

CASE #PL2021-186

APPROVED
Zoning Review Only
04/12/2022 NMJ

Bloomington Fire Station #4

4201 West 84th Street
Bloomington, MN 55437



G1 Northeast Perspective
G1.1 12" = 1'-0"



Location Map

Consultants:	Sheet Index
Architectural: CNH Architects 7300 W. 147th Street, Suite 504 Apple Valley, Minnesota 55124 (952) 431-4433	G1.1 General Information G1.2 Code Summary First Floor G1.3 Code Summary Basement & Second Floor G1.4 Occupant Load Plans-Basement, First Floor & Second Floor G1.5 Tornado Shelter Code Summary & Plans
Civil: Larson Engineering 3524 Labore Road White Bear Lake, Minnesota 55110 (651) 481-3120 Fax: (651) 481-9201	C100 Demolition Plan C200 Paving Plan C300 Grading and Erosion Control Plan C301 Construction Staging Area C400 Utility Plan C401 Drainage Plan C500 Details C501 Details C502 Details
Landscape: HKGJ 800 Washington Avenue North Suite 103 Minneapolis, MN 55401 (612) 338-0800 Fax: (612) 338-8838	L1.01 Landscape Plan L1.02 Landscape Plan
Structural: Larson Engineering 3524 Labore Road White Bear Lake, Minnesota 55110 (651) 481-9120 Fax: (651) 481-9201	A1.1 Site Plan A1.2 Enlarged Site Plans A2.1 Site Demolition Plan A2.2 Demolition Plans A3.1 First Floor Plan A3.2 Second Floor Plan A3.3 Basement, Third, and Fourth Floor Plans A3.4 Enlarged Floor Plans A3.5 Enlarged Floor Plans A3.6 Enlarged Second Floor Plan A3.7 First Floor Finish Plan A3.8 Basement, Second, Third & Fourth Floor Finish Plans A4.1 Basement and First Floor Reflected Ceiling Plans A4.2 Second, Third, and Fourth Floor Reflected Ceiling Plans A4.3 Enlarged Second Floor Ceiling Plan A5.1 Exterior Elevations A5.2 Exterior Elevations A6.1 Building Sections A6.2 Wall Sections A6.3 Wall Sections A6.4 Wall Sections A6.5 Wall Sections A6.6 Wall Sections A6.7 Wall Sections A6.8 Wall Sections - Firefighter Patio A6.9 Wall Sections A6.10 Wall Sections A6.11 Elevator & Wall Sections A6.12 Stair Sections - Stair B A6.13 Stair Sections - Stair B A6.14 Stair Sections - Stair B A6.15 Stair Sections - Stair A A6.16 Stair Sections - Stair A A6.17 Stair Sections - Stair A A6.18 Stair Sections - Hose Tower A6.19 Stair Sections - Hose Tower A6.20 Stair Sections - Hose Tower A6.21 Stair Sections - Hose Tower A6.22 Enlarged Wall Details A6.23 Enlarged Wall Details A6.24 Enlarged Wall Details A6.25 Enlarged Wall Details A6.26 Hose Tower Drying Rack Details A7.1 Schedules & Frame Types A7.2 Window Details A7.3 Window Details A7.4 Window Details A7.5 Window Details A7.6 Window Details A7.7 Door Details A8.1 Interior Elevations A8.2 Interior Elevations A8.3 Interior Elevations A8.4 Interior Elevations A8.5 Interior Elevations A8.6 Interior Elevations A8.7 Interior Elevations A8.8 Interior Elevations A8.9 Millwork Details A8.10 Millwork Details A9.1 Roof Plan A9.2 Roof Details
Mechanical: EDI 1112 5th Street North Minneapolis, Minnesota 55411 (612) 343-5965 Fax: (612)343-5982	S000 General Structural Notes S001 Structural Abbreviations S100 Basement Foundation & Loading Plans S101 Main Floor Framing Plan S102 Upper Floor Framing Plan S103 Roof Framing Plan S500 Details S501 Details S502 Details S503 Details S504 Details S505 Details S506 Details S507 Details S508 Details
Electrical: EDI 1112 5th Street North Minneapolis, Minnesota 55411 (612) 343-5965 Fax: (612)343-5982	E0.1 Electrical Title Sheet E1.1 Site Plan - Electrical E1.2 Photometric Site Plan - Initial (0.9 LLF) E1.3 Photometric Site Plan - Maintained (0.9 LLF) E2.1 First Floor Plan - Lighting E2.2 Second Floor Plan - Lighting E2.3 Basement and Third Floor Plans - Lighting E3.1 First Floor Plan - Power E3.2 Second Floor Plan - Power E3.3 Basement and Third Floor Plan - Power E3.4 Roof Plan - Electrical E4.1 First Floor Plan - Systems E4.2 Second Floor Plan - Systems E4.3 Basement and Third Floor Plans - Systems E4.4 Station Alerting System E4.5 Station Alerting System E4.6 GPS System E4.7 GPS System E5.1 Power Riser Diagram E5.2 Enlarged Electrical Plans E6.1 Schedules - Electrical E6.2 Schedules - Electrical E6.3 Schedules - Electrical E6.4 Schedules - Electrical E7.1 Details - Electrical E7.2 Details - Electrical E7.3 Details - Electrical E7.4 Details - Electrical
General Notes: All Contractors shall become familiar with the existing site conditions and existing building which will be demolished. A preconstruction meeting shall be held with the Contractor, Owner and Architect before any construction starts. The Contractor is responsible for providing the necessary protection of existing building and all personnel as specified including safety, dirt, air quality, and noise control at existing building. The Contractor(s) shall determine all quantities to be provided, relocated, or removed. The Contractor(s) shall be responsible for field verification of all dimensions and conditions pertaining to building construction. Any difference found to exist between existing conditions and the drawings shall be reported to the Architect. Dimensions and layouts of existing building and site elements are typically derived from existing construction documents and general site observations. These dimensions and layouts are provided for reference only and are to be verified in the field as required by the owner. All new surface treatments shall taper smoothly into existing surfaces. Verify elevations to align with coordinating elevations of existing building. Patch to match existing materials and finished at all new openings into new or existing buildings as required. See plans and specs for specific notes regarding patch work and items to remain property of the owner. All non-bearing partitions which are indicated to extend to the bottom of the roof deck or ceiling are to have a 1" soft joint at top, unless noted otherwise. Fire rate joint at rated wall constructions. Site Notes: Contractor shall determine all quantities to be provided, relocated or removed. Contractor shall be responsible for field verification of all dimensions and conditions pertaining to building construction. Any differences found to exist between existing conditions and drawings shall be reported to the Architect. All asphalt and concrete surfacing shall have a minimum slope of 1/8"=1'-0" (verify drainage). See site plan for specific elevations. Grade to provide positive slope away from building, minimum of 1/4"=1'-0" for 5'-0" distance around building. All sidewalks and aprons to have 1/2" expansion joint against building. All new surface treatments shall taper smoothly into existing surfaces at property lines, repairing any damage to existing surfaces as required. Contractor to verify and coordinate curb and site apron details with requirements of local municipalities. Verify location of existing underground services before excavation or grading. Demolition Notes: Remove existing concrete curbs, sidewalks and asphalt as required for new construction. Refer to site plan for locations.	

