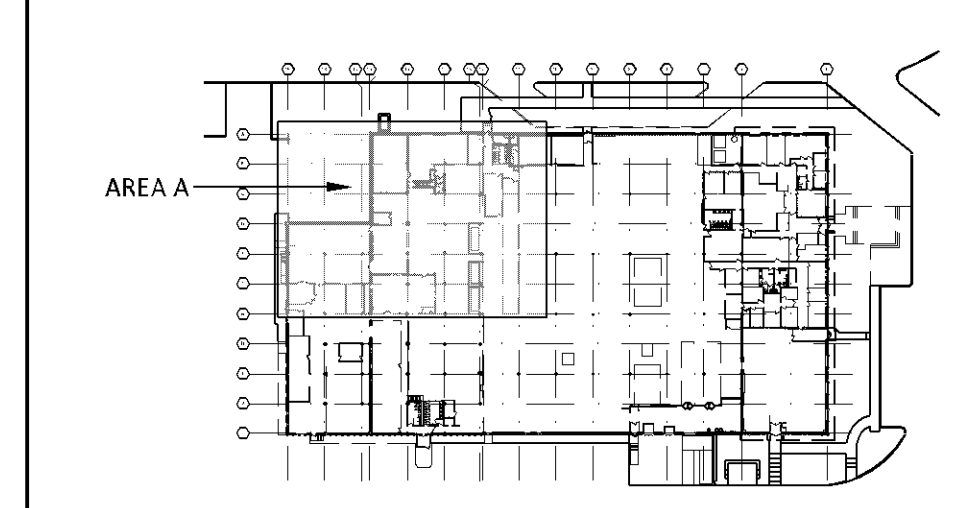
D200

Bloomington Case PL202200033



1 DEMOLITION FLOOR PLAN (MAIN LEVEL - AREA A)
D201 1/8"=1'-0"

SEE DEMOLITION KEY NOTES ON SHEET D200, TYP.
NOTE: EXISTING WALLS SHOWN SHADED ARE TO REMAIN, U.N.O.



2 KEY PLAN (MAIN LEVEL)
D201 1/128"=1'-0"

CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name
Rebecca Olson
49243 License Number 02.08.2022 Date

PROJECT:

Schmitt Music
7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.:	21026
DRAWN BY:	INH/KMH/SAW
CHECKED BY:	SAW/RLO
ISSUES AND REVISIONS:	
DEMO PERMIT	12.22.2021
DEMO - Rev #1	01.27.2022
PERMIT ISSUE	02.08.2022

SHEET TITLE:
DEMOLITION FLOOR PLANS - MAIN LEVEL AREA A

D201

Bloomington Case PL202200033

CONSULTANT:

SEAL/SIGNATURE:

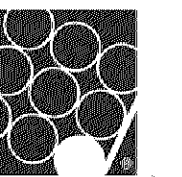
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name



49243 License Number 02.08.2022 Date

PROJECT:



Schmitt Music

7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

DEMO PERMIT 12.22.2021

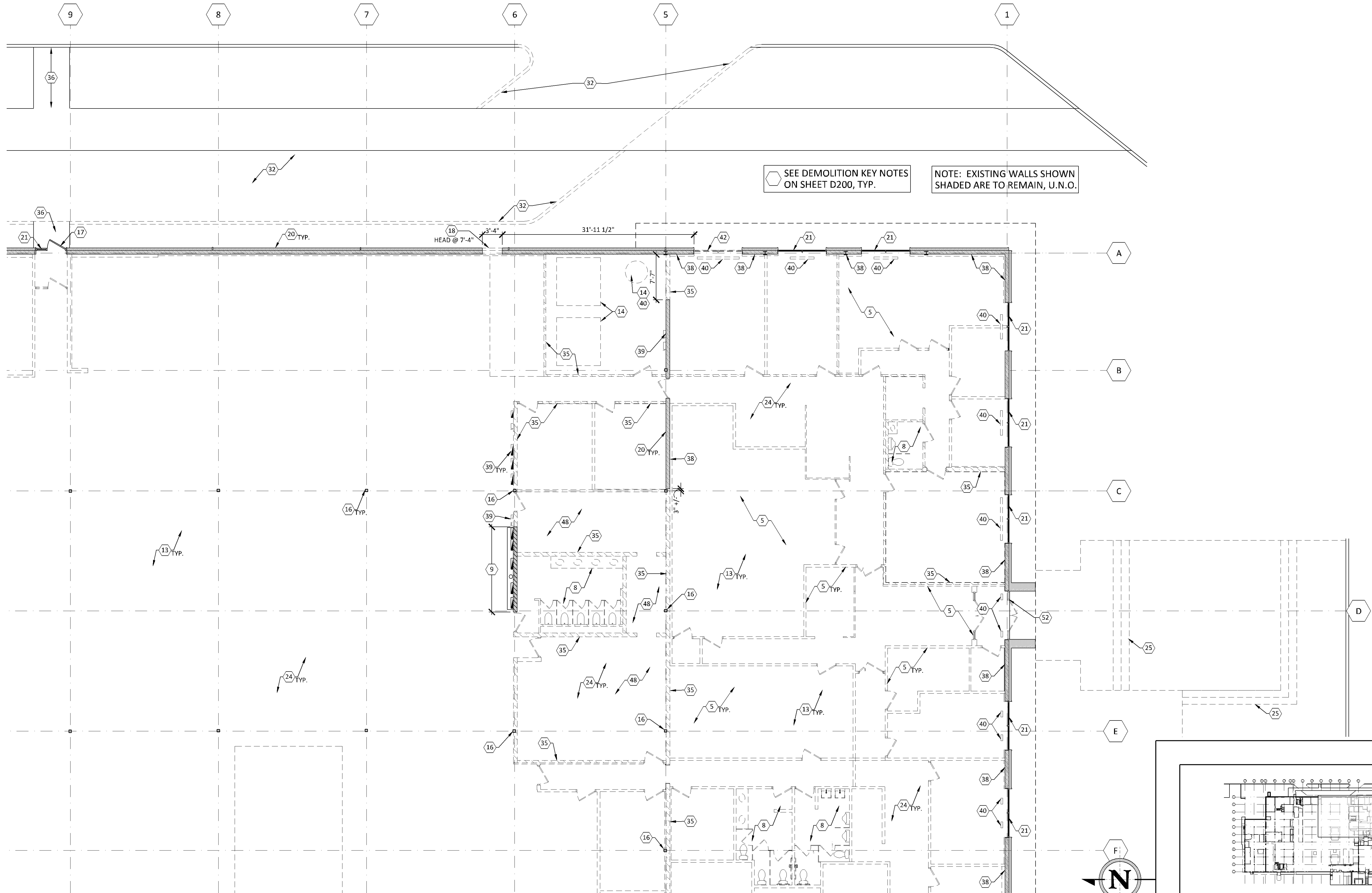
DEMO - Rev #1 01.27.2022

PERMIT ISSUE 02.08.2022

SHEET TITLE:

DEMOLITION FLOOR PLANS - MAIN LEVEL AREA C

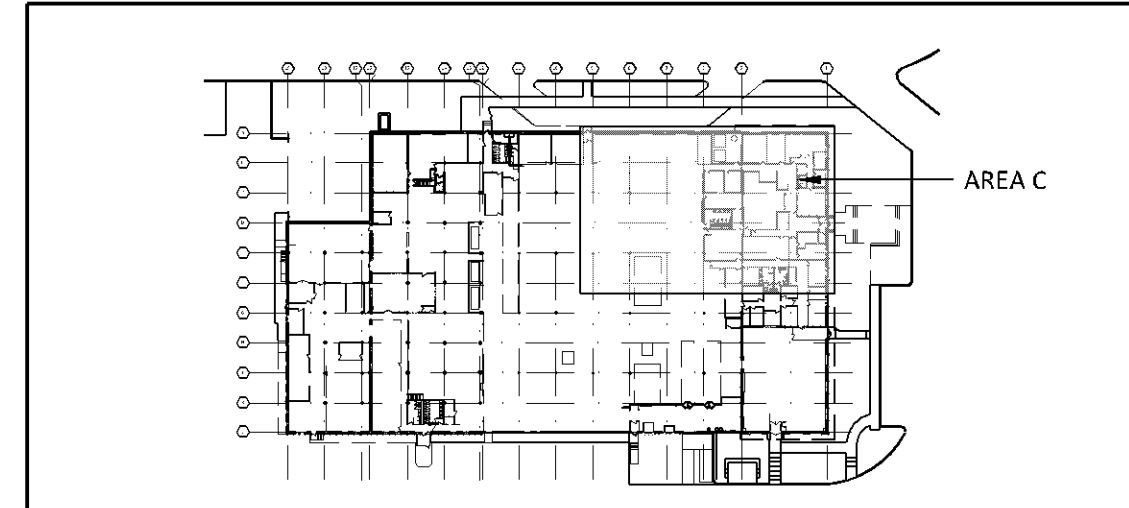
D203



SEE DEMOLITION KEY NOTES ON SHEET D200, TYP.

NOTE: EXISTING WALLS SHOWN SHADED ARE TO REMAIN, U.N.O.

1 DEMOLITION FLOOR PLAN (MAIN LEVEL - AREA C)
D203 1/8"=1'-0"

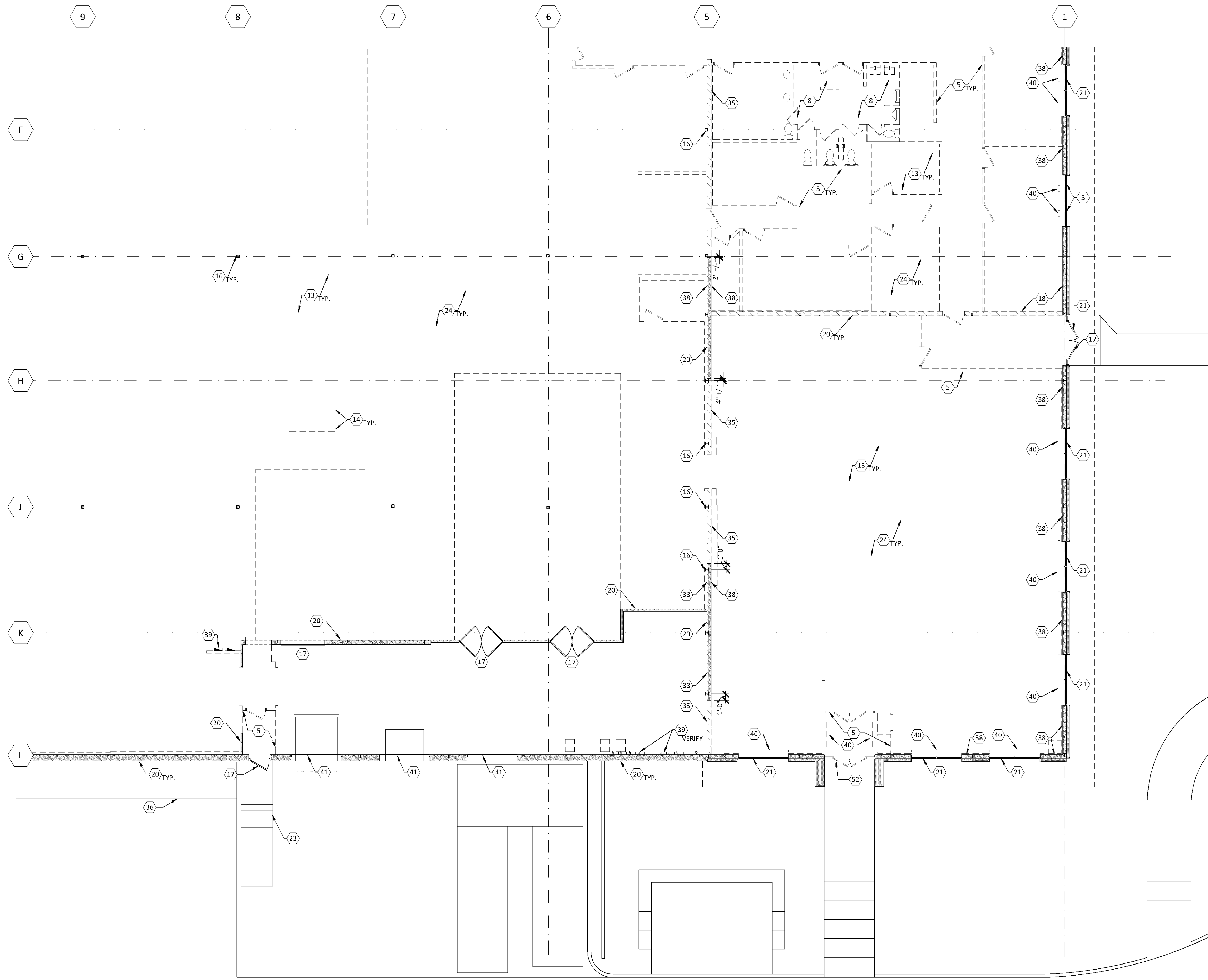


2 KEY PLAN (MAIN LEVEL)
D203 1/128"=1'-0"

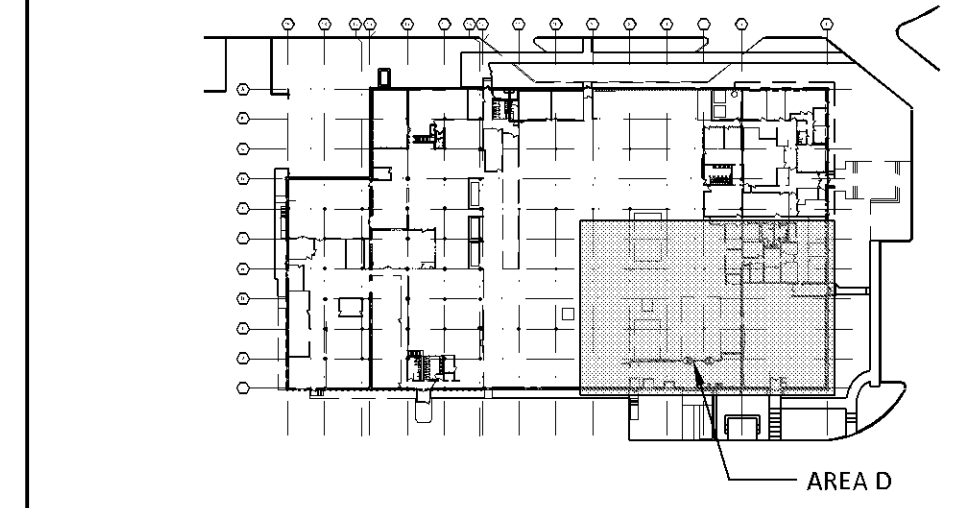
Bloomington Case PL202200033

SEE DEMOLITION KEY NOTES ON SHEET D200, TYP.

NOTE: EXISTING WALLS SHOWN SHADED ARE TO REMAIN, U.N.O.



1 DEMOLITION FLOOR PLAN (MAIN LEVEL - AREA D)
D204 1/8"=1'-0"



2 KEY PLAN (MAIN LEVEL)
D204 1/128"=1'-0"

finn daniels
ARCHITECTS

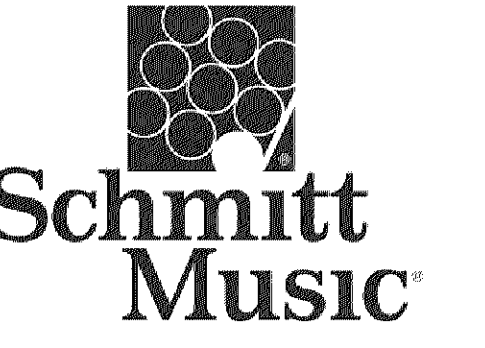
2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name
Rebecca Olson
49243 License Number 02.08.2022 Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

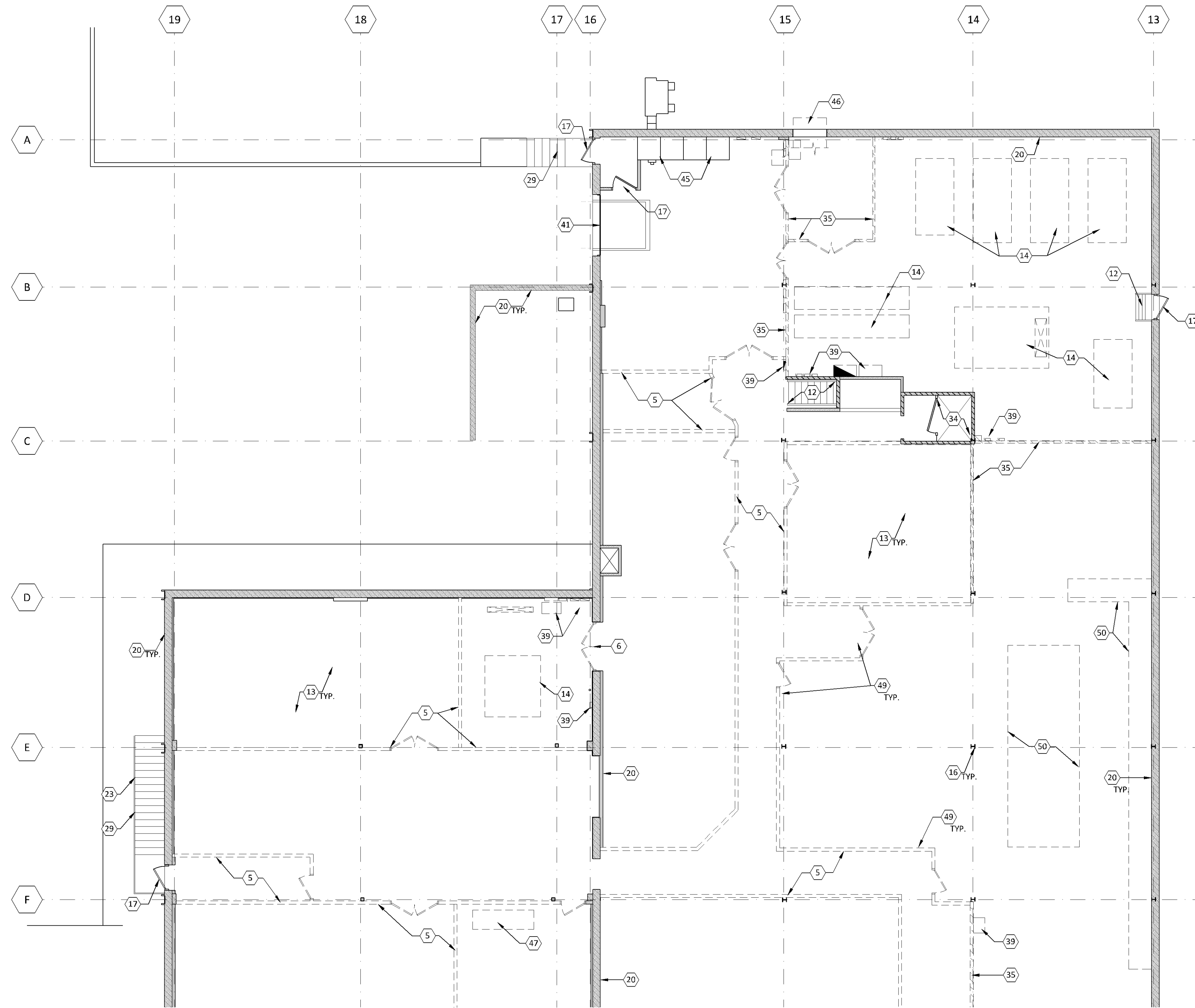
DEMO PERMIT 12.22.2021

DEMO - Rev #1 01.27.2022

PERMIT ISSUE 02.08.2022

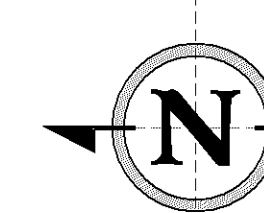
SHEET TITLE:
DEMOLITION FLOOR PLANS - MAIN LEVEL
AREA D

D204

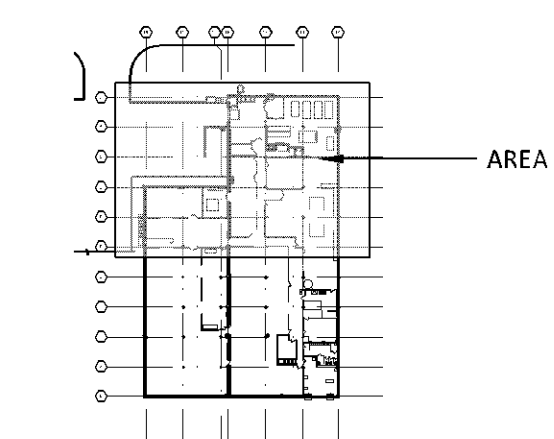


NOTE: EXISTING WALLS SHOWN SHADED ARE TO REMAIN, U.N.O.

SEE DEMOLITION KEY NOTES ON SHEET D200, TYP.



