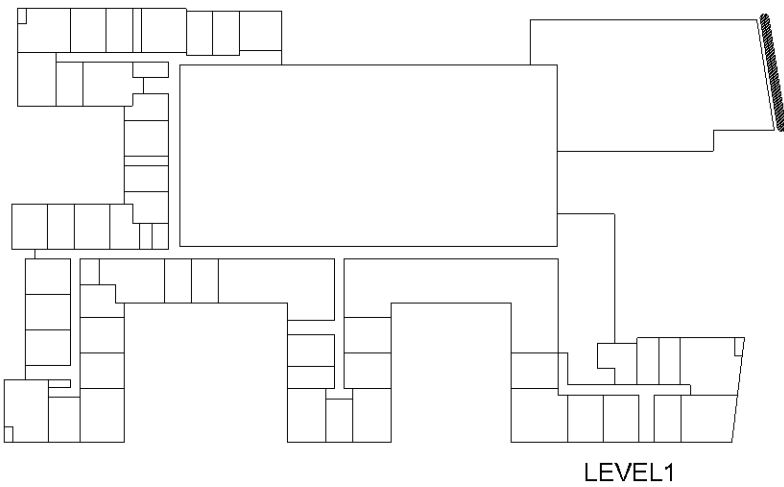


APPROVED
Zoning Review Only
02/28/2022 NMJ

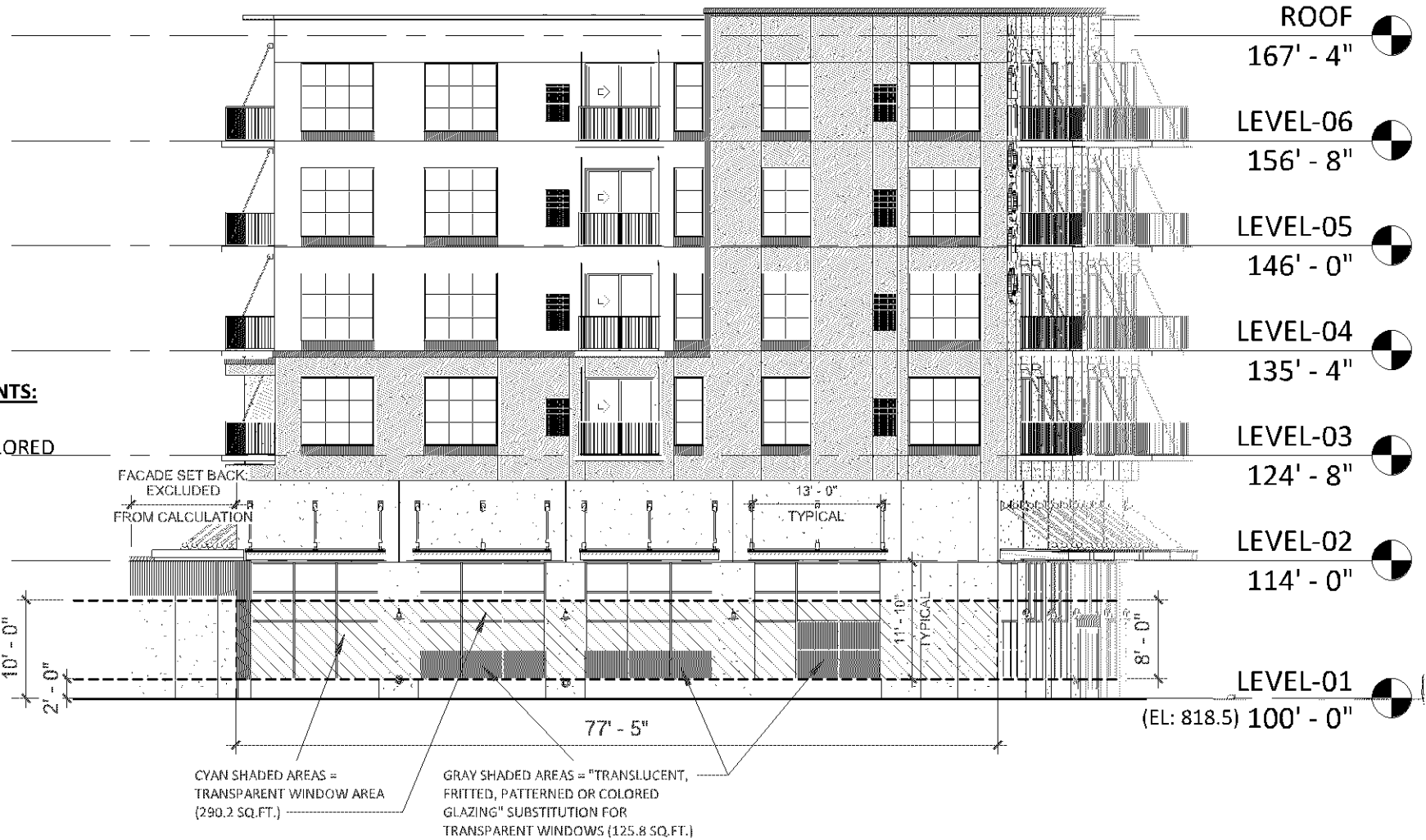


GROCERY EAST ELEVATION
(NON-RESIDENTIAL USE)
(31ST AVE. FRONTAGE):

- TOTAL FIRST FLOOR FACADE WALL AREA (BETWEEN 2' & 10' ABOVE GRADE) = **619 SQ.FT.**
- AREA OF TRANSPARENT WINDOWS = **290 SQ.FT.**
- = **46.8%** WINDOW AREA PROPOSED
[APPROVED: 46.5% WINDOW AREA]
- 22 SQ.FT. ADDITIONAL AREA REQUIRED FOR COMPLIANCE

GROUND LEVEL BUILDING FACADE ENHANCEMENTS:

- "TRANSLUCENT, FRITTED, PATTERNED OR COLORED GLAZING" AREA (BTWN 2' & 10') = **125 SQ.FT.**
- CALCULATION:
290 SQ.FT. TRANSPARENT WINDOWS
+125 SQ.FT. NON-TRANSPARENT WINDOWS
415 SQ.FT. TOTAL AREA (BETWEEN 2' & 10')
(**67.0%** OF WALL AREA BETWEEN 2' & 10')



1 EAST ELEVATION
A3-0.1 1/16" = 1'-0"

APPROVED
Zoning Review Only