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84th Street

Irwin Road

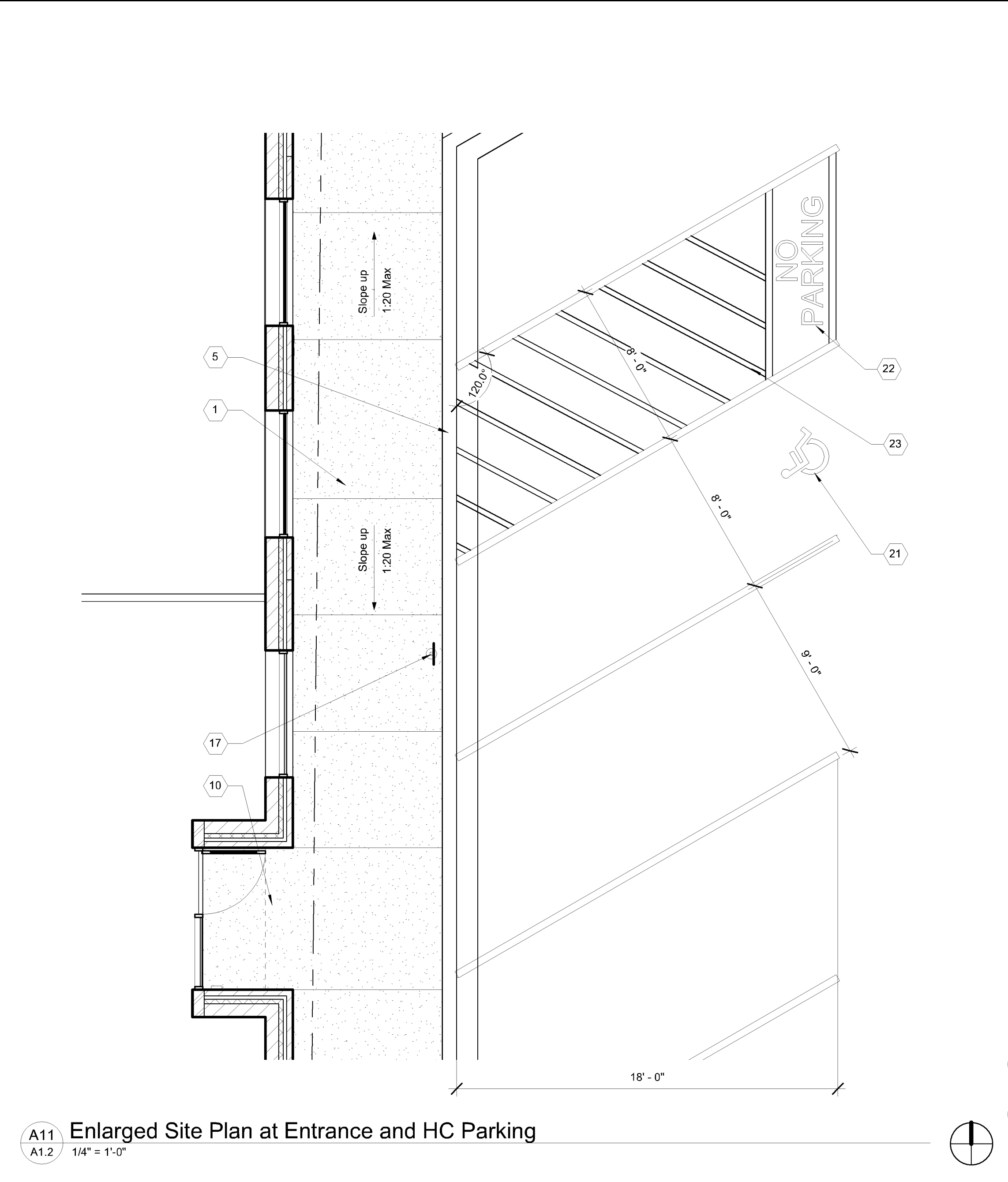
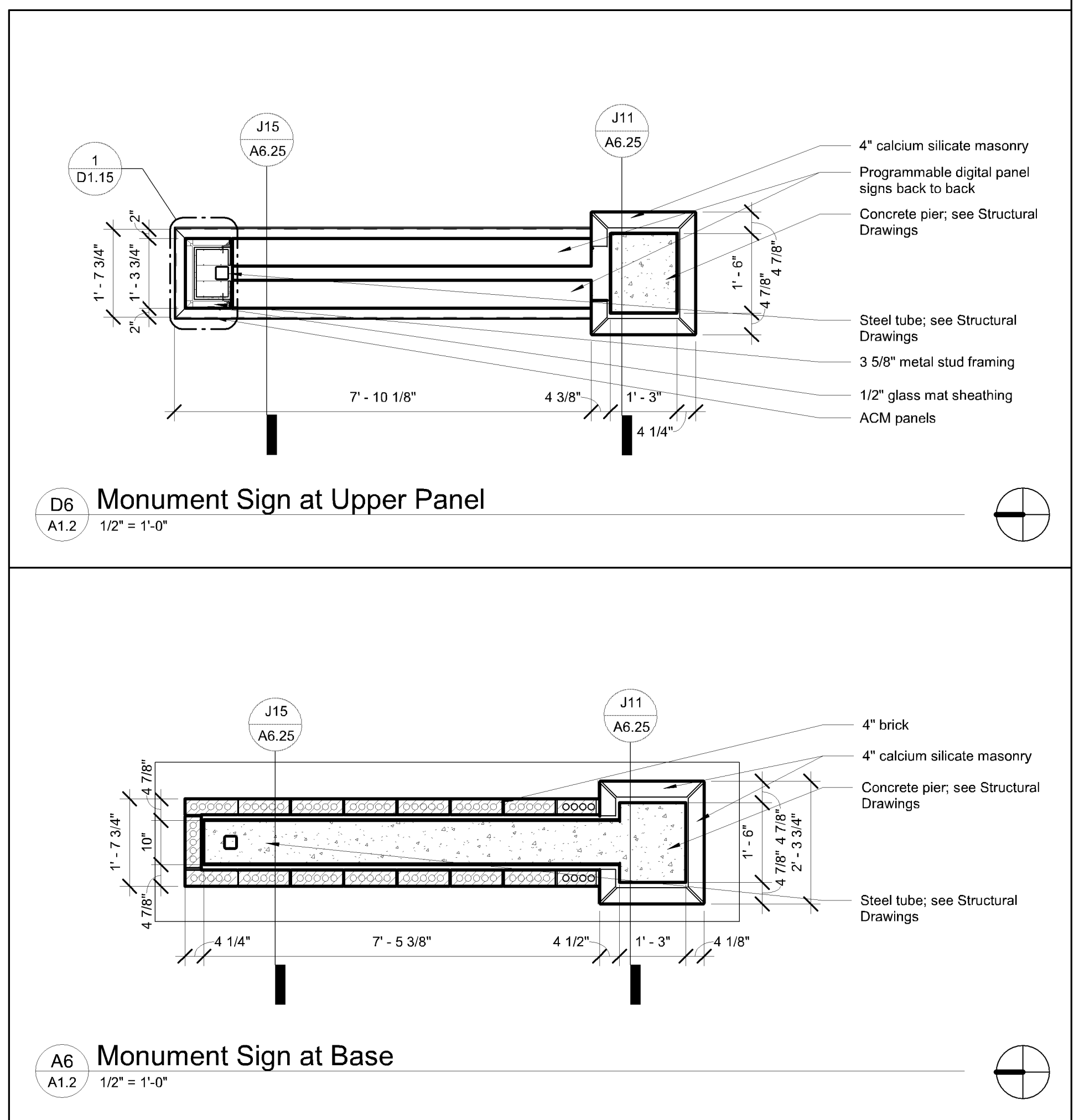