1 DEMOLITION FLOOR PLAN (UPPER LEVEL - AREA E)
D205 1/8"=1'-0"



2 KEY PLAN (UPPER LEVEL)
D205 1/128"=1'-0"

CONSULTANT:

SEAL/SIGNATURE:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

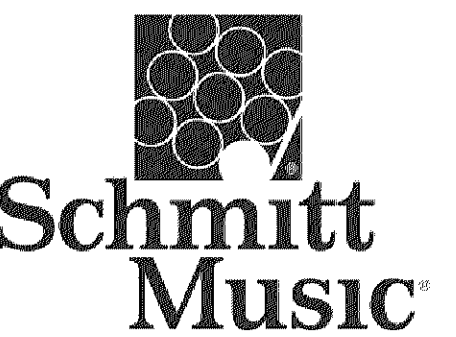
REBECCA L. OLSON

Typed Name

Rebecca Olson

49243 License Number 02.08.2022 Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

DEMO PERMIT 12.22.2021

DEMO - Rev #1 01.27.2022

PERMIT ISSUE 02.08.2022

SHEET TITLE:

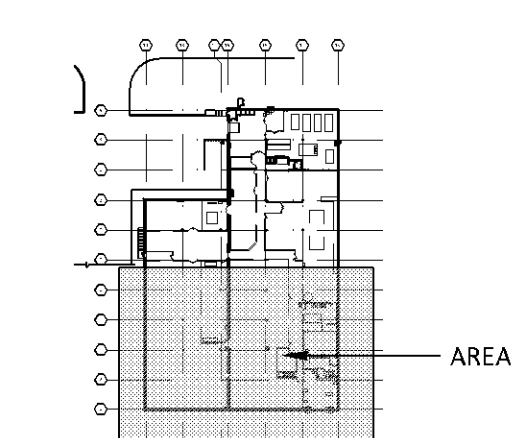
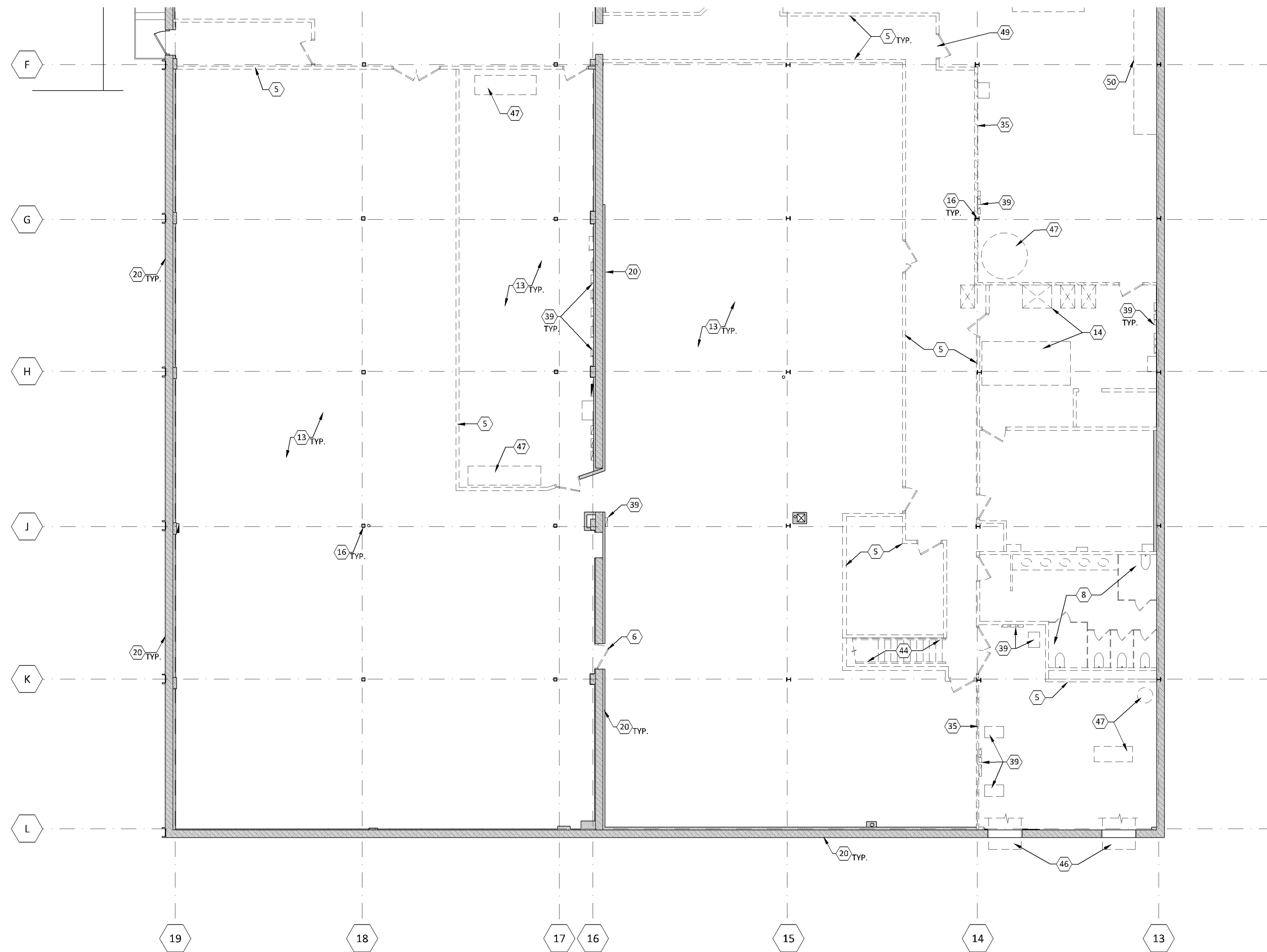
DEMOLITION FLOOR PLAN - UPPER LEVEL AREA E

D205

Bloomington Case PL202200033

SEE DEMOLITION KEY NOTES ON SHEET D200, TYP.

NOTE: EXISTING WALLS SHOWN SHADED ARE TO REMAIN, U.N.O.



1 DEMOLITION FLOOR PLAN (UPPER LEVEL - AREA F)
D206 1/8"=1'-0"

2 KEY PLAN (UPPER LEVEL)
D206 1/128"=1'-0"

finn daniels
ARCHITECTS
2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name
Rebecca Olson
49243 License Number 02.08.2022 Date

PROJECT:

Schmitt Music
7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

DEMO PERMIT 12.22.2021

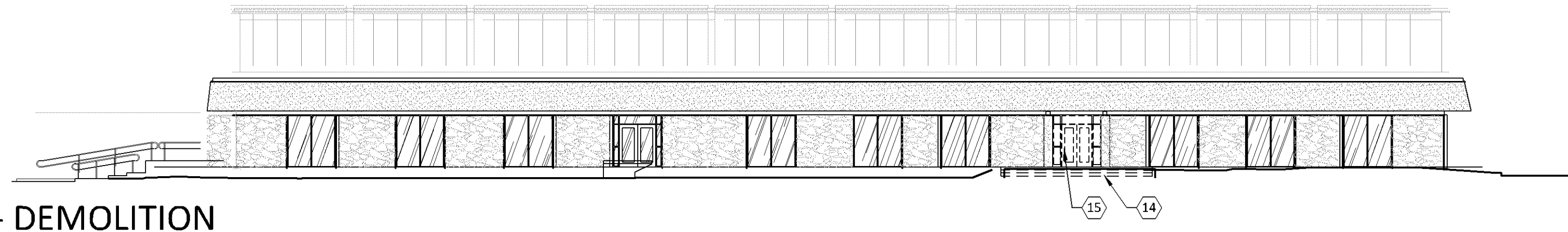
DEMO - Rev #1 01.27.2022

PERMIT ISSUE 02.08.2022

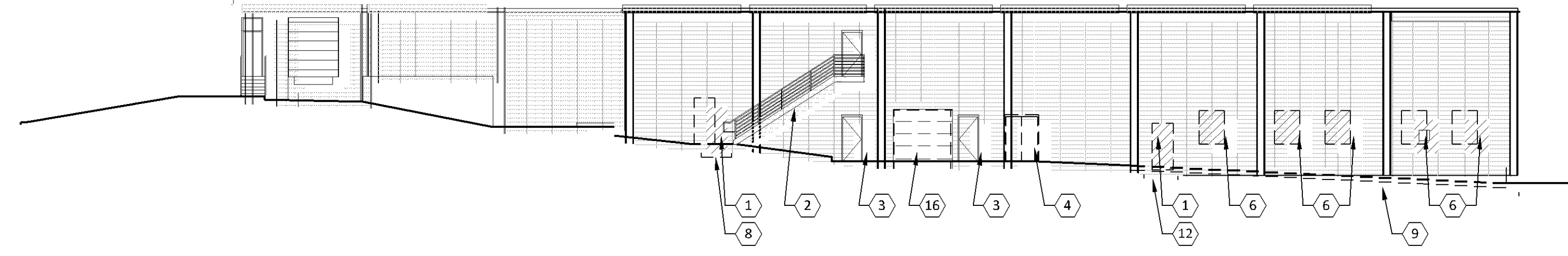
SHEET TITLE:
DEMOLITION FLOOR PLANS - UPPER LEVEL AREA F

D206

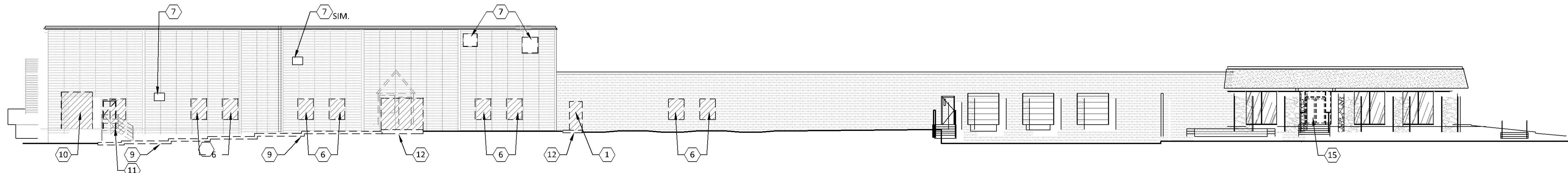
Bloomington Case PL202200033



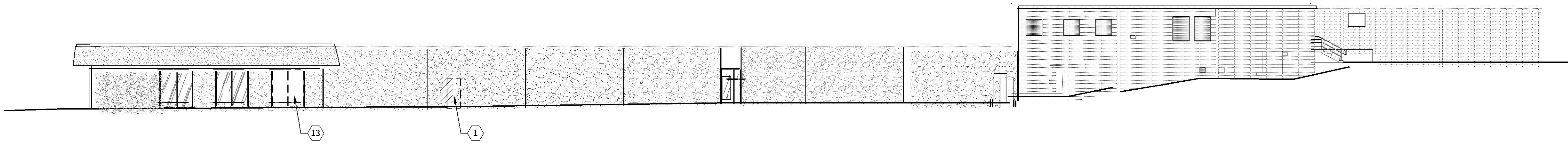
1 SOUTH ELEVATION - DEMOLITION
D300 1/16"=1'-0"



2 NORTH ELEVATION - DEMOLITION
D300 1/16"=1'-0"



3 WEST ELEVATION - DEMOLITION
D300 1/16"=1'-0"



4 EAST ELEVATION - DEMOLITION
D300 1/16"=1'-0"

DEMOLITION ELEVATION KEY NOTES

- 1 REMOVE PORTION OF EXTERIOR WALL CONSTRUCTION TO EXTENTS INDICATED FOR NEW DOOR AND FRAME AS SCHEDULED.
- 2 EXISTING STEEL STAIR, GUARD RAILS, AND HAND RAILS TO REMAIN. PREP FOR NEW FINISHES AS REQUIRED.
- 3 EXISTING DOOR / FRAME TO REMAIN, PREP FOR NEW FINISHES AS REQ'D.
- 4 REMOVE EXIST. DOORS / FRAME, PREP OPENING FOR NEW CMU INFILL TO MATCH EXIST.
- 5 REMOVE EXISTING OVERHEAD AND HARDWARE. PREP OPENING FOR NEW OVERHEAD DOOR AS SCHEDULED.
- 6 REMOVE PORTION OF EXTERIOR WALL CONSTRUCTION TO EXTENTS INDICATED FOR NEW WINDOW AS SCHEDULED.
- 7 REMOVE ABANDONED AIR INTAKE LOUVERS AND HOODS. PREP AND INFILL OPENINGS WITH CMU WALL CONSTRUCTION TO MATCH EXISTING ADJACENT CONSTRUCTION.
- 8 REMOVE EXIST. EXTERIOR CONC. SIDEWALK AT NEW DOOR LOCATION AS REQUIRED FOR NEW CONCRETE STOOP AND TO PROVIDE A LEVEL LANDING PER CODE AT THE DOOR OPENING. SEE PLAN.
- 9 REMOVE EXISTING EXTERIOR CONC. SIDEWALK WHERE INDICATED AND PREP FOR NEW LANDSCAPE RETAINING WALL. SEE PLAN.
- 10 REMOVE EXISTING OVERHEAD DOOR, DOCK SHELTER, TEC.
- 11 REMOVE EXISTING DOOR / FRAME AND METAL STAIR. REMOVE PORTION OF EXTERIOR WALL CONSTRUCTION TO EXTENTS INDICATED FOR NEW WINDOW AS SCHEDULED. INFILL OPENING BELOW NEW WINDOW WITH CMU WALL CONSTRUCTION TO MATCH EXIST. ADJACENT CONSTRUCTION.
- 12 REMOVE EXISTING EXTERIOR CONCRETE SIDEWALK AS REQUIRED FOR NEW CONCRETE STOOPS AT EGRESS DOOR.
- 13 REMOVE EXISTING ALUM./GLASS STOREFRONT WINDOW. PREP OPENING FOR NEW ALUM. GLASS STOREFRONT INFILL W/ DOOR AS SCHEDULED.
- 14 REMOVE EXISTING EXTERIOR CONCRETE STAIRS/LANDINGS/RAILING/ETC. IN ITS ENTIRETY THIS AREA.
- 15 REMOVE EXISTING ALUM./GLASS STOREFRONT DOOR. PREP OPENING FOR NEW ALUM./GLASS STOREFRONT INFILL AS SCHEDULED.
- 16 EXISTING OVERHEAD DOOR. REMOVE AND REPLACE DAMAGED DOOR PANELS. REPAIR DOOR TO FULLY FUNCTIONAL CONDITION.

GENERAL DEMOLITION ELEVATION NOTES

1. REMOVE ALL ABANDONED EXTERIOR WALL EQUIPMENT AND PENETRATIONS. INFILL AND/ OR PATCH WALL WITH CONSTRUCTION TO MATCH EXISTING
2. PREP EXISTING CMU WALL SURFACES TO REMAIN FOR NEW PAINTED FINISH INDICATED.

finn daniels
ARCHITECTS

2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON

Typed Name

Rebecca Olson

49243 02.08.2022

License Number Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

DEMO PERMIT 12.22.2021

DEMO - Rev #1 01.27.2022

PERMIT ISSUE 02.08.2022

SHEET TITLE:

DEMOLITION
EXTERIOR ELEVATIONS

D300

HARDWARE SPECIFICATIONS

*Furnish as follows, unless otherwise noted in 'Hardware Groups'.

1. HINGES: "As required" (Approved manufacturers: Assa Abloy, Bommer, Hager, Stanley.)

A. QUANTITY:

- Doors up to and including 90" high - 3 hinges
- Doors over 90" high through 120" high - 4 hinges
- Provide one additional hinge for every additional 30" in height over 120"
- Dutch doors - 4 hinges

B. WEIGHT:

- Standard weight, plain bearing hinge for interior openings through 36" wide without a door closer
- Standard weight, ball bearing hinge for interior openings over 36" through 40" wide without a door closer, and for interior openings through 40" wide with a door closer
- Heavy weight, four ball bearing, hinge for all interior openings over 40", and for all vestibule doors
- Heavy weight, four ball bearing, stainless steel or brass for all exterior openings

C. SIZE:

- 1 3/4" doors: 4-1/2" x 4-1/2"
- Provide proper hinge width to clear trim and allow full 180 degree swing.

2. LOCK AND LATCH SETS: (Approved manufacturers: Best, Sargent, Schlage, Yale)

- Provide guarded latchbolts for all locksets, and latchbolts with sufficient throw to maintain fire rating of both single and paired door assemblies.
- Length of strike lip shall be sufficient to clear surrounding trim.

3. PUSH/PULLS: (Approved manufacturers: Burns, Hager, Hiawatha)

- Dimensions of protection plates to accommodate stile and rail dimensions, lite and lower cutouts, and adjacent hardware.
- Where possible, provide back-to-back, and concealed mounting for pulls and push bars. Push bar length shall be 3 inches less door width, or center of stile to center of stile for stile and rail type doors.

4. CYLINDRICAL/MORTISE/ELECTRIFIED/MAGNETIC LOCKSETS: (Approved manufacturers: Assa Abloy or Yale, Best, Schlage)

- Provide electric strikes designed for use with the type of locks indicated at each opening.
 - Electric strikes shall be UL Listed as Burglary-Resistant Electric Door Strikes and where required shall be UL Listed as Electric Strike for Fire Doors.
 - Provide transformers and rectifiers for each strike as required. Verify voltage with electrical contractor.
6. EXIT DEVICES: (Approved manufacturers: Assa Abloy or Yale, Von Duprin)
- Obtain exit devices from a single manufacturer.
 - All exit devices shall be provided with dead-locking latchbolts to insure security.
 - Exit devices on fire doors shall be UL Listed for fire exit hardware.
 - Provide narrow style devices in lieu of wide style devices where optional strikes will not accommodate door and frame conditions.
 - Coordinate with related trades to insure adequate clearance and reinforcement is provided in doors and frames.
 - All exit devices shall be provided with optional trim designs to match other lever and pull designs used on the project.
 - Provide interchangeable core cylinders when used in conjunction with exit devices. Cylinder keyway shall match locksets furnished on this project.

7. DOOR CLOSERS: (Approved manufacturers: Assa Abloy or Yale)

- Obtain door closers from a single manufacturer, although several may be indicated as offering products complying with requirements.
- Closers shall use high strength cast iron cylinders, forged main arms, and one piece forged steel positions.
- Unless specified otherwise, all door closers shall have full covers and separate adjusting valves for sweeps, latch, and backcheck.
- Provide closers for all labeled/rated doors. Provide closers with adjustable spring power. Size closers to insure exterior and fire rated doors will consistently close and latch doors under emergency conditions. Size all other door closers to allow for reduced opening force not to exceed 5 lbs.
- Furnish complete with any drop plates, back plates, mounting brackets, spacers, special shoes, or thru bolts that may be needed for application to the aluminum doors and frames, and as needed by other door and frame conditions.
- Unless otherwise detailed in the hardware schedule, install closers on the room side of the corridor doors, stair side of the stairway doors and interior side of exterior doors.

8. MAGNETIC HOLD OPENS: (Approved manufacturers: LCN, Assa Abloy, or Yale)

- Power operators and actuators: (Approved manufacturers: LCN, or Assa Abloy)
 - Provide electrically powered operators complying with the A.D.A. for opening force and time to close standards.
 - The closing action shall be controlled by modern type cast iron door closer cylinder. The closer shall have field adjustable spring power; have two independent closing speed adjustment valves, and hydraulic back-check.
 - Full closing force shall be provided when the power or assist cycles end.
 - Power operators shall be warranted by the manufacturer to be free from defects in material and workmanship for a period of two years.
 - Wall mounted actuators shall consist of a 4 1/2" diameter stainless steel touch plate with blue filled handicap symbol. Switches shall be weather resistant and mount on a single gang electrical box.
 - If electrical failure occurs, the unit shall operate as a standard door closer.
 - When an obstruction or resistance to the opening swing is encountered, the operator will pause at that point, then attempt to continue opening the door. If the obstruction or resistance remains, the operator will again pause the door.
- UL Listed for use on all door types.

10. OVERHEAD HOLDERS/STOPS: (Approved manufacturers: Assa Abloy or Sargent, Glynn-Johnson)

- Overhead stops (including slide block and end caps) shall be fabricated from metal.
- Unless otherwise specified, furnish overhead stop for doors equipped with regular arm surface type closers that swing more than 140 degrees before striking a wall, for doors that open against equipment, casework, sidelights, or other objects that would make wall bumpers inappropriate, and as indicated in hardware groups.
- Do not provide holder function for labeled/rated doors, unless otherwise indicated.

11. WALL AND FLOOR STOPS/HOLDERS (Approved manufacturers: Assa Abloy, Hiawatha, Ives)

- Furnish a wall stop or holder for all doors. Furnish floor stops only where wall stops or overhead stops are not feasible. Coordinate locations w/ Architect.
- Do not provide a holder function for rated/labeled doors, unless otherwise indicated.
- Wall stops are not to be mounted to casework, cabinet work, sidelights, or equipment.
- Where wall stops are specified but not applicable supply an overhead stop, or where a door closer is being used, supply a door closer/stop.

12. AUTOMATIC BOLTS AND DUSTPROOF STRIKES: (Approved manufacturers: Glynn-Johnson, Ives)

- Provide automatic flush bolts where required to maintain egress requirements on pairs of doors.
- Provide all flushbolts with non-locking dust proof strikes.

13. GASKETING AND THRESHOLDS: (Approved manufacturers: National Guard, Pemko, Zero)

- Hardware supplier shall verify all finish floor conditions & coordinate proper threshold as req'd. to insure a smooth transition with threshold.
- Provide weatherstripping on all exterior doors and where indicated by the hardware group.
- Provide intumescent & other required edge sealing systems as req'd. by the individual fire door listings to comply w/ positive pressure standards UL 10C.
- Provide smoke gaskets at all fire rated doors and smoke and draft control assemblies.

14. BIFOLDING DOOR HARDWARE: (Approved manufacturers: Hager, Stanley)

- Furnish protective plates as indicated in hardware groups.
- Where indicated, provide 10" kick plates and 36" armor plates. Unless otherwise specified, metal plates shall be 0.050 inch (16 gauge) thick.
- Protective Plates shall be 2" less door width, or 1" less door width at pairs. All protective plates shall be beveled 4 sides (B4E) and counter sunk screws. Protection plates over 16" high shall not be provided for labeled/rated doors, unless specifically approved by door manufacturer's listing.
- Where required by adjacent hardware, protection plates shall be factory drilled for cylinders or other mortised hardware.