02/28/2022 NMJ

GROCERY NORTH ELEVATION
(NON-RESIDENTIAL USE)
(80-1/2 STREET FRONTAGE):

- TOTAL FIRST FLOOR FACADE WALL AREA
(BETWEEN 2' & 10' ABOVE GRADE) = **1329 SQ.FT.**
- AREA OF TRANSPARENT WINDOWS = **372 SQ.FT.**
- = **28% WINDOW AREA PROPOSED [APPROVED:
28% WINDOW AREA]**
- **292 SQ.FT. ADDITIONAL AREA REQUIRED FOR
COMPLIANCE**

GROUND LEVEL BUILDING FACADE ENHANCEMENTS:

- "TRANSLUCENT, FRITTED, PATTERNED OR COLORED
GLAZING" AREA (BTWN 2' & 10') = **364 SQ.FT.**
- **CALCULATION:**
372 SQ.FT. TRANSPARENT WINDOWS
+364 SQ.FT. NON-TRANSPARENT WINDOWS
736 SQ.FT. TOTAL AREA (BETWEEN 2' & 10')
(55.4% OF WALL AREA BETWEEN 2' & 10')



1 NORTH ELEVATION
A3-0.2 1/16" = 1'-0"

02/07/2022

Scale: 1/16" = 1'-0"

esg

BCS PHASE 4
8100 31ST AVENUE SOUTH
BLOOMINGTON, MN

NON-RESIDENTIAL WINDOW AREA - NORTH
ELEVATION