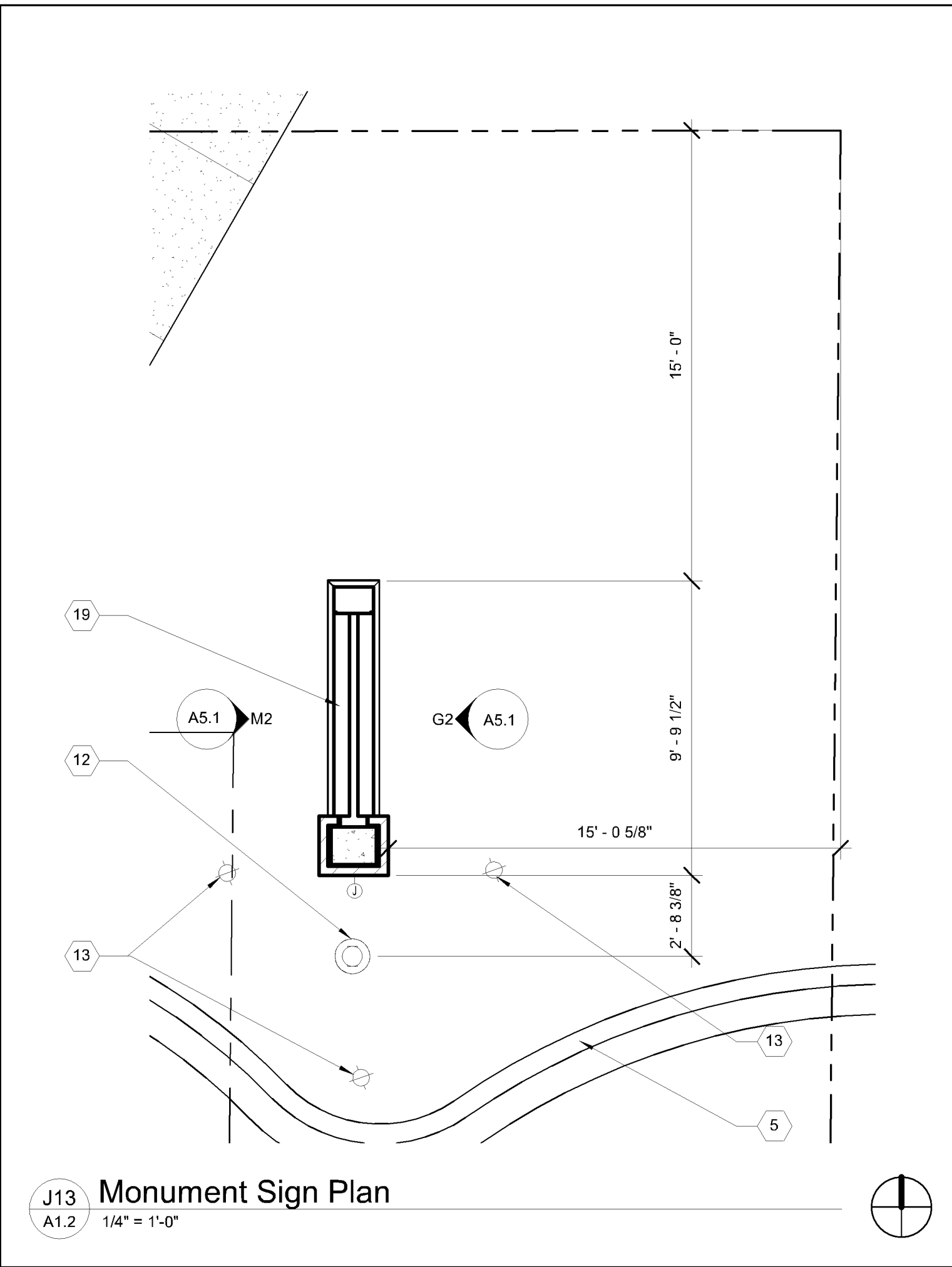
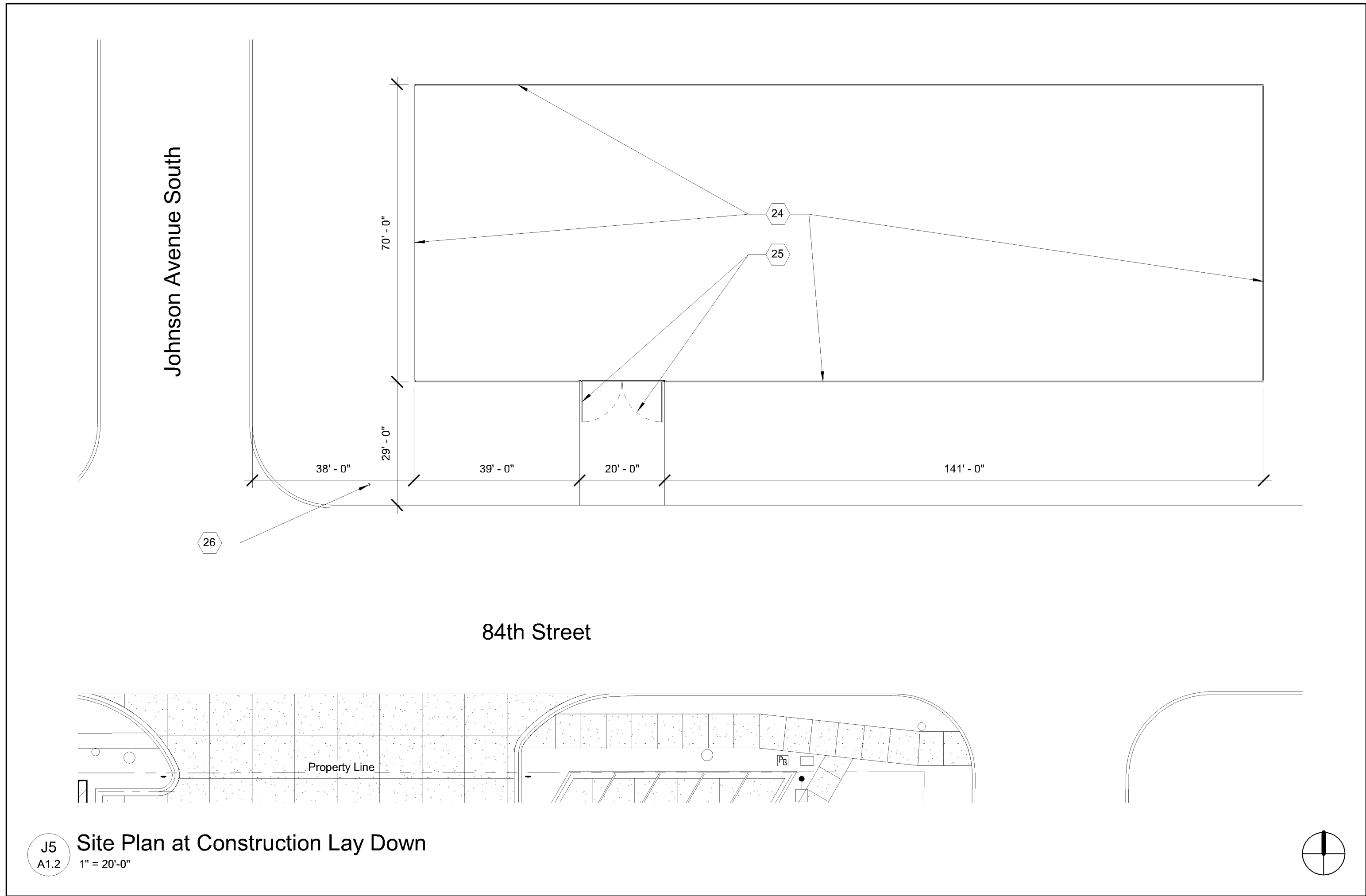
Proposed Fire
Station #4