Bloomington Case PL202200033

GENERAL HARDWARE NOTES

- GENERAL CONTRACTOR SHALL COORDINATE ALL HARDWARE GROUPS AND FINISHES WITH OWNER PRIOR TO ORDERING.
- COORDINATE THE KEYING AND PROGRAMMING OF LOCKS/CREDENTIALS WITH OWNER.
- ALL HARDWARE SHALL BE PER LOCAL, STATE AND NATIONAL CODES AS WELL AS THE AMERICANS WITH DISABILITIES ACT.
- HARDWARE SHALL INCLUDE ALL NECESSARY ACCESSORIES SUCH AS SCREWS, BOLTS, NUTS, ANCHORS, TOGGLE BOLTS, AND OTHER FASTENERS AS REQUIRED FOR A COMPLETE INSTALLATION.
- INSTALL HARDWARE PER MANUFACTURER'S RECOMMENDATIONS.
- ALL HARDWARE SHALL BE US26D FINISH AND/OR MATCH ANODIZED ALUMINUM FINISH TYPICALLY. (VERIFY W/ OWNER)
- ALL DOORS WHICH OPEN TOWARDS AN ADJACENT WALL SHALL BE SUPPLIED WITH WALL, DOOR, OR OVERHEAD STOPS PER GUIDELINES INDICATED.
- CONTRACTOR SHALL VERIFY ALL DOOR HARDWARE PER SPECIFIC CODE REQUIREMENTS FOR THIS FACILITY.
- CONTRACTOR SHALL COORDINATE THE FURNISHING AND INSTALLING OF ALL CYLINDER LOCKS WITH OWNER.
- ALL HARDWARE SHALL BE GRADE 1.
- HARDWARE SUPPLIER TO DO A FINAL WALKTHROUGH WITH OWNER PRIOR TO ORDERING ANY OF THE HARDWARE.

HARDWARE SCHEDULE

GROUP 1	3 HINGES 1 CLOSER 1 STOREROOM LOCKSET 1 ELECTRIC STRIKE 1 KICKPLATE	GROUP 9	3 HINGES 1 CLOSER 1 OFFICE LOCKSET	GROUP 16	3 HINGES 1 CLOSER 1 PASSAGE LATCHSET 1 KICKPLATE 1 AUTOMETAL DOOR OPENER W/ 2 WALL MOUNT ACTUATORS 1 ELECTRICAL STRIKE
GROUP 2	3 HINGES 1 CLOSER 1 PRIVACY LOCKSET 1 HC / A.D.A. 'UNISEX' RESTROOM SIGNAGE	GROUP 10	3 HINGES 1 CLOSER 1 STOREROOM LOCKSET 1 ELECTRIC STRIKE 1 SWEEP 1 SET WEATHERSTRIPPING 1 LATCH GUARD 1 KICKPLATE	GROUP 17	3 HINGES 1 STOREROOM LOCKSET
GROUP 3	3 HINGES 1 PASSAGE LATCHSET	GROUP 11	3 HINGES 1 CLOSER 1 STOREROOM LOCKSET	GROUP 18	1 STANDARD ROLLING FIRE DOOR HARDWARE (CHAIN OPERATION)
GROUP 4	3 HINGES 1 OFFICE LOCKSET	GROUP 12	3 HINGES 1 CLOSER 1 PASSAGE LATCHSET	GROUP 19	3 HINGES 1 CLOSER 1 LATCHGUARD 1 SET WEATHER STRIPPING 1 ELECTRICAL STRIKE
GROUP 5	6 HINGES 2 CLOSERS 2 OFFSET PULLS 2 TOUCH BAR EXIT DEVICES 2 CONCEALED VERTICAL RODS 1 CYLINDER 1 ELECTRIC STRIKE HINGE & POWER SUPPLY 1 ELECTRIC STRIKE 1 THRESHOLD 1 SET WEATHERSTRIPPING 2 SWEEPS	GROUP 13	3 HINGES 1 CLOSER 1 PASSAGE LATCHSET 1 KICKPLATE	GROUP 20	3 HINGES 1 PASSAGE LATCHSET 1 CLOSER 1 SET SMOKE GASKETING 1 SWEEP
GROUP 6	1 STANDARD OVERHEAD DOOR HARDWARE INCLUDING: AUTOMATIC DOOR OPERATOR AND CONTROLS.	GROUP 14	6 HINGES 2 CLOSERS W/ HOLD OPURNS 1 PASSAGE LATCHSET @ ACTIVE LEAF 1 CONCEALED BOLTS @ INACTIVE LEAF 2 DUSTPROOF STRIKES 2 SWEEPS 1 SMOKE / SOUND GAS KETING 1 COORDINATUR 1 ASTRÉGAL	GROUP 21	3 HINGES 1 CLOSER 1 OFFSET PULL 1 TOUCH BAR EXIT DEVICE 1 SET WEATHER STRIPPING 1 THRESHOLD 1 CYLINDER
GROUP 7	3 HINGES 1 OFFICE LOCKSET 1 CLOSER 1 KICKPLATE	GROUP 15	3 HINGES 1 PRIVACY LOCKSET		
GROUP 8	3 HINGES 1 STOREROOM LOCKSET				

DOOR SCHEDULE

OPNG. NO.	SIZE (NOMINAL width x height)	DOOR					FRAME			DETAIL			REMARKS
		TYPE	MAT'L	FIN.	LABEL	HDW.	TYPE	MAT'L	FIN.	HEAD	JAMB	SILL	
101A	(2) 3'-0" x 7'-0"	C	ALUM.	ANOD.	-	5	7	ALUM.	ANOD.	-	-	-	-
101B	3'-0" x 7'-0"	B	WD.	STAIN	-	13	1	H.M.	PT.	-	-	-	-
102	3'-0" x 7'-0"	B	WD.	STAIN	-	12	1	H.M.	PT.	-	-	-	-
103A	3'-0" x 7'-0"	D	WD.	STAIN	-	13	8	H.M.	PT.	-	-	-	-
103B	3'-6" x 7'-0"	B	WD.	STAIN	-	13	4	H.M.	PT.	-	-	-	-
104A	3'-0" x 7'-0"	A	H.M.	PT.	-	10	10	H.M.	PT.	-	-	-	INSULATED DOOR / FRAME
104B	3'-6" x 7'-0"	E	H.M.	PT.	-	13	2	H.M.	PT.	-	-	-	-
105A	3'-0" x 7'-0"	B	WD.	STAIN	-	3	1	H.M.	PT.	-	-	-	-
105B	3'-0" x 7'-0"	B	WD.	STAIN	-	8	1	H.M.	PT.	-	-	-	-
106	3'-0" x 7'-0"	D	WD.	STAIN	-	4	1	H.M.	PT.	-	-	-	-
107A	3'-0" x 7'-0"	B	WD.	STAIN	-	4	1	H.M.	PT.	-	-	-	-
107B	3'-0" x 7'-0"	B	WD.	STAIN	-	4	1	H.M.	PT.	-	-	-	-
108A	3'-0" x 7'-0"	B	WD.	STAIN	-	3	1	H.M.	PT.	-	-	-	-
108B	3'-0" x 7'-0"	B	WD.	STAIN	-	4	1	H.M.	PT.	-	-	-	-
109	3'-0" x 7'-0"	D	WD.	STAIN	-	1	1	H.M.	PT.	-	-	-	-
111	3'-0" x 7'-0"	E	H.M.	PT.	-	7	1	H.M.	PT.	-	-	-	-
112	(2) 3'-6" x 7'-0"	A	H.M.	PT.	-	14	11	H.M.	PT.	-	-	-	-
113A	3'-0" x 7'-0"	D	WD.	STAIN	-	12	1	H.M.	PT.	-	-	-	-
113B	3'-0" x 7'-0"	B	WD.	STAIN	-	7	1	H.M.	PT.	-	-	-	-
114	3'-0" x 7'-0"	B	WD.	STAIN	-	12	9	H.M.	PT.	-	-	-	-
115	3'-0" x 7'-0"	B	WD.	STAIN	-	3	6	H.M.	PT.	-	-	-	-
116	3'-6" x 7'-0"	E	H.M.	PT.	-	16	2	H.M.	PT.	-	-	-	-
117	3'-0" x 7'-0"	B	WD.	STAIN	-	4	1	H.M.	PT.	-	-	-	-
118	3'-0" x 7'-0"	B	WD.	STAIN	-	3	1	H.M.	PT.	-	-	-	-
119	3'-0" x 7'-0"	B	WD.	STAIN	-	15	1	H.M.	PT.	-	-	-	-
120	3'-0" x 7'-0"	B	WD.	STAIN	-	12	9	H.M.	PT.	-	-	-	-
121	3'-0" x 7'-0"	B	WD.	STAIN	-	12	6	H.M.	PT.	-	-	-	-
122	3'-0" x 7'-0"	B	WD.	STAIN	-	2	1	H.M.	PT.	-	-	-	-
123	3'-0" x 7'-0"	B	WD.	STAIN	-	2	1	H.M.	PT.	-	-	-	-
124	3'-0" x 7'-0"	B	WD.	STAIN	-	2	1	H.M.	PT.	-	-	-	-
125	3'-0" x 7'-0"	B	WD.	STAIN	-	2	1	H.M.	PT.	-	-	-	-
126	3'-0" x 7'-0"	B	WD.	STAIN	-	4	2	H.M.	PT.	-	-	-	-
127	3'-0" x 7'-0"	B	WD.	STAIN	-	4	2(R)	H.M.	PT.	-	-	-	-
128	3'-0" x 7'-0"	D	WD.	STAIN	-	9	1	H.M.	PT.	-	-	-	-
130	3'-0" x 7'-0"	B	WD.	STAIN	-	4	8	H.M.	PT.	-	-	-	-
131	3'-0" x 7'-0"	B	WD.	STAIN	-	4	5	H.M.	PT.	-	-	-	-
132	3'-0" x 7'-0"	B	WD.	STAIN	-	4	5	H.M.	PT.	-	-	-	-
133	3'-0" x 7'-0"	B	WD.	STAIN	-	4	5	H.M.	PT.	-	-	-	-
134	3'-0" x 7'-0"	B	WD.	STAIN	-	4	6	H.M.	PT.	-	-	-	-
135	3'-0" x 7'-0"	B	WD.	STAIN	-	4	6	H.M.	PT.	-	-	-	-
137	3'-0" x 7'-0"	A	H.M.	PT.	-	10	10	H.M.	PT.	-	-	-	INSULATED DOOR / FRAME
138	3'-0" x 7'-0"	B	WD.	STAIN	-	17	1	H.M.	PT.	-	-	-	-
139	3'-0" x 7'-0"	B	WD.	STAIN	-	2	1	H.M.	PT.	-	-	-	-
140A	EXISTING	EXIST.	EXIST.	PT.	-	EXIST.	EXIST.	EXIST.	PT.	-	-	-	ADD ACCESS CONTROL TO DOOR
140B	EXISTING	EXIST.	EXIST.	PT.	-	EXIST.	EXIST.	EXIST.	PT.	-	-	-	REPLACE DAMAGED DOOR PANELS. ADD ACCESS CONTROL TO DOOR.
140C	10'-0" x 10'-0"	G	STEEL	GALV.	1 HR.	18	-	-	-	-	-	-	ROLLING FIRE DOOR
140D	10'-0" x 10'-0"	F	STEEL	PREFIN.	-	6	-	-	-	-	-	-	-
141A	3'-0" x 7'-0"	A	H.M.	PT.	-	19	10	H.M.	PT.	-	-	-	INSULATED DOOR FRAME
141B	3'-6" x 7'-0"	A	H.M.	PT.	1-HR	20	2	H.M.	PT.	-	-	-	-
143	3'-0" x 7'-0"	A	H.M.	PT.	-	11	1	H.M.	PT.	-	-	-	-
145	(2) 3'-6" x 7'-0"	A	H.M.	PT.	-	14	11	H.M.	PT.	-	-	-	-
147	3'-0" x 7'-0"	A	H.M.	PT.	-	13	1	H.M.	PT.	-	-	-	-
148	3'-0" x 7'-0"	A	H.M.	PT.	-	13	1	H.M.	PT.	-	-	-	-
149	EXISTING	EXIST.	EXIST.	PT.	-	EXIST.	EXIST.	EXIST.	PT.	-	-	-	-
151	3'-0" x 7'-0"	A	H.M.	PT.	-	12	1	H.M.	PT.	-	-	-	-
153	3'-0" x 7'-0"	A	H.M.	PT.	-	12	1	H.M.	PT.	-	-	-	-
155A	3'-6" x 7'-0"	E	H.M.	PT.	-	13	2	H.M.	PT.	-	-	-	-
155B	3'-6" x 7'-0"	E	H.M.	PT.	-	16	2	H.M.	PT.	-	-	-	-
156	3'-0" x 7'-0"	E	H.M.	PT.	-	4	1	H.M.	PT.	-	-	-	-
157	3'-6" x 7'-0"	E	H.M.	PT.	-	13	2	H.M.	PT.	-	-	-	-
158	3'-6" x 7'-0"	E	H.M.	PT.	-	13	2	H.M.	PT.	-	-	-	-
159	3'-6" x 7'-0"	E	H.M.	PT.	-	13	2	H.M.	PT.	-	-	-	-
160A	3'-0" x 7'-0"	E	H.M.	PT.	-	13	1	H.M.	PT.	-	-	-	-
160B	3'-6" x 7'-0"	E	H.M.	PT.	-	13	2	H.M.	PT.	-	-	-	-
162A	3'-0" x 7'-0"	E	H.M.	PT.	-	13	1	H.M.	PT.	-	-	-	-
162B	10'-0" x 10'-0"	F	STEEL	PREFIN.	-	6	-	-	-	-	-	-	-
1001	3'-0" x 7'-0"	A											

GENERAL NOTES

1. INFORMATION FOR THIS PLAN HAS BEEN DERIVED FROM AN ALTA LAND TITLE SURVEY DEVELOPED BY EGAN, FIELD & NOWAK, INC. FOR PAUL A. SCHMITT MUSIC COMPANY, DATED 08/20/2021.
2. PROTECT ADJACENT PROPERTIES DURING CONSTRUCTION. ANY DAMAGE TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTATION OF EXISTING GRADE ELEVATIONS PRIOR TO CONSTRUCTION AT NEW CONSTRUCTION AREAS. ANY GRADES THAT PREVENT ADEQUATE DRAINAGE AWAY FROM BUILDING AND ADJACENT PROPERTIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS.
4. SLOPE ALL NEW SURFACES AWAY FROM BUILDING AT LEAST 1/4" PER FOOT FOR SLABS AND 5/8" PER FOOT FOR PLANTING AREAS.
5. MAXIMUM SLOPE OF SIDEWALKS AND PARKING AREAS NOT TO EXCEED 1:20 FOR HANDICAP STALL AND DROP OFF ACCESS TO BUILDING PER A.D.A. COMPLIANCE.
6. PATCH AND REPAIR ALL EXISTING SIDEWALK AS REQUIRED WHERE DAMAGED BY CONSTRUCTION.
7. ALL NEW CONCRETE SIDEWALKS, PATIOS, ETC. SHALL BE 4" THICK CONCRETE. SEE 7/A100.

SITE DATA

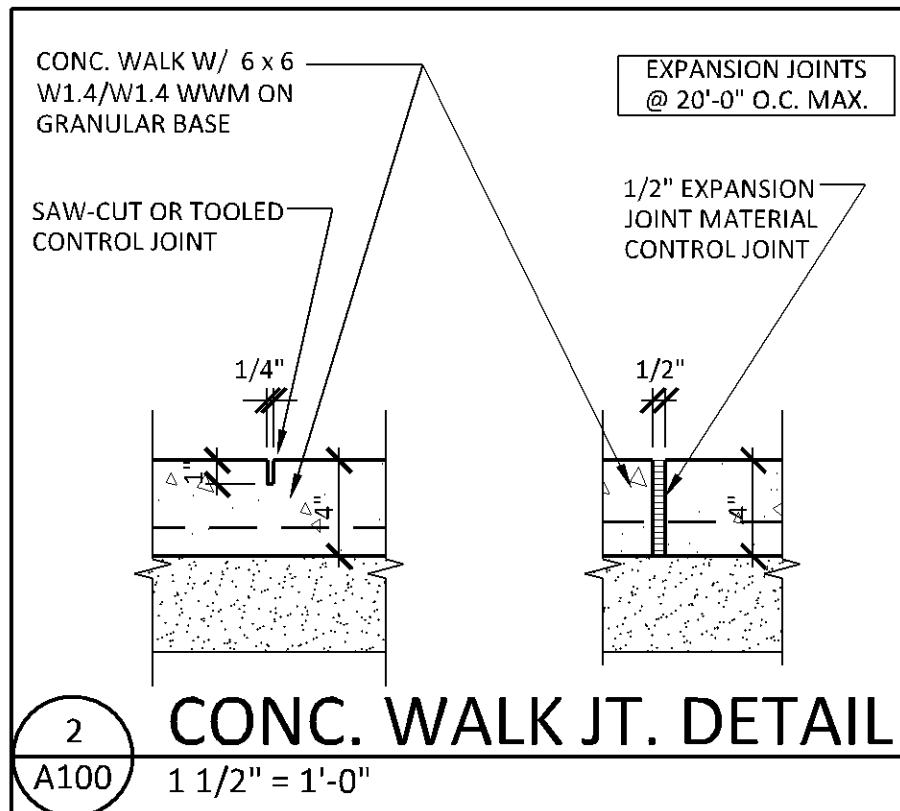
APPLICABLE ZONING CODE: CITY OF BLOOMINGTON CITY CODE, CHAPTER 19 - ZONING CODE
CHAPTER 21 - ZONING AND LAND DEVELOPMENT

CURRENT ZONING: CO-1 (COMMERCIAL OFFICE) W/ PD (PLANNED DEVELOPMENT) OVERLAY

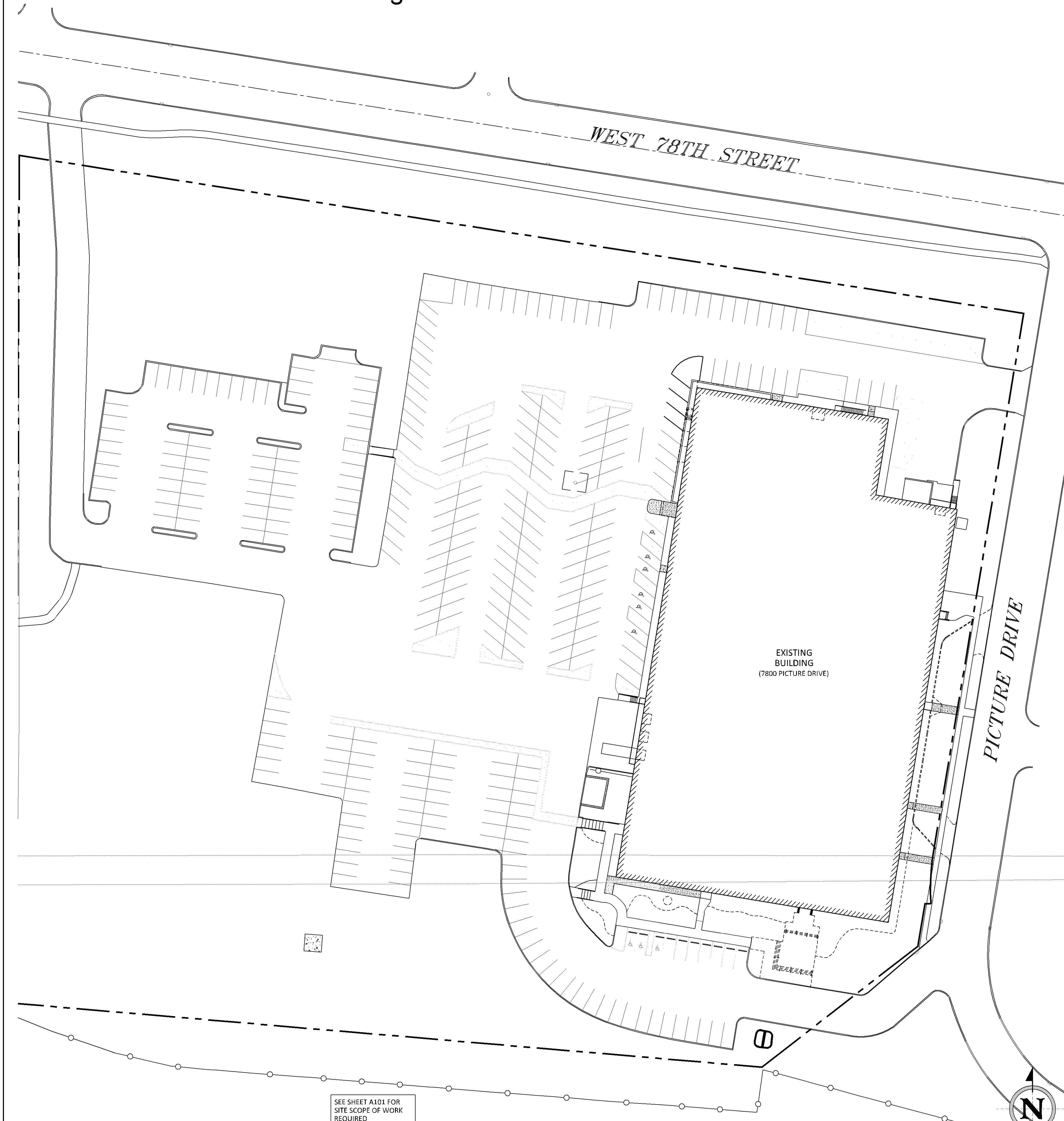
TOTAL SITE AREA: 402,764 S.F. (9.246 ACRES)