Site Plan Notes:
All construction and post-construction parking and storage of equipment and materials must be on-site. Use of public streets for private construction parking, loading/unloading, and storage will not be allowed.

A1 Overall Site Plan
A1.1 1"=10'-0"

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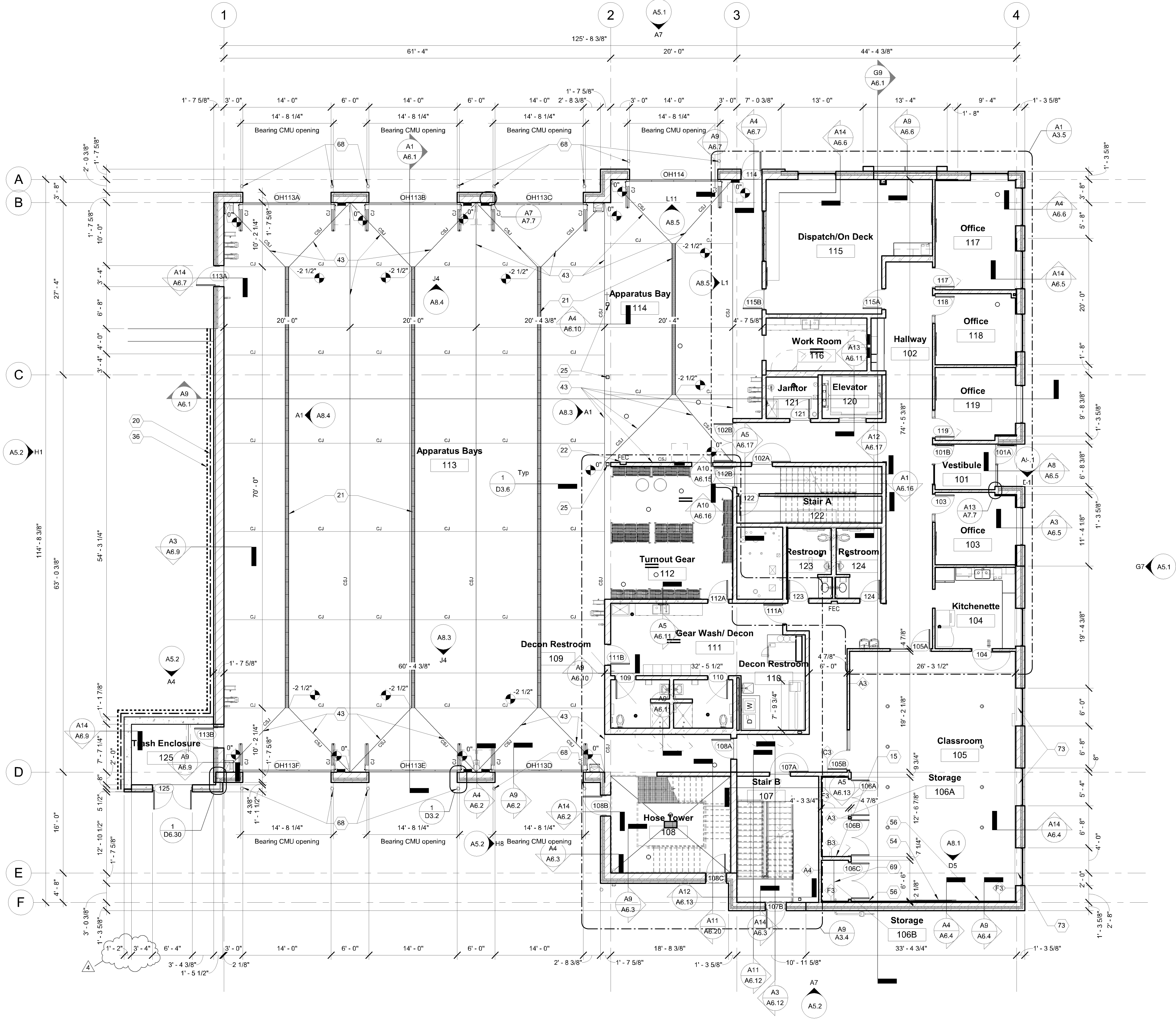
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Floor Plan Keynotes	
1	Single water cooler with bottle filler; see Mechanical drawings
2	Double water cooler with bottle filler; see Mechanical drawings
3	Ice maker; provided by Owner and installed by Contractor
4	Mop sink; see Mechanical drawings
5	4'-0" high FRP panels at each wall adjacent to mop sink
6	Eye wash; see Mechanical
7	Flammable waste separator; see Mechanical drawings
8	Steel column; see Structural drawings; paint
9	Turn-out gear dryer; provided by Owner and installed by Contractor
10	Turn-out gear washer; provided by Owner and installed by Contractor
11	5 gallon soap dispenser bucket; provided by Owner
12	Stainless steel manifold access door, 24" wide by 24" high; AD-03
13	Stainless steel manifold access door, 32" wide by 24" high; AD-02
14	Stainless steel manifold access door, 40" wide by 24" high; AD-01
15	Manifold access door, 24" wide by 24" high, AD-04, mount 6" AFF to bottom of access door; paint to match wall
16	Raised 4" concrete platform
17	Residential washer; provided by Owner and installed by Contractor
18	Residential dryer; provided by Owner and installed by Contractor
19	Utility sink; see Mechanical drawings
20	Waterproofing extents; see Details
21	Trench drain; see Mechanical drawings
22	Semi-recessed fire extinguisher cabinet
23	Triple tier metal lockers
24	Galvanized guardrail gate
25	Galvanized steel column; see Structural drawings; paint with HPC
26	Galvanized guardrail
27	Galvanized steel ships ladder
28	Galvanized metal grating stair landing
29	Galvanized metal grating balcony landing
30	Galvanized guardrail and handrail at landings
31	Galvanized hose drying rack; see Structural drawings
32	Stainless steel checkplate sill at training opening
33	Stainless steel checkplate window sill
34	Raised 12" concrete platform
35	Drain tile extents; see Details; see Civil drawings
36	Drain tile extents at elevator pit; see Details; see Civil drawings
37	Floor breach training opening with wood joist trill and cover of 2 full sheets of plywood; see Structural drawings
38	Concrete floor; slope to drain
39	Wrap gypsum board behind washer box to maintain fire rating of wall
40	Floor drain; see Mechanical drawings; do not slope floor this location
41	Floor drain; see Mechanical drawings; slope floor to drain
42	Concrete floor; slope to drain; separate pour at each construction joint (CSJ)
43	4' x 5' prefinished curb at shower
44	Toilet accessories this room; provided by Owner and installed by Contractor
45	Toilet accessories this room; provided by Owner and installed by Contractor
46	Fire department connection (FDC); see Mechanical drawings
47	Shower floor; slope 1/2" to drain
48	Shower floor; slope 1/4" to drain
49	Provide blocking in walls for future handicap grab bars
50	Dorm locker
51	Guardrail between window jambs this location
52	Patio grill; provided by Owner; installed by Contractor
53	Television by Owner; provide backing for bracket mounting at metal stud walls
54	Tempered mirror
55	4'-0" x 4'-0" markerboard
56	Training standpipes; see Mechanical drawings
57	Self-closing gate at stairs to basement; see Detail Book
58	Microwave; provided by Owner
59	Residential range; provided by Owner and installed by Contractor
60	Refrigerator; provided by Owner and installed by Contractor
61	Coffee maker; provided by Owner and installed by Contractor
62	Vending machine; provided by Owner
63	Frame type F1; paint
64	Frame type F2; paint
65	Guardrail at landing; paint
66	Cane detection railing below stairs with top rail at 2'-3" maximum
67	6" steel bollard with cover sleeve
68	Surface-mounted adjustable shelving standards with bracket supports; provide (5) 1" thick plastic laminate shelves
69	Stainless steel corner guard
70	Fire box; provided by Owner; installed by Contractor
71	Shower rod and curtain
72	Solid surface window sill
73	First aid kit; provided by Owner
74	Seal all gaps in wall at top of wall for sound separation this room