PARKING CALCULATIONS PER CHAPTER 21.301.06

OFFICE AREA: 11,878 S.F.	1/285 S.F. = 42 STALLS
WAREHOUSE AREA: 54,247 S.F.	1/1000 S.F. = 55 STALLS
MANUFACTURING/ REPAIR SHOP AREA: 4,986 S.F.	1/500 S.F. = 10 STALLS
RETAIL (LARGE ITEM): 19,558 S.F.	1/220 S.F. = 89 STALLS
TOTAL PARKING:	196 STALLS REQUIRED 336 STALLS EXISTING
ACCESSIBLE STALLS:	8 STALLS REQ'D. / 9 STALLS EXISTING



Bloomington Case PL202200033



1 OVERALL SITE PLAN
A100 1" = 40'-0"

finn daniels
ARCHITECTS

2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name

Rebecca Olson
Signature

49243 02.08.2022
License Number Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

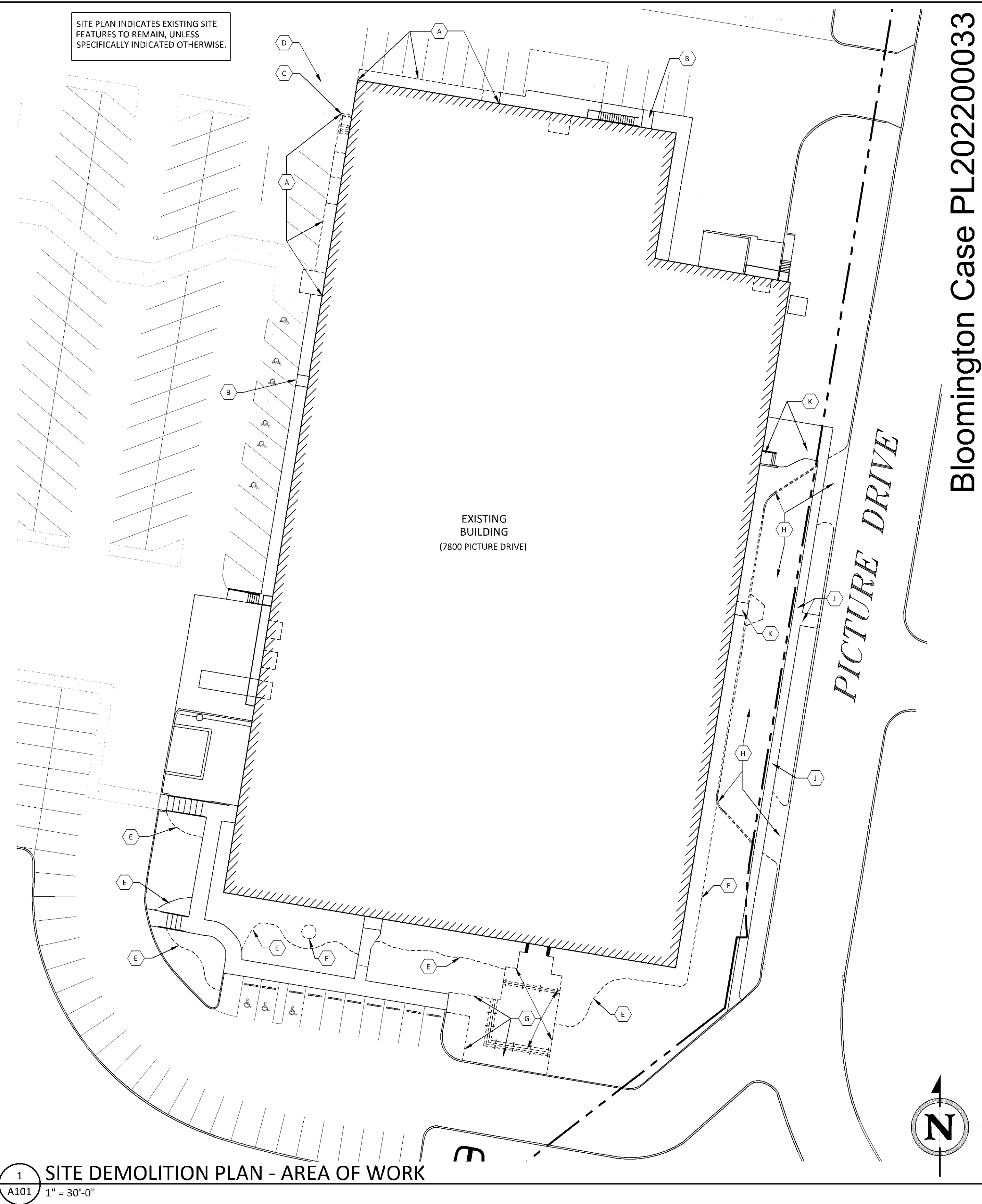
PERMIT ISSUE 02.08.2022

SHEET TITLE:

OVERALL
SITE PLAN

A100

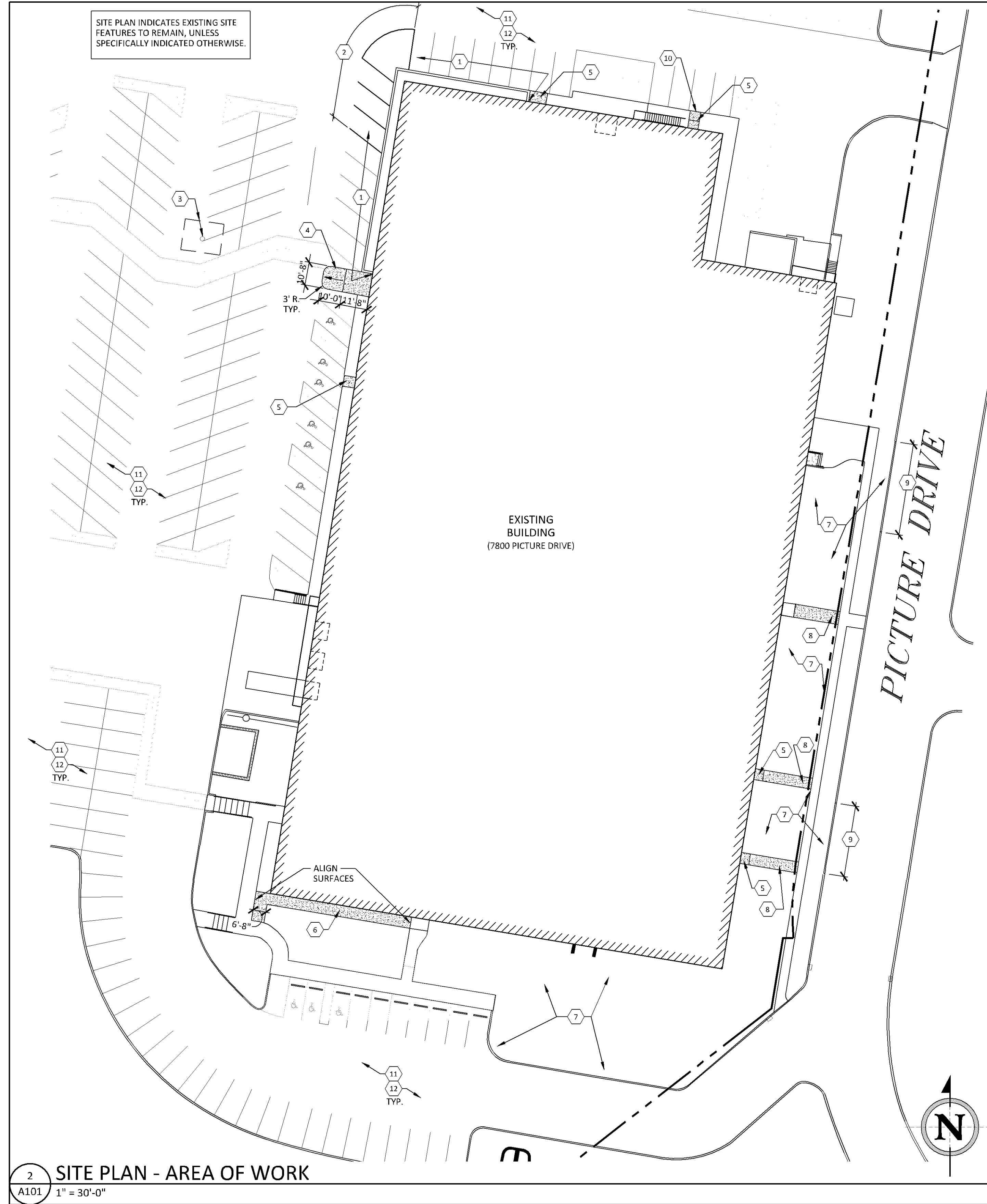
SITE PLAN INDICATES EXISTING SITE FEATURES TO REMAIN, UNLESS SPECIFICALLY INDICATED OTHERWISE.



1 SITE DEMOLITION PLAN - AREA OF WORK
A101 1" = 30'-0"

Bloomington Case PL202200033

SITE PLAN INDICATES EXISTING SITE FEATURES TO REMAIN, UNLESS SPECIFICALLY INDICATED OTHERWISE.



2 SITE PLAN - AREA OF WORK
A101 1" = 30'-0"

SITE DEMOLITION KEY NOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> A REMOVE EXISTING CONCRETE CURB/SIDEWALK AT EXTENTS INDICATED (SHOWN DASHED). B REMOVE SECTION OF EXISTING CONC. CURB/SIDEWALK FOR NEW CONCRETE STOOP/SIDEWALK. SEE FLOOR PLAN FOR EXACT LOCATION. C REMOVE EXISTING EXTERIOR STAIR AND CONCRETE PAD/SIDEWALK (SHOWN DASHED). D REMOVE EXISTING PARKING STRIPING AT OLD LOADING DOCK AREA. E REMOVE EXISTING LANDSCAPE EDGING AND PLANTING BED MATERIALS. SEE LANDSCAPE PLAN FOR NEW LANDSCAPING REQUIRED. DO NOT REMOVE ANY TREE IN PLANTING BEDS, UNLESS SPECIFICALLY INDICATED. F REMOVE TREE (SHOWN DASHED) WITHIN EXISTING PLANTING BED AREA/ G REMOVE EXISTING CONCRETE STAIRS, HANDRAILS, SIDEWALKS, ETC. IN THEIR ENTIRETY THIS AREA (ALL SHOWN DASHED). H REMOVE EXISTING CURB CUTS AT STREET AND DRIVE LANE ALONG THE BUILDING, INCLUDING BUT NOT LIMITED TO ALL CURBS/GUTTERS, PAVING AND PAVING SUBBASE MATERIAL. EXISTING SIDEWALK PARALLEL TO STREET TO REMAIN. | <ul style="list-style-type: none"> I EXISTING SIDEWALK TO REMAIN. REPAIR ANY DAMAGED AREAS DUE TO CURB CUT AND DRIVE LANE REMOVAL. K EXISTING CONCRETE SIDEWALK/STOOP AT EGRESS DOOR TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION. |
|--|---|

SITE PLAN KEY NOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> 1 NEW MODULAR BLOCK RETAINING WALL SYSTEM AT EXTENTS INDICATED. TOP OF WALL CAP SHALL BE 4" ABOVE THE INTERIOR FLOOR SLAB ELEVATION. BOTTOM OF WALL SHALL BE 12" TO 16" BELOW THE EXISTING PARKING LOT GRADE ADJACENT TO THE WALL. RETAINING WALL SYSTEM TO BE: ANCHOR DIAMOND PRO STRAIGHT FACE RETAINING WALL SYSTEM, WITH ASSOCIATED CAP AND CORNER UNITS. RETAINING WALL COLOR TO BE DARK GRAY/ CHARCOAL. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION. 2 NEW PARKING STALL STRIPING TO MATCH EXISTING. 3 REPAIR DAMAGED STORM SEWER STRUCTURE AND ADJACENT BITUMINOUS SURFACE AS REQUIRED. 4 NEW CONCRETE STOOP AND SIDEWALK W/ SLOPED SURFACE AT NEW OFFICE AREA ENTRANCE. SEE FLOOR PLAN AND STRUCTURAL PLANS. 5 NEW CONCRETE STOOP AT NEW EGRESS DOOR, SEE FLOOR PLAN AND STRUCTURAL PLANS. 6 NEW CONCRETE SIDEWALK ALONG BUILDING FOR ACCESSIBLE ROUTE TO ENTRY. MATCH ELEVATION WHERE TYING INTO EXISTING SIDEWALK OR DOOR STOOP. PROVIDE A CONSISTENT GRADE (1:20 MAX) BETWEEN THE EXISTING SIDEWALK AND THE EXISTING ENTRY STOOP. SEE DETAIL 2/A100. | <ul style="list-style-type: none"> 7 REGRADE AT AREA OF REMOVED STAIR / SIDEWALK / DRIVE LANE / CURB CUT AS REQUIRED TO ENSURE SITE PROPERLY DRAINS AND NO EVIDENCE OF REMOVED FEATURES EXISTS. IMPORT DIRT / SOIL AS REQUIRED TO MATCH ADJACENT GRADES. SEE LANDSCAPE PLAN FOR ADDITIONAL WORK REQUIRED. 8 EXTEND NEW CONCRETE SIDEWALK (MATCHING WIDTH OF STOOP) TO THE EXISTING SIDEWALK PARALLEL TO THE STREET, SEE DETAIL 2/A200. 9 NEW CONCRETE CURB AND GUTTER AT AREA OF REMOVED CURB CUT. VERIFY AND COORDINATE ANY REQUIREMENTS WITH THE CITY OF BLOOMINGTON. PATCH AN REPAIR ADJACENT STREET AS REQUIRED. 10 EXTEND NEW CONCRETE SIDEWALK FROM STOOP TO PARKING SURFACE AND PROVIDE CURB HEIGHT TO MATCH EXISTING ADJACENT CONDITIONS. 11 RESEAL AND RESTRIPE EXISTING PARKING LOT. 12 REPAIR/REPLACE ALL PARKING LOT AND PEDESTRIAN LIGHTING TO A FULLY FUNCTIONAL CONDITION. PROVIDE AN ALTERNATE PRICE TO THE OWNER TO REPLACE ALL WITH LED FIXTURES. |
|--|---|

finn daniels
ARCHITECTS
2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name
Rebecca Olson
49243 License Number 02.08.2022 Date

PROJECT:

Schmitt Music
7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLQ

ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:
SITE PLAN
AREA OF WORK

A101

LANDSCAPE SCHEDULE

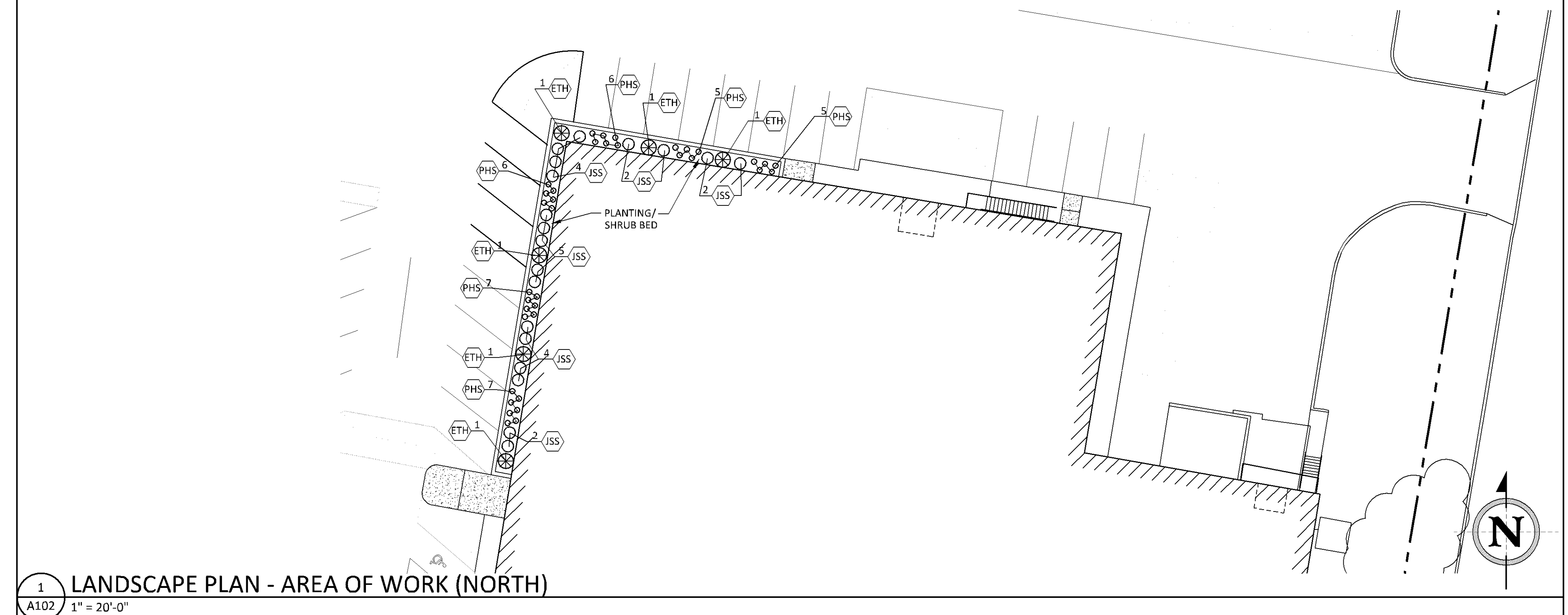
SYMBOL	ABBR.	SIZE	QTY.	SCIENTIFIC NAME	COMMON NAME	NOTES:
DECIDUOUS SHRUBS						
○	JSS	#2 / 18" H.	37	SPIRAEA JAPONICA	JAPANESE SPIREA	
⊗	SHQ	#2 / 18" H.	2	HYDRANGEA PANICULATA 'BULK'	QUICKFIRE HYDRANGEA	
CONIFEROUS SHRUBS						
⊗	ETH	#10 CONT.	26	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	
⊗	ADJ	#2 / 18" H.	15	JUNIPER 'ANDORA COMPACT'	ANDORA JUNIPER	
PERENNIALS						
○	RRD	#2 CONT.	39	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	
○	KFG	#2 CONT.	31	CALAMAGOSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	
○	PHS	#2 CONT.	62	HOSTA 'SUM AND SUBSTANCE'	SUM AND SUBSTANCE HOSTA	

INDICATES APPROXIMATE AREA OF NEW SODDED AREAS ON PLAN, COORDINATE WITH ACTUAL CONSTRUCTION AREA.

INDICATES EXISTING TREE TO REMAIN, PROTECT FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION EFFORTS

INDICATES EXISTING SHRUB/PLANTING BED AREA TO REMAIN, CLEAN ALL DEBRIS, DEAD PLANTS, BRUSH, ETC. PLANT NEW SHRUBS AS NEEDED, AND INSTALL NEW ROCK MULCH.

Bloomington Case PL202200033



finn daniels
ARCHITECTS
2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name

Rebecca Olson
Signature

49243 02.08.2022
License Number Date

PROJECT:

Schmitt Music
7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLD

ISSUES AND REVISIONS:

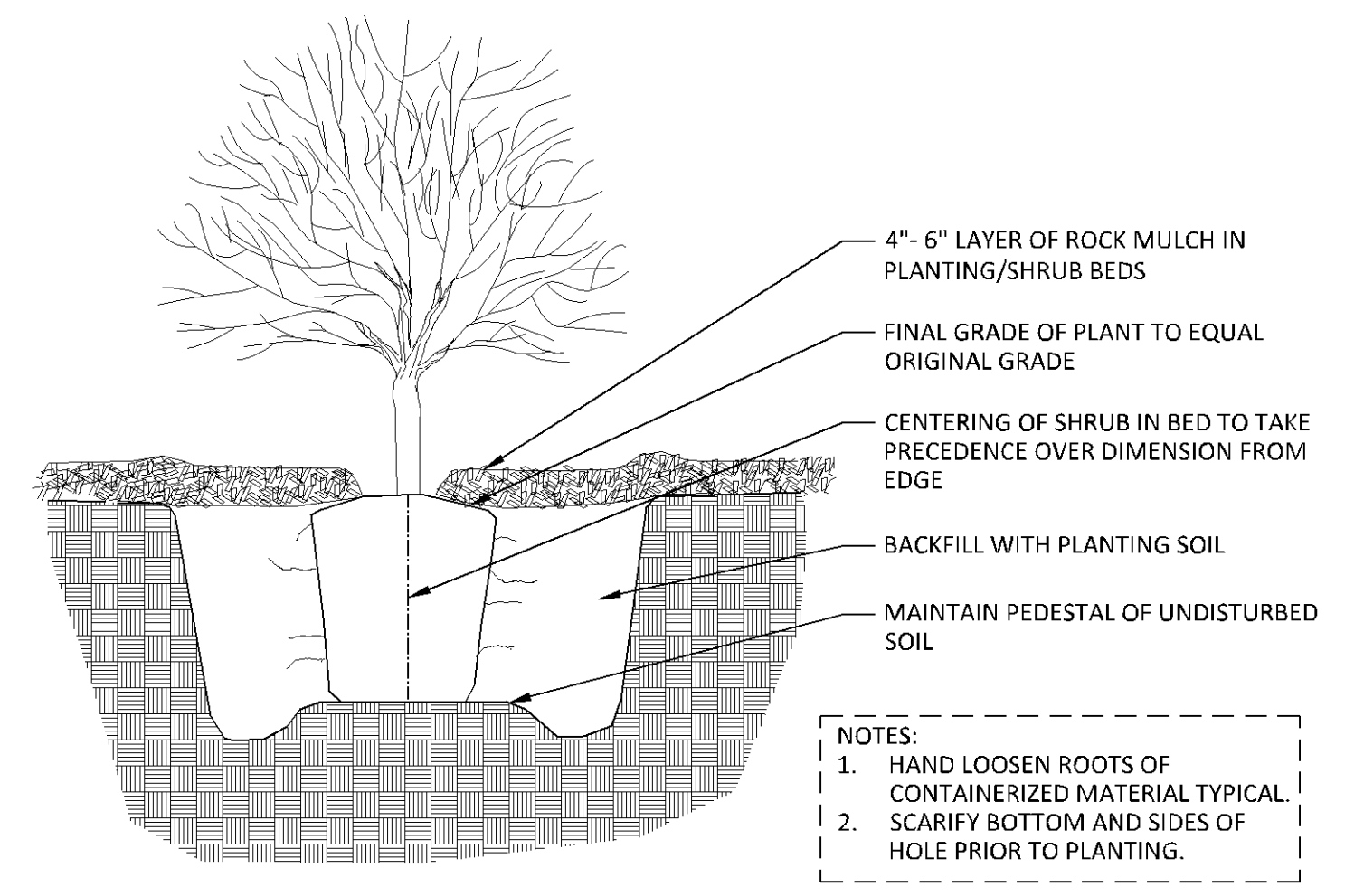
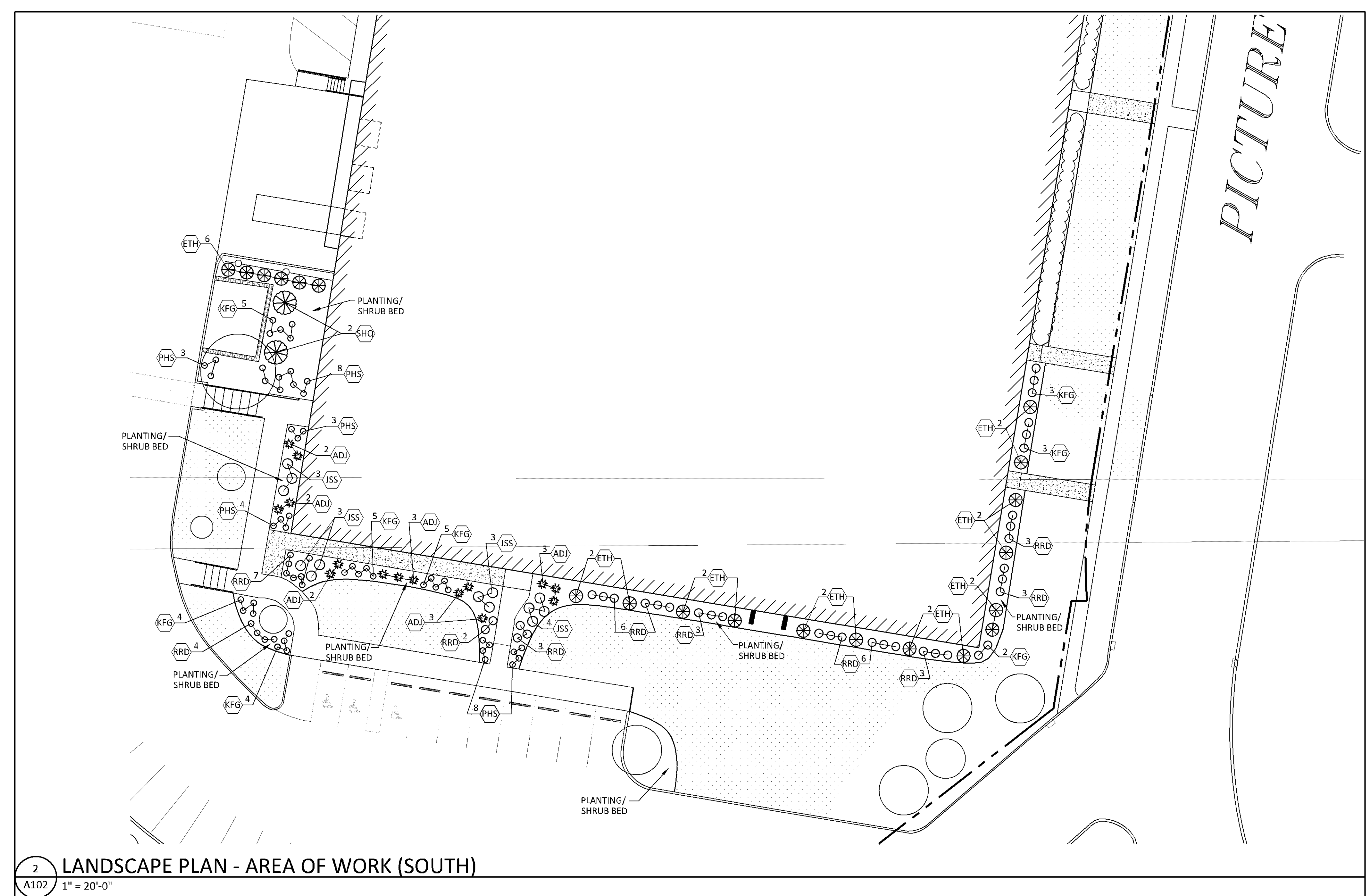
PERMIT ISSUE 02.08.2022

SHEET TITLE:
**LANDSCAPE PLAN
AREA OF WORK**

A102

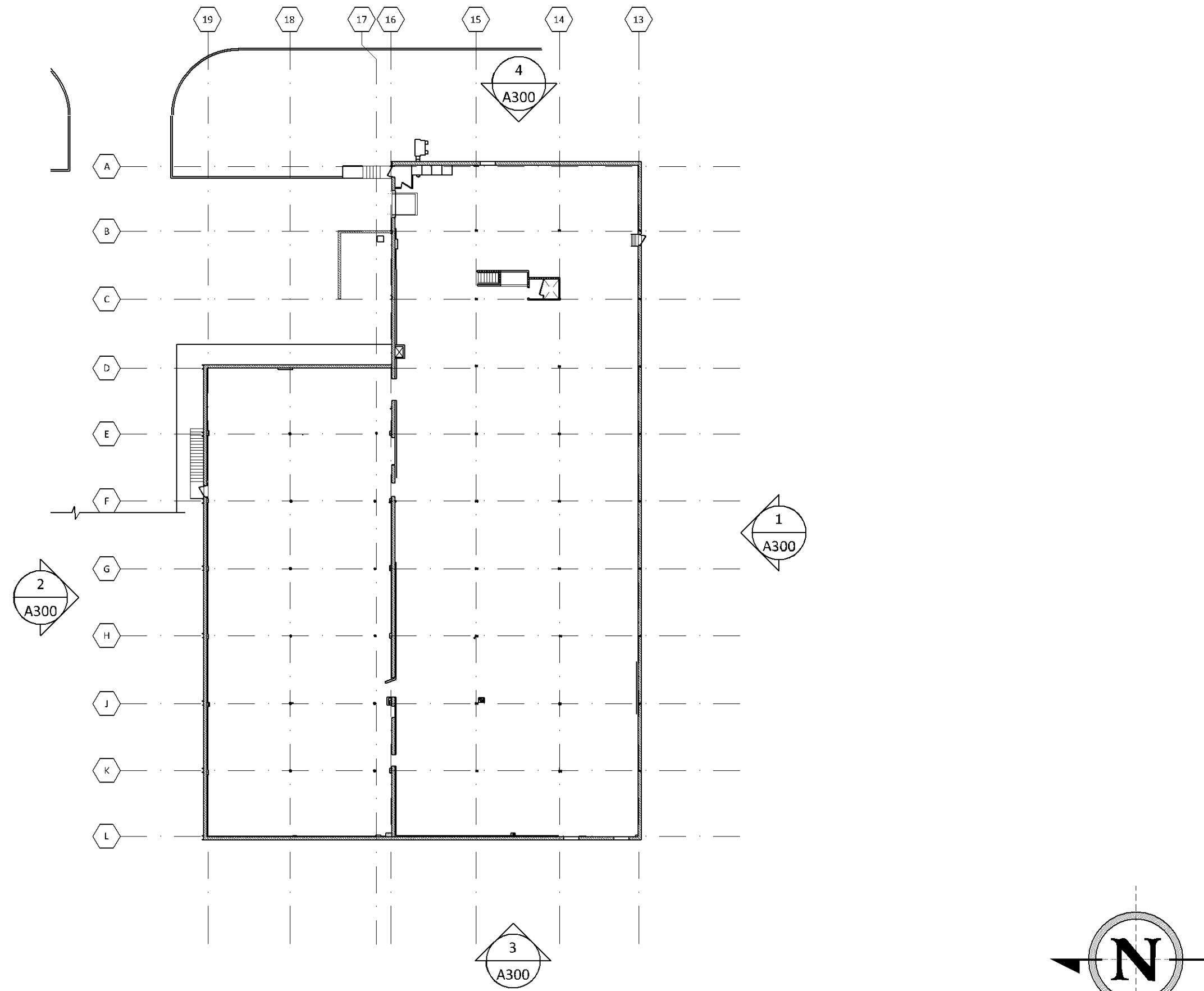
GENERAL LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH THE SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DIGGING.
2. ALL PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. IF THERE IS ANY DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE LIST AND THE NUMBER SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
3. THE GROUND COVER IS EXISTING TURF AND/OR NEW SOD EXCEPT IN PLANTING BEDS.
4. ALL PLANTING AREAS SHALL BE EDGED WITH 6" BLACK VINYL EDGING AND HAVE 4"-6" DEEP MULCH PLACED OVER A WEED BARRIER FABRIC. PLANTING AREAS ADJACENT TO THE BUILDING AND WITHIN PARKING LOT ISLANDS SHALL HAVE ROCK MULCH. ROCK MULCH SIZE AND TYPE SHALL BE 3/4" TO 1 1/2" TAN Limestone Rock Mulch.
5. ALL RETAINING WALLS TO BE DESIGNED BY OTHERS.
6. ALL AREAS WITHIN THE SITE/LANDSCAPE PLAN WORK AREA THAT ARE NOT SHRUB/PLANTING BEDS, EXISTING TURF OR HARD SURFACED, EXCEPT AS NOTED, SHALL BE SODDED. ALL AREAS OUTSIDE THE PROPERTY LINES DISTURBED BY GRADING OR OTHER WORK SHALL BE RETURNED TO EXISTING CONDITION OR BETTER, OR AS NOTED.
7. SHOULD A PLANT BE UNAVAILABLE AT THE TIME OF INSTALLATION, ALL SUBSTITUTIONS ARE SUBJECT TO THE APPROVAL OF THE OWNER.
8. ANY EXISTING VEGETATION TO BE REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A MANNER THAT IS APPLICABLE WITH CITY AND STATE REQUIREMENTS.
9. EXISTING PLANTING BEDS SHALL HAVE ALL VEGETATION, BRUSH AND DEBRIS CLEARED UNLESS NOTED OTHERWISE ON THESE PLANS.
10. PROTECT ALL EXISTING TREES AND SHRUBS TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
11. CONTRACTOR TO VERIFY MECHANICAL ROOM LOCATION AS SOURCE OF ELECTRIC AND WATER SUPPLY. CONTRACTOR SHALL COORDINATE ROUTING OF SUBWATER AND IRRIGATION CONTROL WIRING FROM MECH. ROOM TO FRONT OF BUILDING.
12. AN EXISTING IRRIGATION SYSTEM IS IN PLACE, THE IRRIGATION SYSTEM SHALL BE MODIFIED AS REQUIRED TO COVER ALL NEW LANDSCAPE AND SOD AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED BY THE CONTRACTOR CHOSEN TO DO THE WORK.
13. FINAL ACCEPTANCE SHALL BE CONTINGENT UPON THE COMPLETION OF THE PROJECT. A DEMONSTRATION OF THE SYSTEM SHALL BE PROVIDED TO THE OWNER. ANY ADJUSTMENT TO HEADS SHALL BE MADE PRIOR TO THE DEMONSTRATION.
14. OPERATING AND MAINTENANCE MANUALS SHALL BE SUBMITTED AND THE OWNERS PERSONNEL SHALL BE INSTRUCTED IN THE USE AND MAINTENANCE OF THE SPRINKLER SYSTEM.
15. EXISTING ROCK RIP RAP AREAS FOR ROOF DOWNSPOUT DRAINS SHALL BE RE-INSTALLED TO MATCH THEIR CURRENT CONFIGURATION, BUT WITH NEW RIP RAP ROCK TO MATCH THE NEW ROCK MULCH, UNLESS NOTED OTHERWISE.
16. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER TOTAL PROJECT ACCEPTANCE.



3
A102 N.T.S.

THE UPPER LEVEL WILL BE A VACANT FUTURE TENANT SPACE, NO WORK REQUIRED THIS LEVEL EXCEPT DEMOLITION AS INDICATED IN THESE DOCUMENTS. DESIGN/BUILD ELECTRICAL, PLUMBING, AND MECHANICAL CONTRACTORS TO COORDINATE ANY WORK REQUIRED THIS LEVEL WITH CONTRACTOR AND OWNER.

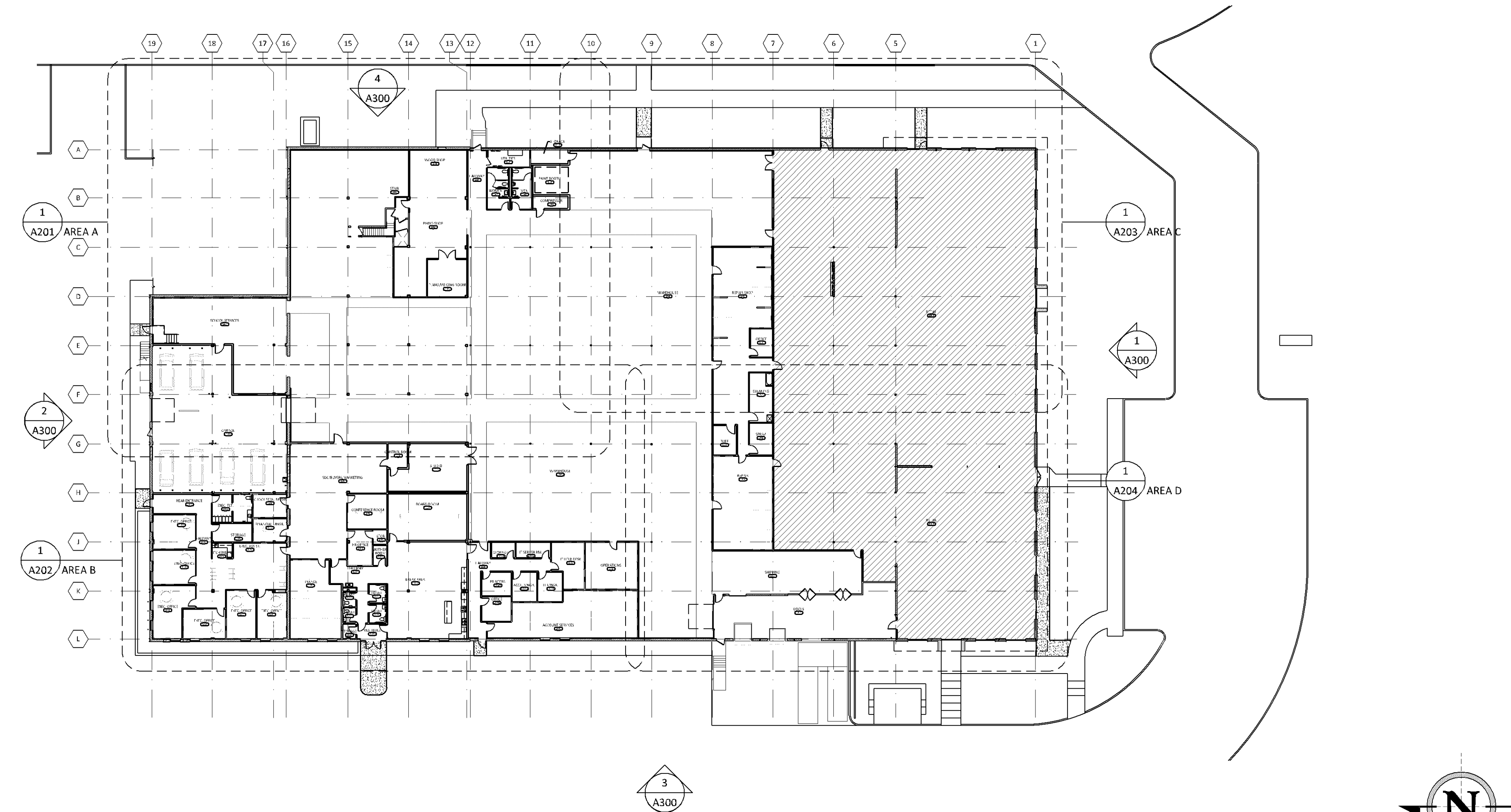
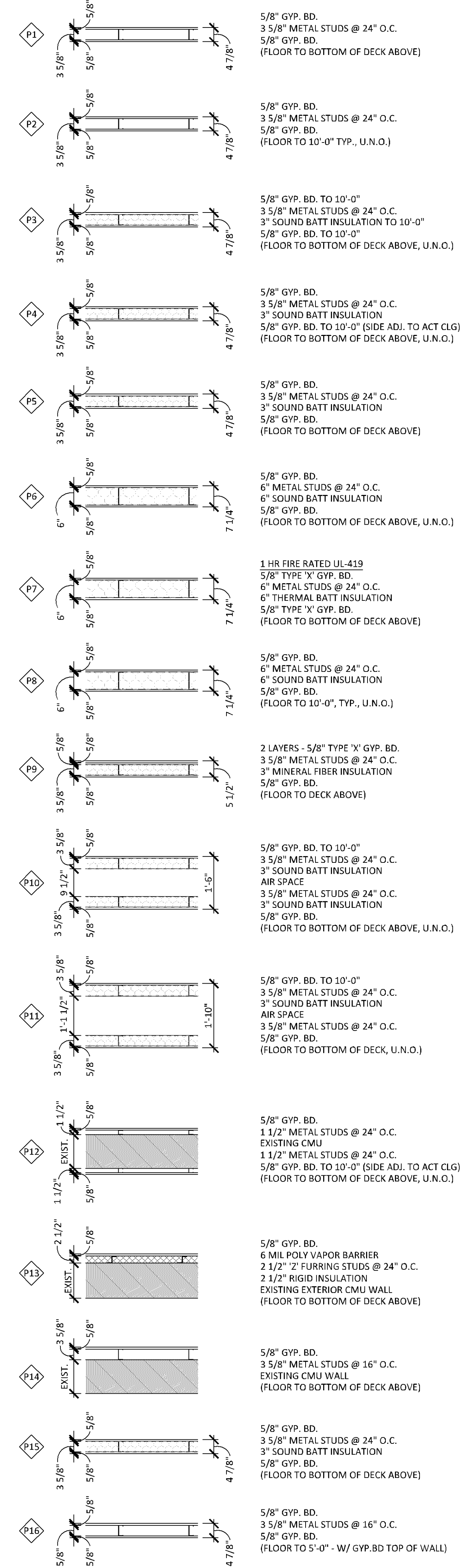


1
A200 OVERALL FLOOR PLAN (UPPER LEVEL)
1/32"=1'-0"

GENERAL WALL PARTITION TYPE NOTES

- USE WATER RESISTANT GYP. BD. (SAME THICKNESS AS SCHEDULED) ADJACENT TO PLUMBING FIXTURES.
- INSTALL CEMENT BOARD (MATCH ADJACENT GYP. BD. THICKNESS) IN LIEU OF SCHEDULED GYP. BD. ON STUDS AT ALL WET AREAS (SHOWERS, ETC.).
- HOLD GYP. BD. OFF THE FLOOR SLAB 1/2" MAX. TYPICAL.
- PROVIDE AND INSTALL ADDITIONAL PARTITION WALL STUD FRAMING AS REQUIRED TO INSTALL ELECTRICAL OUTLETS AND SWITCHES AT THE LOCATIONS INDICATED IN THESE DOCUMENTS. GENERAL CONTRACTOR SHALL COORDINATE REQ'D. LOCATIONS WITH FRAMING CONTRACTOR AND ELECTRICAL CONTRACTOR.
- FOR WALLS TO RECEIVE TILE FINISH, THE MAXIMUM ALLOWABLE VARIATION IN THE TILE SUBSTRATE SHALL BE 1/8" IN 10' FROM THE REQUIRED PLANE, WITH NO MORE THAN 1/16" VARIATION IN 24" WHEN MEASURED FROM THE HIGH POINTS IN THE SURFACE.
- ALL RATED WALLS MUST MEET REQUIREMENT OF THE INDICATED TEST NUMBER.
- PROVIDE MAX. 16" O.C. STUD SPACING BEHIND ALL CERAMIC TILE OR STONE VENEER WALLS.
- PROVIDE U.L. APPROVED FIRE RESISTANT GWB WHERE REQUIRED BY RATING.
- SEAL ALL SOUND PARTITIONS WITH ACOUSTICAL SEALANT AT BASE, HEAD, AND ALL PENETRATIONS. APPLY ACOUSTICAL SEALANT ALONG CENTERLINE OF STUD TRACKS TO ENTIRE PERIMETER ALL DEMISING AND CORRIDOR WALLS.
- PROVIDE FIRE RATED SEALANT TO BOTH SIDES OF ENTIRE PERIMETER OF FIRE RATED WALLS AND AROUND ALL PENETRATIONS TO MEET APPLICABLE U.L. LISTING REQUIREMENT OF WALL BEING PENETRATED.
- CONTRACTOR TO STAGGER ALL ELECTRICAL COMMUNICATION TELEPHONE AND OTHER SIMILAR OUTLET BOXES AT MIN. OF 12" O.C. IN FIRE RATED AND SOUND RATED WALLS.
- G.C. TO PROVIDE FIRE RATED PUTTY PADS ON ALL ELECTRICAL OUTLET BOXES IN FIRE RATED WALLS.
- PROVIDE IN-WALL BLOCKING FOR CABINETS, TOILET ACCESSORIES, CLOSET SHELVING, MILLWORK, WALLSTOPS, ARTWORK, WALL BUMPERS/GUARDS, DRAPERY LOCATIONS, STONEMARK, GRAB BARS, MODULAR OFFICE WALLS, AND OTHER SIMILAR CONDITIONS.
- ALL THROUGH WALL PENETRATIONS OF FIRE RATED WALLS/PARTITIONS MUST BE SEALED WITH SEALANT APPROVED BY U.L. FOR PENETRATIONS IN APPLICABLE WALL OR AS NOTED BY ARCHITECT. SEE ARCH/MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- THE PARTITION TYPE EXTENDS THE ENTIRE LENGTH OF THE WALL WHERE IT IS SHOWN, ACROSS DOORS, WINDOWS AND MINOR PROJECTIONS OR RECESSES (E.G. AT WATER FOUNTAINS). THE PARTITION TYPE ENDS AT THE INTERSECTION OF ANOTHER SPACE, DEFINED BY AN INSIDE OR OUTSIDE CORNER, INCLUDING INTERVENING CORRIDORS, UNLESS OTHERWISE SPECIFICALLY NOTED ON THE DRAWINGS.
- THE INDICATED PARTITION TYPES INCLUDE ALL SIDES OF MINOR PROJECTIONS OR ALCOVES, SUCH AS RECESSED DOORS, HEADS OVER DOORS AND WINDOWS.
- RETURN GYP. BD. (AND VAPOR BARRIER, IF ANY) TO WINDOW SILL/JAMBS/HEAD AND DOOR JAMBS/HEAD, TYPICAL.