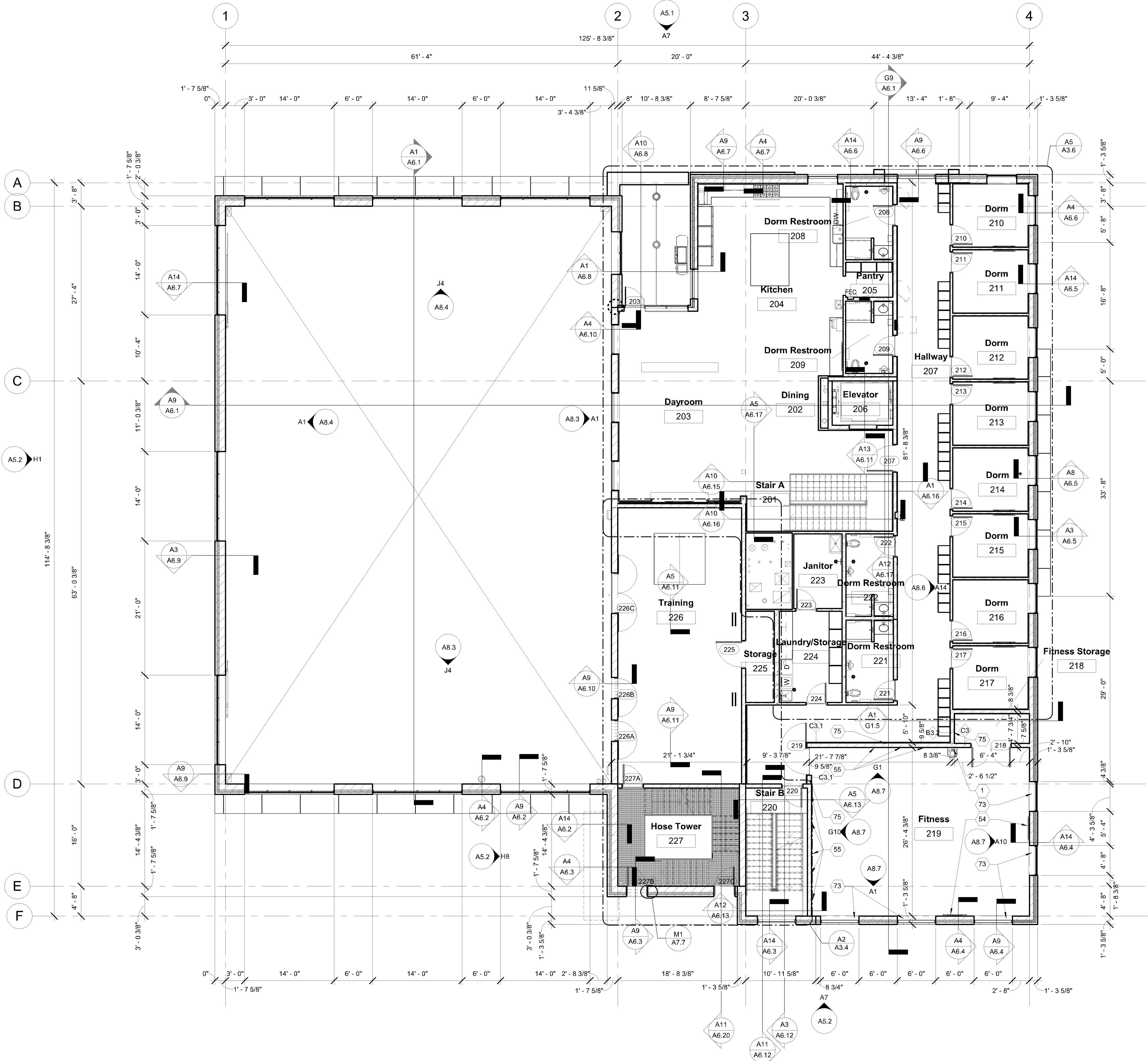
Floor Plan Notes:
See Detail Book and Specifications for gypsum board control joint locations and detailing. Verify location in large rooms with Archited.