WALL PARTITION TYPES



1
A200 OVERALL FLOOR PLAN (MAIN LEVEL)
1/32"=1'-0"

CONSULTANT:

SEAL/SIGNATURE:

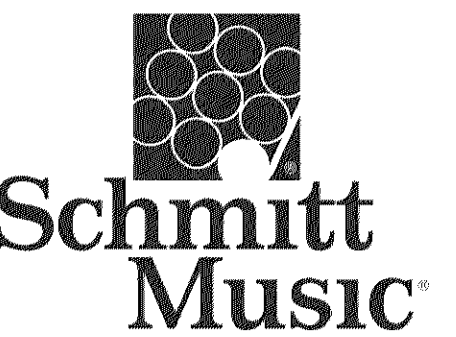
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name

Rebecca Olson

49243 02.08.2022
License Number Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: INH/KMH/SAW

CHECKED BY: SAW/RLO

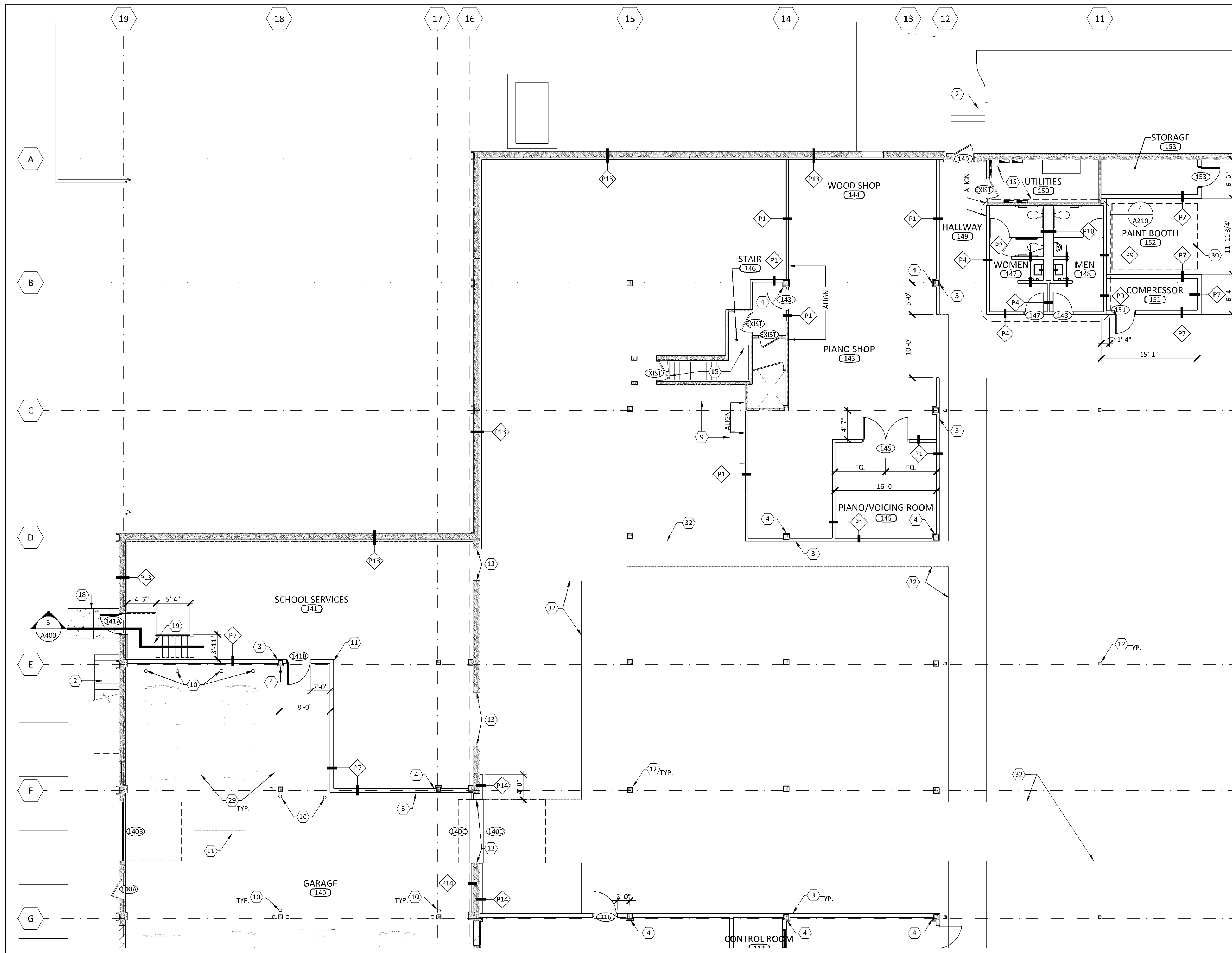
ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:

OVERALL FLOOR PLANS

A200



Bloomington Case PL202200033

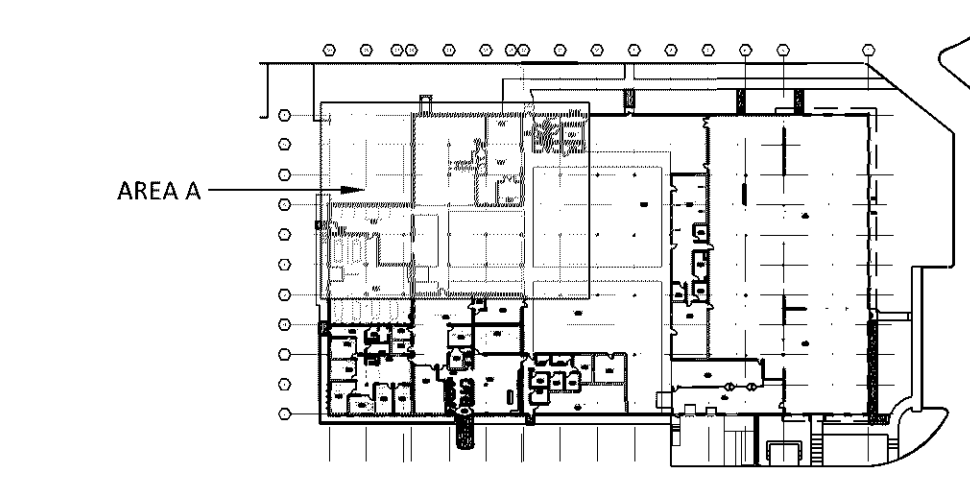
1 FLOOR PLAN (MAIN LEVEL - AREA A)
1/8"=1'-0"

FLOOR PLAN KEY NOTES

- 1 BASE CABINETS W/ COUNTERTOP AND UPPER CABINETS WHERE INDICATED. SEE ELEVATIONS.
- 2 EXISTING EXTERIOR STAIR TO REMAIN.
- 3 LOCATE PARTITION WALL ON COLUMN LINE SUCH THAT THE GYP. BD. RUNS CLEANLY PAST THE COLUMN ON THE SIDE OF WALL INDICATED.
- 4 PROVIDE 5/8" GYP. BD. & METAL STUD FURRING TIGHT AROUND COLUMNS FROM FINISHED FLOOR TO BOTTOM DECK, OR 6" ABOVE ADJ. CEILING (WHERE APPLICABLE).
- 5 NEW WALL MOUNTED SERVICE SINK.
- 6 HI-LO TYPE ACCESSIBLE DRINKING FOUNTAIN. SEE ENLARGED FLOOR PLAN FOR MORE INFORMATION.
- 7 RECEPTION DESK DESIGN BY OTHERS.
- 8 LOCKERS.
- 9 FURNITURE BY OWNER.
- 10 6"Ø x 4'-0"H. CONC. FILLED PIPE BOLLARD.
- 11 8' LONG TRENCH DRAIN PIPED TO FLAMMABLE WASTE. DESIGN/BUILD PLUMBING CONTRACTOR TO COORD.
- 12 EXISTING STRUCTURAL COLUMN TO REMAIN, TYP. PREP EXPOSED COLUMNS FOR NEW FINISHES AS SCHEDULED.
- 13 PROVIDE STEEL JAMB GUARDS AT CMU WALL ENDS (FULL HT. OF OPENING).
- 14 INFILL CMU WALL OPENING WITH NEW CMU TO MATCH EXISTING. MATCH COURSING, PATTERN, STYLE, GROUT JR. ETC.
- 15 NO WORK THIS ROOM.
- 16 NEW HOSE BIB ON WALL.
- 17 LANDSCAPE RETAINING WALL, SEE SITE PLAN. TOP OF WALL SHALL MATCH ELEVATION OR INTERIOR FLOOR SLAB.
- 18 NEW CONCRETE SIDEWALK/SLOOP TO PROVIDE A LEVEL LANDING AT NEW DOOR.
- 19 NEW STEEL STAIR / GUARDRAIL/HANDRAILS. SEE DETAIL.
- 20 INFILL CMU WALL OPENING WITH CMU TO MATCH EXISTING TO EXTENT INDICATED TO ACHIEVE R.O./M.O. FOR THE NEW SCHEDULED DOOR/ WINDOW. MATCH COURSING, PATTERN, STYLE, GROUT JOINTS, ETC.
- 21 LANDSCAPE/ PLANTING AREA, SEE LANDSCAPE PLAN.
- 22 HOLD FRAMING FOR 'PS' WALL TYPE 1" (MIN.) OFF ADJACENT WALL CONSTRUCTION
- 23 NEW CONCRETE SIDEWALK FROM EXISTING/ NEW EGRESS DOOR STOOP TO PUBLIC WAY. SEE SITE PLAN.
- 24 PROVIDE NATURAL GAS AND COMPRESSED AIR TO WORK STATIONS IN REPAIR SHOP #155.
- 25 BATH TUB ON ELEVATED PLATFORM FOR LARGE INSTRUMENT WASHING.
- 26 3'-0" LONG SINGLE COMPARTMENT STAINLESS STEEL SINK ON LEGS.
- 27 PROVIDE EXHAUST TO EXTERIOR FROM THIS ROOM.
- 28 NEW CMU WALL, SEE STRUCTURAL.
- 29 4" WIDE PAINTED PARKING STALL STRIPE ON FLOOR, TYP. COLOR: YELLOW.
- 30 PAINT BOOTH BY OWNER (RELOCATED FROM CURRENT FACILITY).
- 31 NEW CONCRETE SIDEWALK FROM EXISTING ENTRY DOOR STOOP TO EXISTING SIDEWALK. MATCH ELEVATION OF STOOP AND SIDEWALK WITH A SLOPE BETWEEN NOT TO EXCEED 1:20.
- 32 4" WIDE YELLOW TAPE LINE ON FLOOR, COORD. WITH OWNER.

GENERAL FLOOR PLAN NOTES

1. DIMENSIONS TO WALL PARTITIONS ARE TO FINISHED FACE OF GYP. BD., TYP. U.N.O.
2. WALL PARTITIONS AT EXTERIOR GLAZING OPENINGS TO ALIGN FINISHED FACE OF GYP. BD. AT JAMB WITH FINISHED FACE OF WALL PARTITIONS UNLESS DIMENSIONED OTHERWISE.
3. SEE SHEET G003 FOR TYPICAL HDPC, ACCESSIBILITY DETAILS FOR MINIMUM DOOR APPROACH CLEARANCES, ETC. THROUGHOUT REMODELED SPACE. INCORPORATE INTO CONSTRUCTION AS REQUIRED. CONTACT ARCHITECT SHOULD ANY DISCREPANCIES OCCUR PRIOR TO CONSEQUENTIAL CONSTRUCTION.
4. COORDINATE WITH THE OWNER ANY AND ALL REQUIREMENTS TO DUPLICATE EXISTING SYSTEMS UTILIZED THROUGHOUT OTHER AREAS OF BUILDING (I.E. OCCUPANCY SENSORS, HVAC CONTROLS, SECURITY, SOUND MASKING, ETC.). G.C. TO COORDINATE REQUIREMENTS BETWEEN ALL TRADES.
5. ALL MECHANICAL AND ELECTRICAL DESIGN & DOCUMENTATION TO BE BY DESIGN-BUILD CONTRACTOR, TYP.
6. G.C. TO FIELD VERIFY AND COORDINATE MODIFICATIONS/SCOPE OF WORK TO FIRE SPRINKLER AND FIRE ALARM SYSTEMS AND PROVIDE AS REQUIRED.
7. COORDINATE ALL FINISHES, FURNITURE, MILLWORK, AND INTERIOR DETAILS WITH THE OWNER / TENANT PRIOR TO FINALIZING BID AND BEGINNING CONSTRUCTION.
8. COORDINATE ALL POWER AND DATA REQUIREMENTS THROUGHOUT SPACE WITH OWNER / TENANT.
9. COORDINATE ALL POWER AND DATA REQUIREMENTS AT FINISH MILLWORK WITH OWNER / TENANT.
10. PROVIDE BLOCKING/BACKING IN WALLS FOR MILLWORK/CASEWORK ITEMS, PLUMBING FIXTURES, ACCESSORIES, DOOR/WINDOW FRAMES, ETC.



2 KEY PLAN (MAIN LEVEL)
1/128"=1'-0"

CONSULTANT:

SEAL/SIGNATURE:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name

Rebecca Olson
49243 02.08.2022
License Number Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/LJO

ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:

FLOOR PLAN
AREA A

A201

CONSULTANT:

SEAL/SIGNATURE:

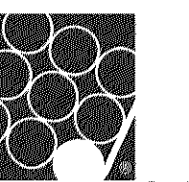
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name

Rebecca Olson

49243 License Number 02.08.2022 Date

PROJECT:



Schmitt Music

7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

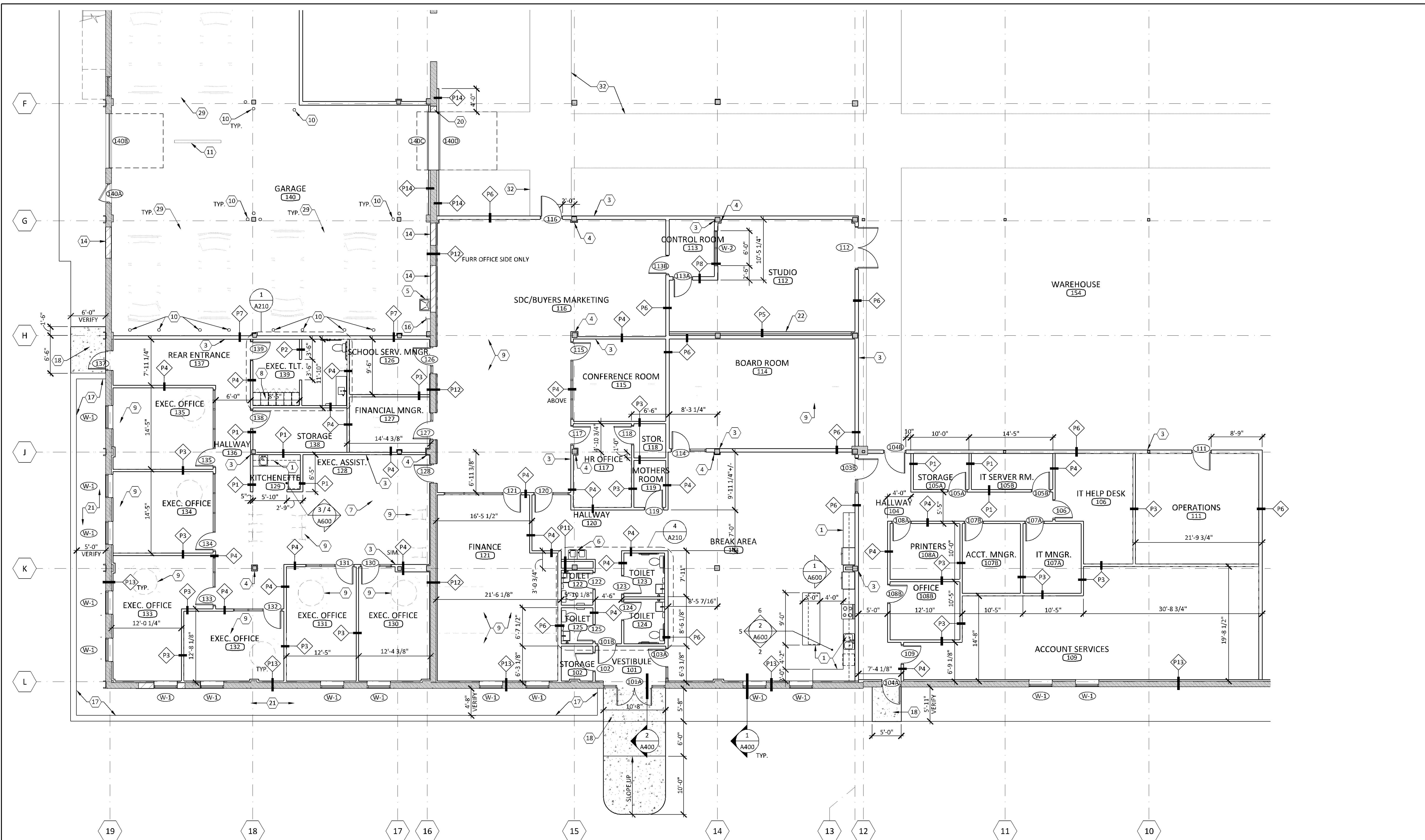
ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:

**FLOOR PLAN
AREA B**

A202

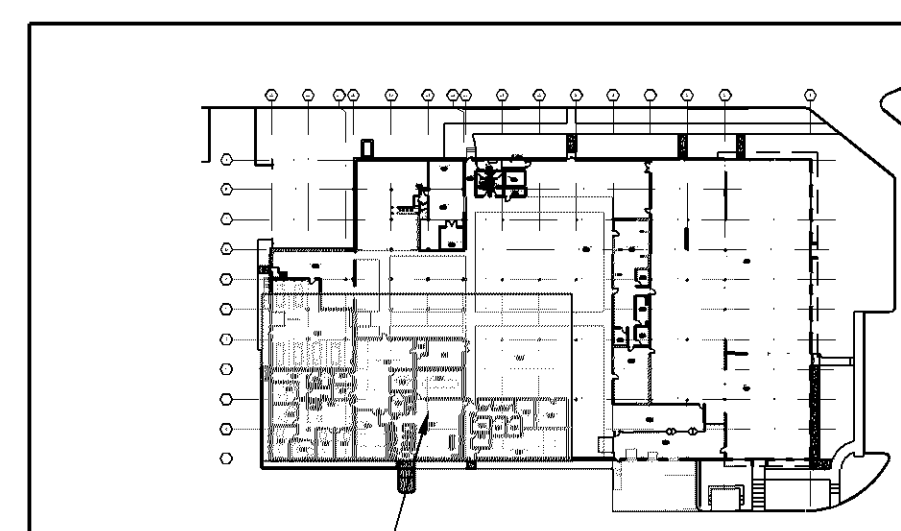


NOTE: EXISTING WALLS SHOWN SHADED ARE EXISTING TO REMAIN, PATCH AND REPAIR AS REQUIRED.

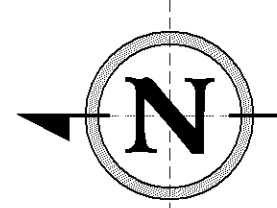
SEE FLOOR PLAN KEY NOTES ON SHEET A201, TYP.

Bloomington Case PL202200033

1 FLOOR PLAN - (MAIN LEVEL - AREA B)
1/8"=1'-0"



2 KEY PLAN (MAIN LEVEL)
1/128"=1'-0"



CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name
Rebecca Olson
49243 License Number 02.08.2022 Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: INH/KMH/SAW

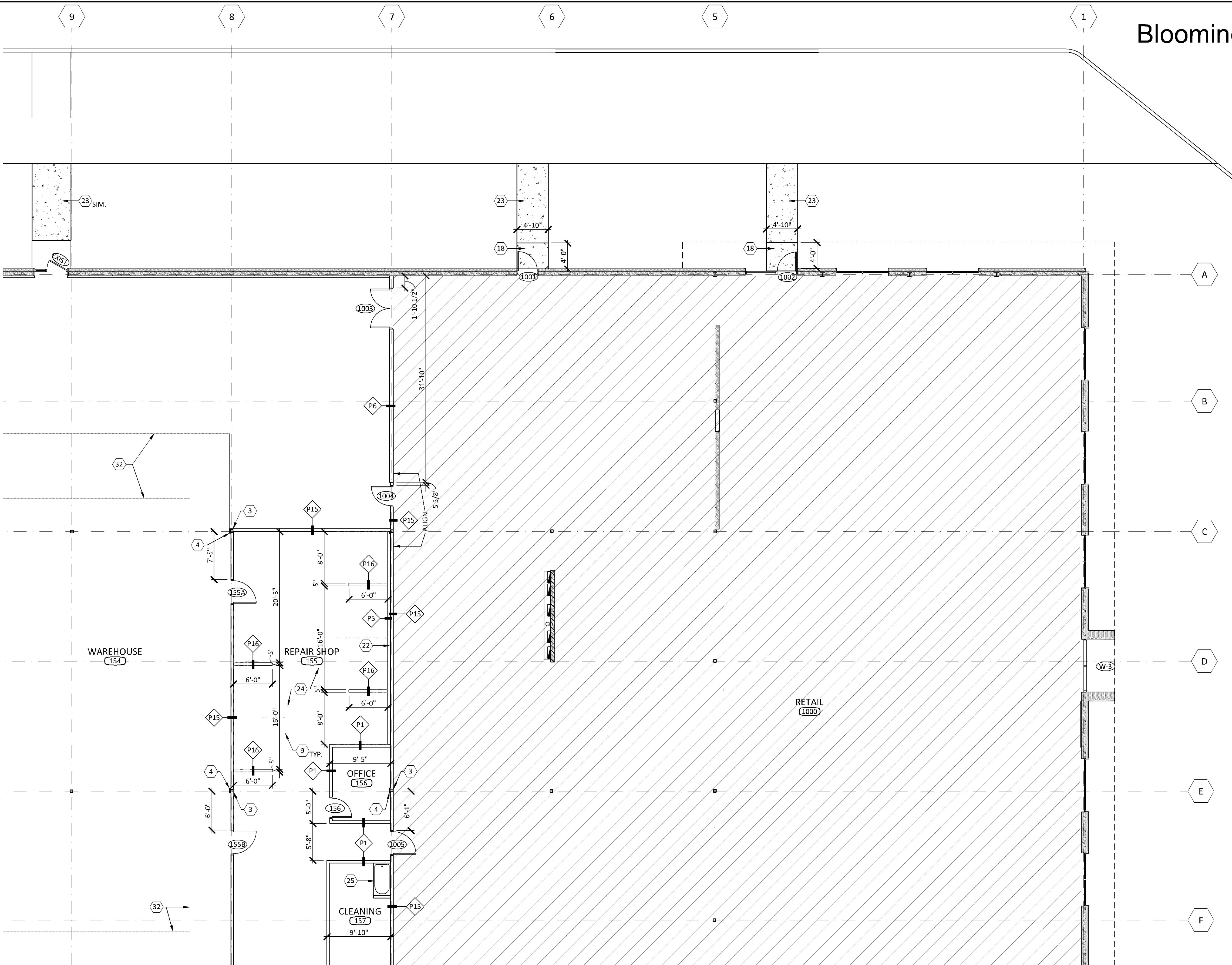
CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

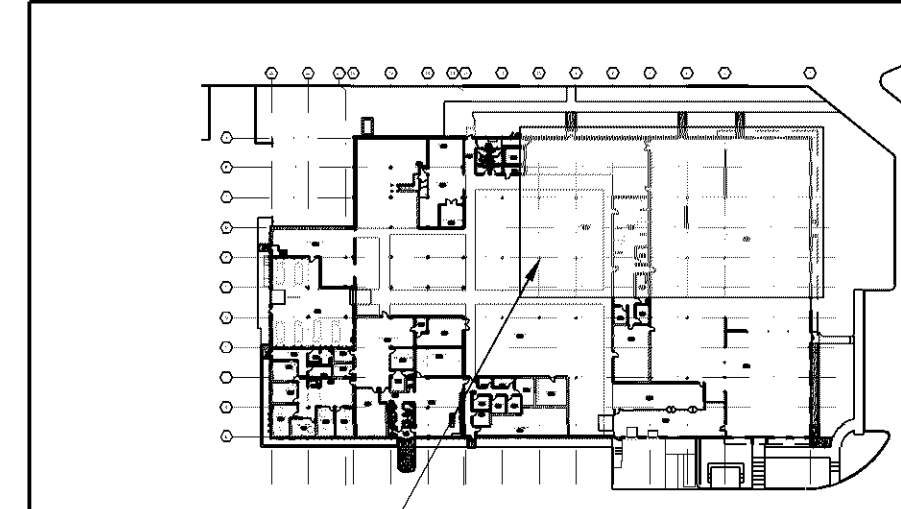
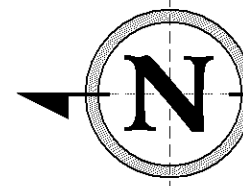
SHEET TITLE:
**FLOOR PLAN
AREA C**

A203



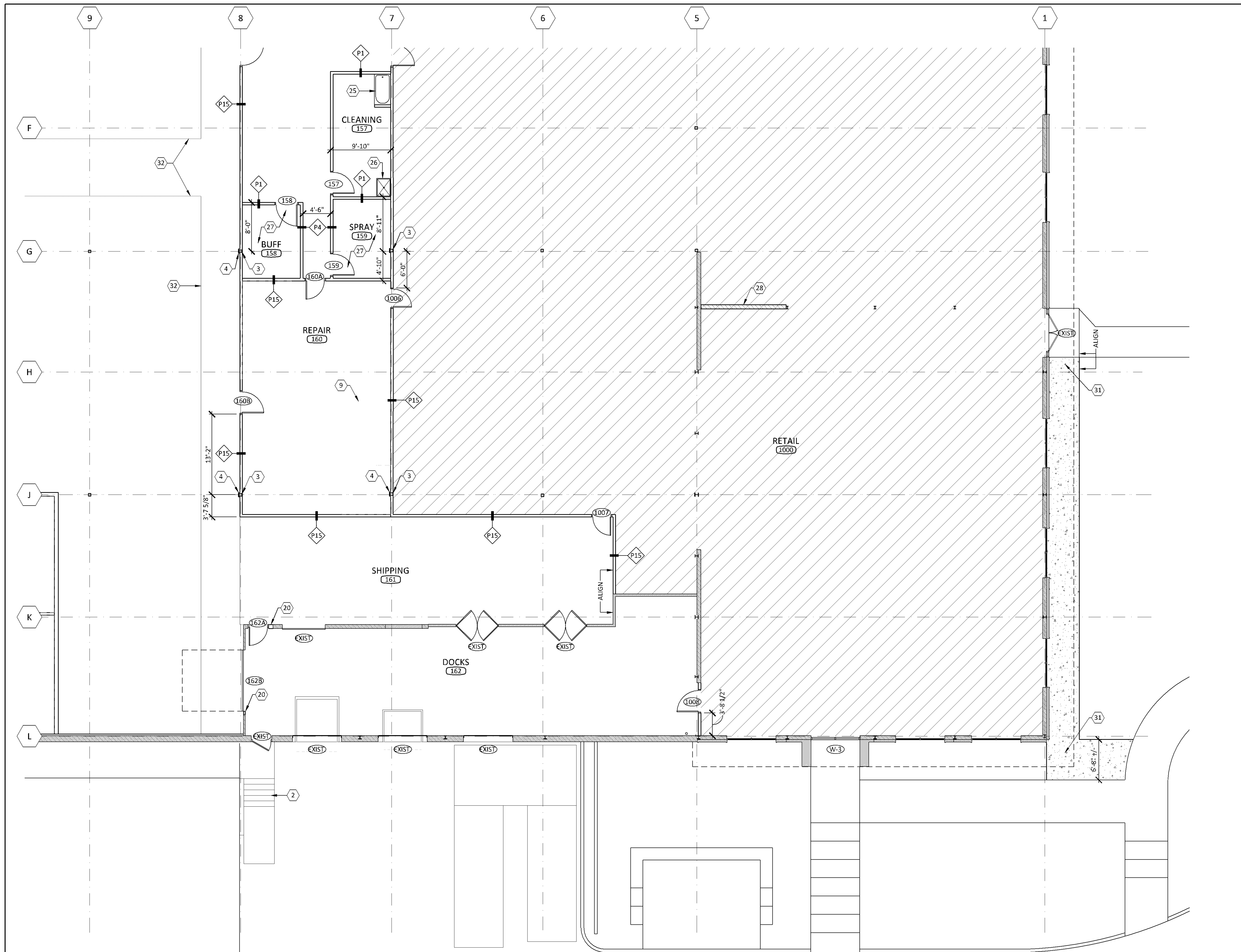
NOTE: EXISTING WALLS SHOWN
SHADED ARE EXISTING TO REMAIN,
PATCH AND REPAIR AS REQUIRED.

SEE FLOOR PLAN KEY NOTES
ON SHEET A201, TYP.



2 KEY PLAN (MAIN LEVEL)
A203 1/128"=1'-0"

1 FLOOR PLAN - (MAIN LEVEL - AREA C)
A203 1/8"=1'-0"

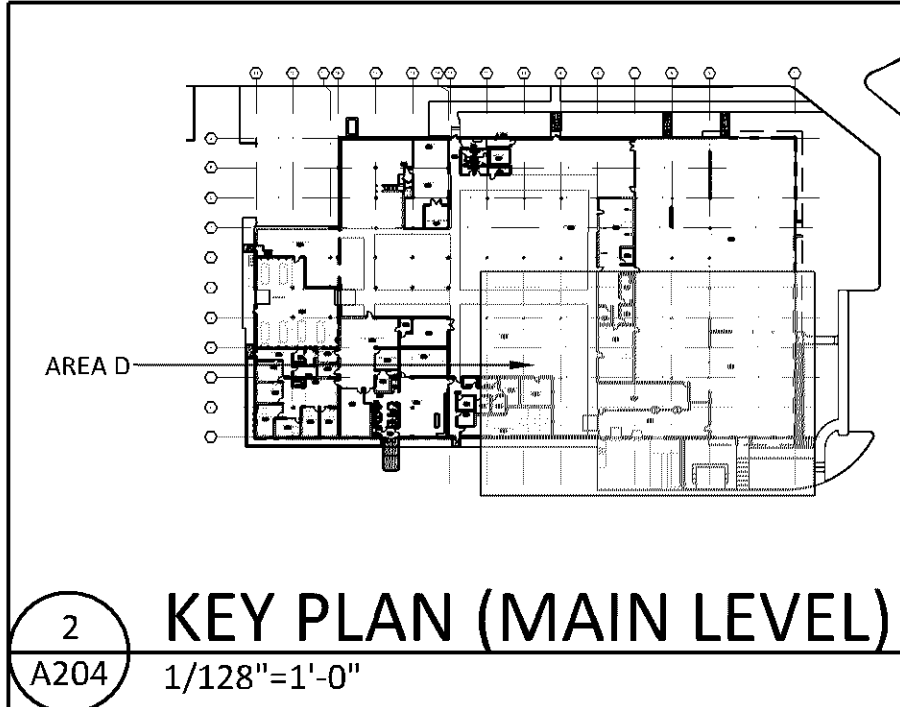


NOTE: EXISTING WALLS SHOWN SHADED ARE EXISTING TO REMAIN, PATCH AND REPAIR AS REQUIRED.

SEE FLOOR PLAN KEY NOTES ON SHEET A201, TYP.

1 FLOOR PLAN (MAIN LEVEL - AREA D)
1/8"=1'-0"

Bloomington Case PL202200033



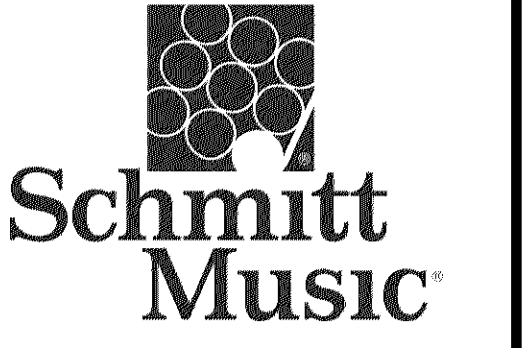
2 KEY PLAN (MAIN LEVEL)
1/128"=1'-0"

CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name
Rebecca Olson
49243 License Number 02.08.2022 Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

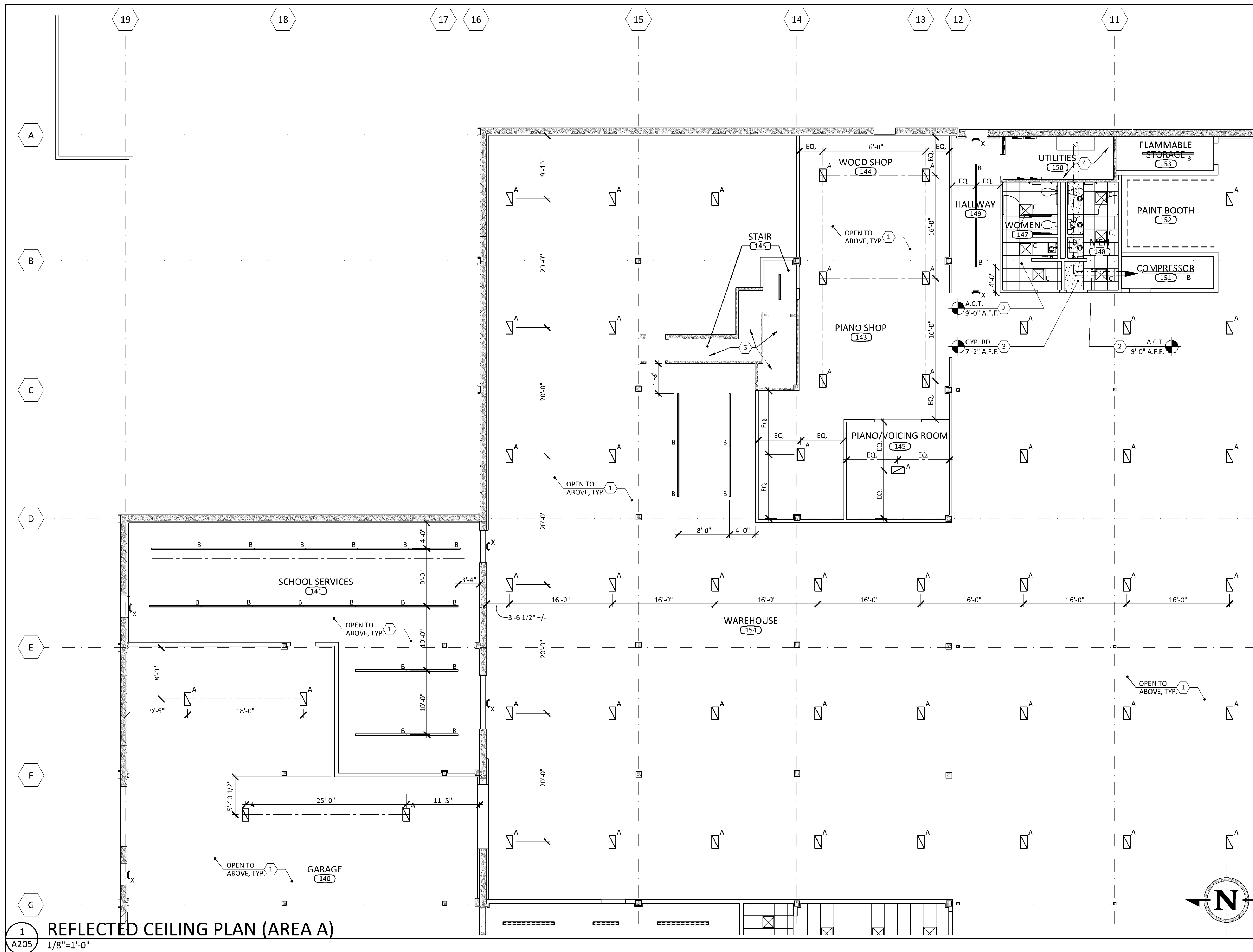
CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:
**FLOOR PLAN
AREA D**

A204



1 REFLECTED CEILING PLAN (AREA A)
A205 1/8"=1'-0"

LIGHTING SCHEDULE

	2'-0" LONG LED LINEAR HIGH BAY HUNG FROM STRUCTURE ABOVE AS HIGH AS POSSIBLE BELOW STRUCTURE. (EIKO LLH-DX-40K-UJ OR EQUAL. VERIFY ACCESSORY/OPTIONS WITH OWNER)
	8'-0" LONG LED SWITCHABLE STRIP LIGHT, HUNG FROM STRUCTURE ABOVE AT 10'-0" A.F.F. WITH AIRCRAFT CABLE (VERIFY). (LITHONIA LIGHTING L96 CSS AL04 MVOLT SWW3 80 CRI OR EQUAL)
	2'x2' LED CENTER BASKET TROFFER LIGHT (LITHONIA LIGHTING BLC 2X2 4000LM 35K ADSM OR EQUAL)
	6" RECESSED LED CAN LIGHT (LITHONIA LIGHTING LDN6 35/15 L06 WR LSS OR EQUAL)
	8'-0" LONG LED LINEAR INDIRECT/DIRECT LIGHT, SUSPEND FROM STRUCTURE ABOVE WITH AIRCRAFT CABLE AT 9'-0" A.F.F. (VERIFY) (AMERICAN LINEAR LIGHTING 2SID-08-LU-MD-35-UNV-WH OR EQUAL)
	4'-0" LONG LED LINEAR INDIRECT/DIRECT LIGHT, SUSPEND FROM STRUCTURE ABOVE WITH AIRCRAFT CABLE AT 9'-0" A.F.F. (VERIFY) (AMERICAN LINEAR LIGHTING 2SID-04-LU-MD-35-UNV-WH OR EQUAL)
	8'-0" LONG LED INDIRECT/DIRECT LIGHT, SUSPEND FROM CEILING ABOVE WITH AIRCRAFT CABLE AT 6'-8" A.F.F. (VERIFY). (FINELITE S12-LED-ID-DCO-8'-2E-5-835-30U70D-120V-SC-FA-FE-C1 OR EQUAL)
	LED PENDANT LIGHT HUNG FROM STRUCTURE ABOVE (VERIFY HEIGHT) (FIXTURE: TDB)
	4'-0" LONG LED SWITCHABLE STRIP LIGHT, HUNG FROM STRUCTURE ABOVE AT 10'-0" A.F.F. WITH AIRCRAFT CABLE (VERIFY). (LITHONIA LIGHTING CSS L48 AL03 MVOLT SWW3 80 CRI OR EQUAL)
	EXIT/EMERGENCY LIGHT COMBO UNIT WITH BATTERY BACK-UP (SURFACE MOUNT OR SUSPEND FROM STRUCTURE WITH CONDUIT WHERE NO WALL EXISTS). (LITHONIA LIGHTING ECRG RD M6 OR EQUAL)

NOTES:
FINAL LIGHTING DESIGN AND FIXTURE SELECTION SHALL BE COORDINATED WITH OWNER/ARCHITECT.
CENTER LIGHT FIXTURE IN CENTER OF CEILING TILE.
CENTER SUSPENDED LIGHT FIXTURE IN CENTER OF ROOM WHERE NOT SPECIFICALLY DIMENSIONED.

Bloomington Case PL202200033

CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name
Rebecca Olson
49243 02.08.2022
License Number Date

PROJECT:



PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:
REFLECTED CEILING PLAN AREA A

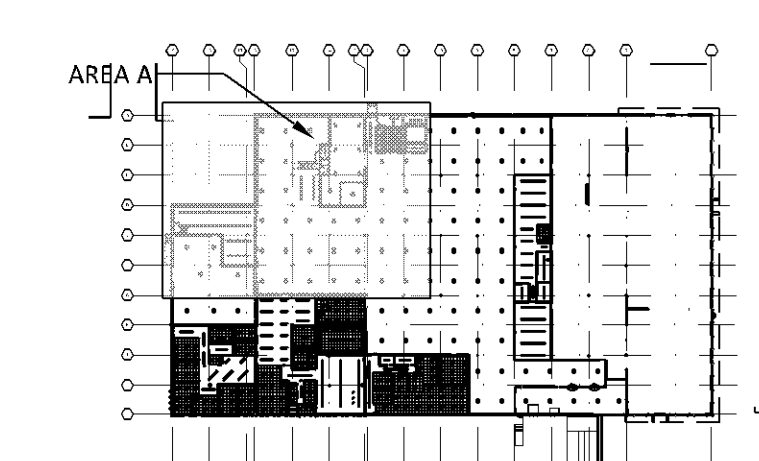
A205

GENERAL REFLECTED CEILING PLAN NOTES

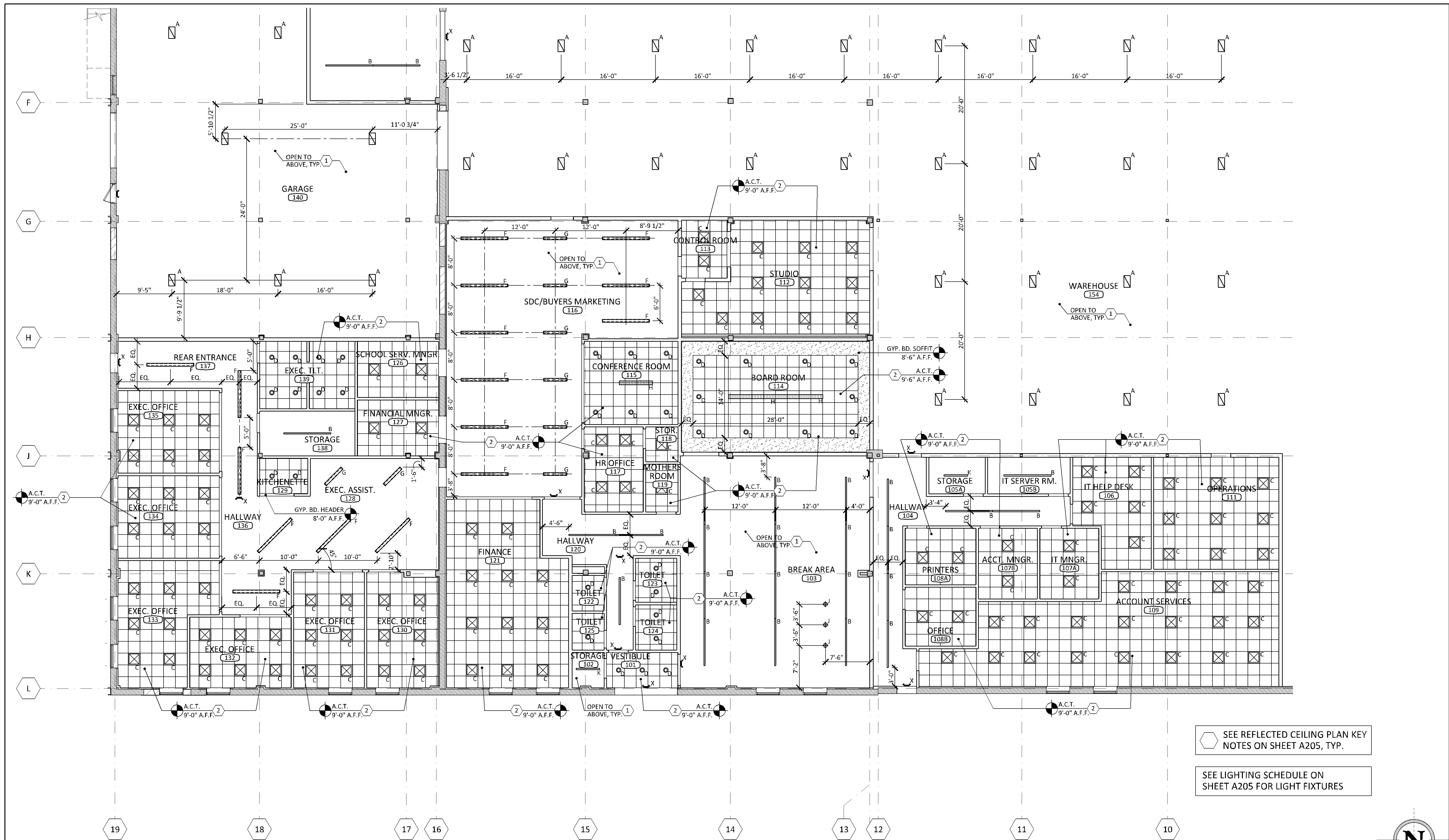
- SEE LIGHT FIXTURE SCHEDULE. ALL LIGHT FIXTURES (WHEN INDICATED) ARE TO BE AIRCRAFT CABLE SUPPORTED FROM STRUCTURE ABOVE AT THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- HANGER WIRE AT SUSPENDED CEILING (WHEN APPLICABLE) SHALL BE 8 GA., AND 10 GA. AT SUSPENDED A.C.T. WIRES SHALL BE ATTACHED TO STRUCTURAL STEEL ONLY, WITH U.L. LISTED CLAMPS. DO NOT ATTACH SUPPORT WIRES TO MECHANICAL EQUIPMENT OR PIPING. SCREWS ARE NOT PERMITTED IN THE METAL DECKING.
- CEILING SUSPENSION SYSTEM (AS REQUIRED) SHALL BE ATTACHED AT 2 ADJACENT WALLS, MAINTAIN 2 SIDES UNRESTRAINED.
- DESIGN-BUILD CONTRACTOR TO COORDINATE ALL ELECTRICAL AND LIGHTING WORK, SCHEDULES, & SPECIFICATIONS WITH OWNER PRIOR TO ORDERING & INSTALLATION.
- PROVIDE ACCESS PANELS AS REQUIRED BY CODE. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
- ALL CEILING HEIGHTS INDICATED ON PLANS ARE FROM TOP OF FINISH FLOOR TO UNDERSIDE OF FINISH CEILING.
- ALL MEASUREMENTS ARE TO THE CENTER OF THE FIXTURE U.N.O.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL MOUNTING MEANS & METHODS, INCLUDING ALL BLOCKING.
- LIGHT FIXTURE TYPES & LOCATIONS SHOWN SCHEMATICALLY, WITH FIXTURES CENTERED IN ROOMS UNLESS DIMENSIONED OTHERWISE.
- G.C. TO PROVIDE TEMPORARY LIGHTING THROUGHOUT VACANT AREAS AS REQUIRED.
- ALL ACOUSTICAL CEILING TILE SYSTEMS TO BE CENTERED IN ROOM OR AS NOTED ON REFLECTED CEILING PLAN DRAWINGS.
- EMERGENCY AND EXIT LIGHT FIXTURE LOCATIONS TO BE LOCATED BY DESIGN/BUILD ELECTRICAL CONTRACTOR. EXIT LIGHTS SHOWN ON PLAN ARE FOR GRAPHICAL REPRESENTATION OF EGRESS TRAVEL DIRECTION.
- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LIGHT FIXTURE SELECTION, SIZES AND QUANTITIES WITH ARCHITECT AND OWNER PRIOR TO ORDERING AND INSTALLATION.
- MECHANICAL CONTRACTOR TO COORDINATE QUANTITIES AND LOCATIONS OF MECHANICAL DIFFUSERS, RETURN AIRS, ETC. WITH ARCHITECT AS REQUIRED.
- SPRINKLER CONTRACTOR RESPONSIBLE FOR MODIFICATIONS TO EXISTING SYSTEM AND SUBMITTING DOCUMENTS FOR APPROVAL/PERMIT AS REQUIRED TO GOVERNING AUTHORITIES.

REFLECTED CLG. PLAN KEY NOTES

- EXPOSED STRUCTURE CEILING. PAINT DECK, STRUCTURE, JOISTS, DUCTWORK, & ALL CEILING SUSPENDED PIPES, CONDUIT, ETC. AS SCHEDULED.
- 24"x24" ACOUSTICAL CEILING SYSTEM, CENTER GRID IN ROOM AS INDICATED
- GYP. BD. SOFFIT, BOTTOM AT 7'-2" A.F.F.
- EXISTING LIGHTING TO REMAIN THIS ROOM.



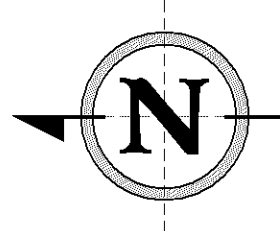
2 KEY PLAN
A205 1/128"=1'-0"



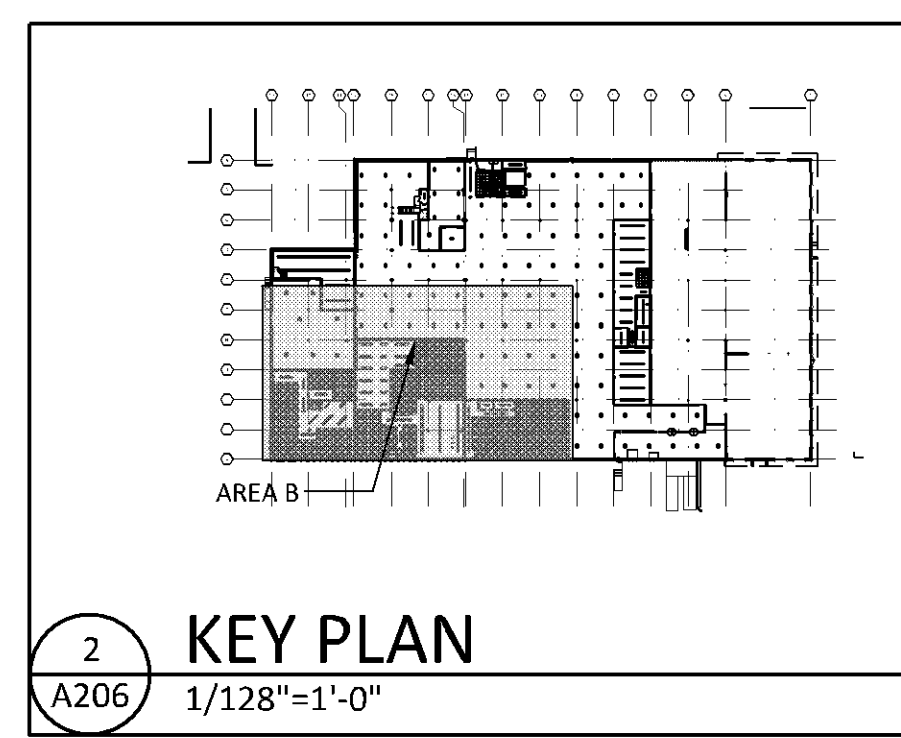
1 REFLECTED CEILING PLAN (AREA B)
1/8"=1'-0"

SEE REFLECTED CEILING PLAN KEY NOTES ON SHEET A205, TYP.

SEE LIGHTING SCHEDULE ON SHEET A205 FOR LIGHT FIXTURES



Bloomington Case PL202200033



CONSULTANT:

SEAL/SIGNATURE:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON
Typed Name
Rebecca Olson
49243 License Number 02.08.2022 Date

PROJECT:

Schmitt Music
7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:
REFLECTED CEILING PLAN AREA B

A206

CONSULTANT:

SEAL/SIGNATURE:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

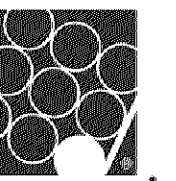
REBECCA L. OLSON

Typed Name

Rebecca Olson

49243 License Number 02.08.2022 Date

PROJECT:



Schmitt Music

7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

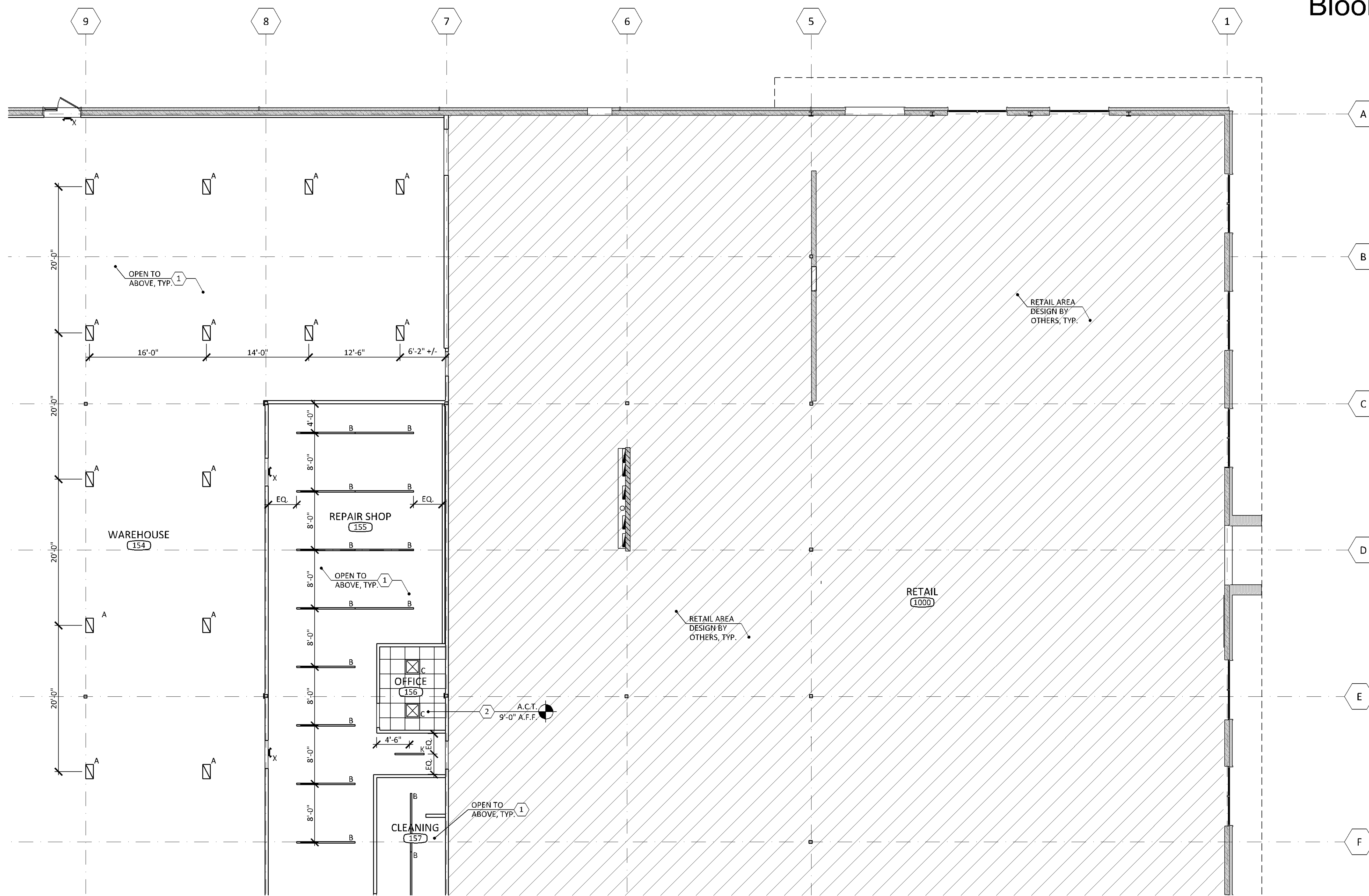
ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:

**REFLECTED CEILING PLAN
AREA C**

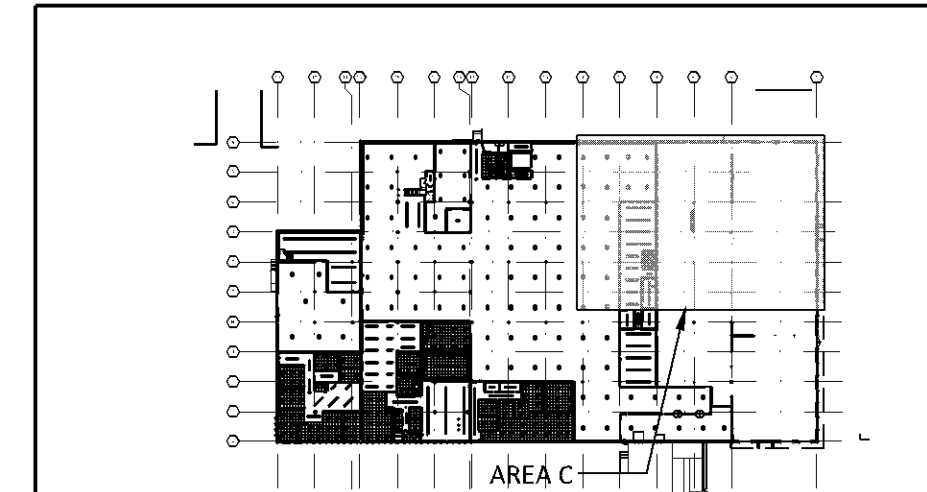
A207



SEE REFLECTED CEILING PLAN KEY NOTES ON SHEET A205, TYP.

SEE LIGHTING SCHEDULE ON SHEET A205 FOR LIGHT FIXTURES

1
A207 REFLECTED CEILING PLAN (AREA C)
1/8"=1'-0"



2
A207 KEY PLAN
1/128"=1'-0"

CONSULTANT:

SEAL/SIGNATURE:

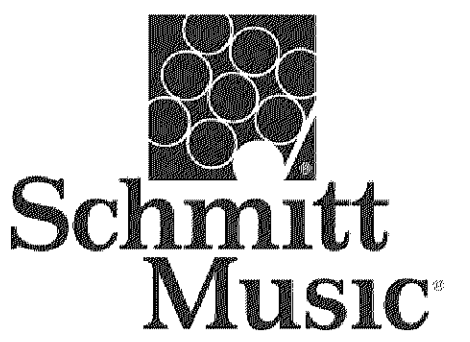
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

REBECCA L. OLSON

Typed Name
Rebecca Olson

49243 License Number 02.08.2022 Date

PROJECT:



7800 PICTURE DRIVE
BLOOMINGTON, MN 55439

PROJECT NO.: 21026

DRAWN BY: JNH/KMH/SAW

CHECKED BY: SAW/RLO

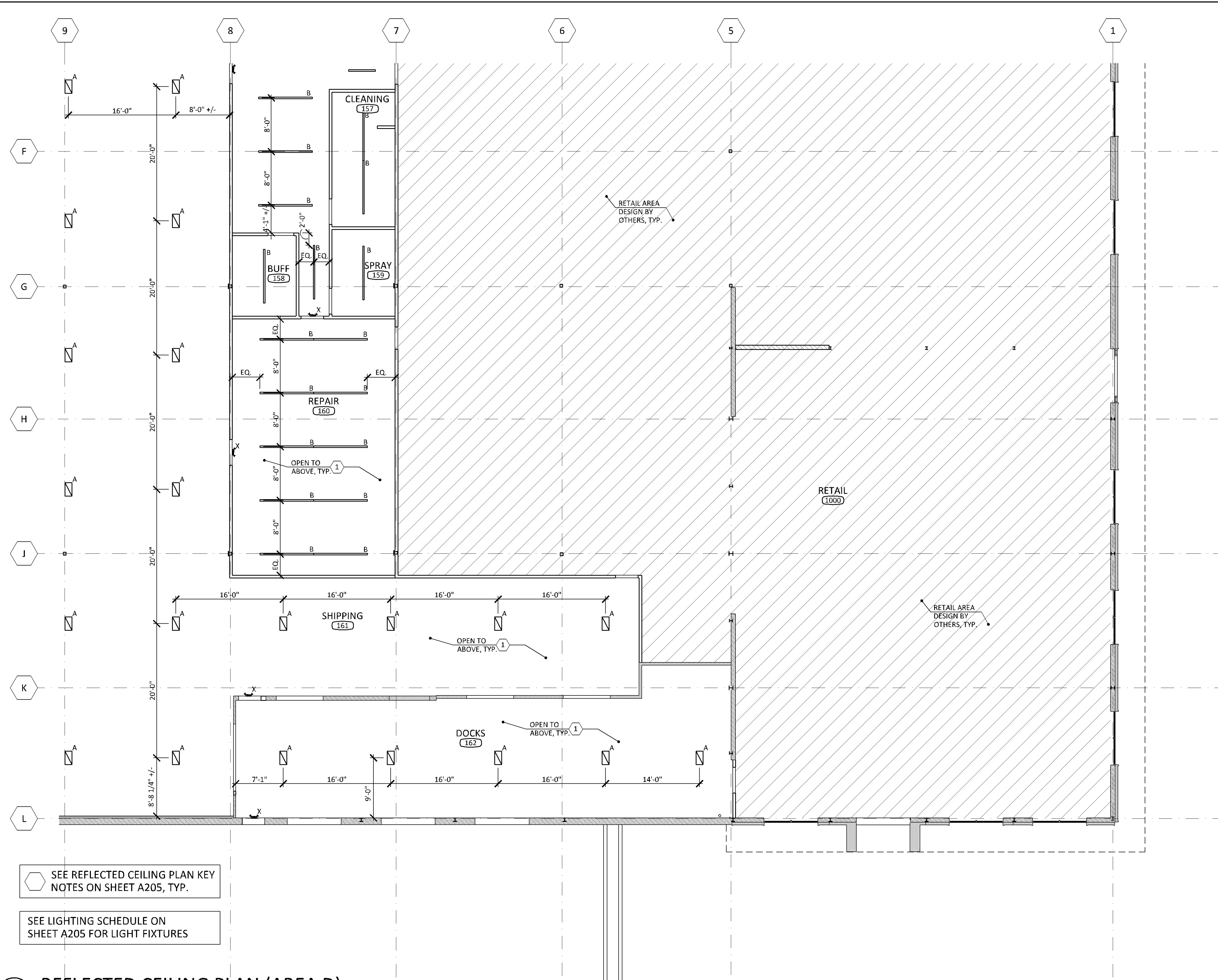
ISSUES AND REVISIONS:

PERMIT ISSUE 02.08.2022

SHEET TITLE:

**REFLECTED
CEILING PLAN
AREA D**

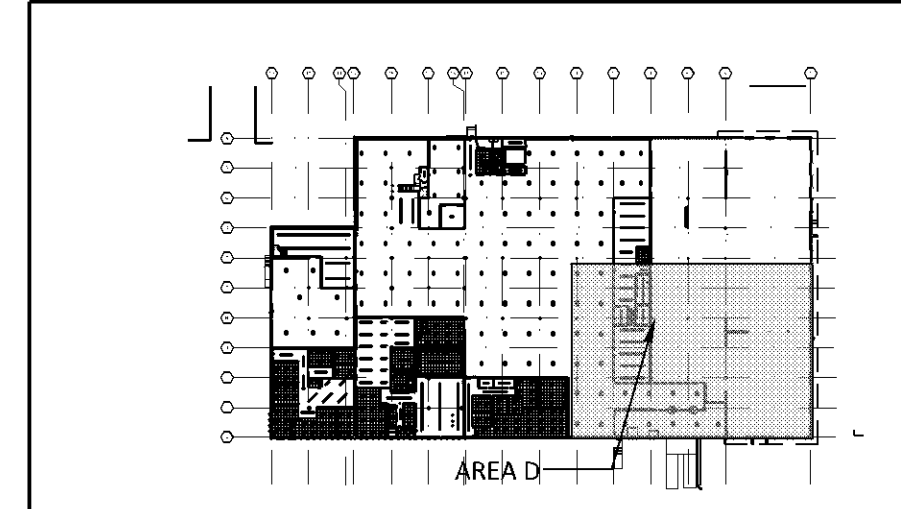
A208



SEE REFLECTED CEILING PLAN KEY NOTES ON SHEET A205, TYP.

SEE LIGHTING SCHEDULE ON SHEET A205 FOR LIGHT FIXTURES

1
A208 REFLECTED CEILING PLAN (AREA D)
1/8"=1'-0"



2
A208 KEY PLAN
1/128"=1'-0"