Floor Plan Legend:
Existing wall
New wall, see tag for type
Existing door
New Door

A1 First Floor Plan
A3.1 1/8" = 1'-0"

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8	Steel column; see Structural drawings; paint
9	Turn-out gear dryer; provided by Owner and installed by Contractor
10	Turn-out gear washer; provided by Owner and installed by Contractor
11	5 gallon soap dispenser bucket; provided by Owner
12	Stainless steel manifold access door, 24" wide by 24" high; AD-03
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14	Stainless steel manifold access door, 40" wide by 24" high; AD-01
15	Manifold access door, 24" wide by 24" high, AD-04, mount 6" AFF to bottom of access door; paint to match wall
16	Raised 4" concrete platform
17	Residential washer; provided by Owner and installed by Contractor
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19	Utility sink; see Mechanical drawings
20	Waterproofing extents; see Details
21	Trench drain; see Mechanical drawings
22	Semi-recessed fire extinguisher cabinet
23	Triple tier metal lockers
24	Galvanized guardrail gate
25	Galvanized steel column; see Structural drawings; paint with HPC
26	Galvanized guardrail
27	Galvanized guardrail; paint with HPC
28	Galvanized steel ships ladder
29	Galvanized metal grating stair landing
30	Galvanized metal grating balcony landing
31	Galvanized guardrail and handrail at landings
32	Galvanized hose drying rack; see Structural drawings
33	Stainless steel checkerplate sill at training opening
34	Stainless steel checkerplate window sill
35	Raised 12" concrete platform
36	Drain tile extents; see Details; see Civil drawings
37	Drain tile extents at elevator pit; see Details; see Civil drawings
38	Floor breach training opening with wood joist infill and cover of 2 full sheets of plywood unit; see Structural drawings
39	Concrete floor; slope to drain
40	Wrap gypsum board behind washer box to maintain fire rating of wall
41	Floor drain; see Mechanical drawings; do not slope floor this location
42	Floor drain; see Mechanical drawings; slope floor to drain
43	Concrete floor; slope to drain; separate pour at each construction joint (CSJ)
44	4' x 5' prefabricated curb at shower
45	Toilet accessories this room; provided by Owner and installed by Contractor; except handicap grab bars to be provided and installed by Contractor
46	Toilet accessories this room; provided by Owner and installed by Contractor
47	Fire department connection (FDC); see Mechanical drawings
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51	Dorm locker
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61	Refrigerator; provided by Owner and installed by Contractor
62	Coffee maker; provided by Owner and installed by Contractor
63	Vending machine; provided by Owner
64	Frame type F1; paint
65	Frame type F2; paint
66	Guardrail at landing; paint
67	Cane detection railing below stairs with top rail at 2'-3" maximum
68	6" steel bollard with cover sleeve
69	Surface-mounted adjustable shelving standards with bracket supports; provide (5) 1" thick plastic laminate shelves
70	Stainless steel corner guard
71	Fire box; provided by Owner; installed by Contractor
72	Shower rod and curtain
73	Solid surface window sill
74	First aid kit; provided by Owner
75	Seal all gaps in wall at top of wall for sound separation this room

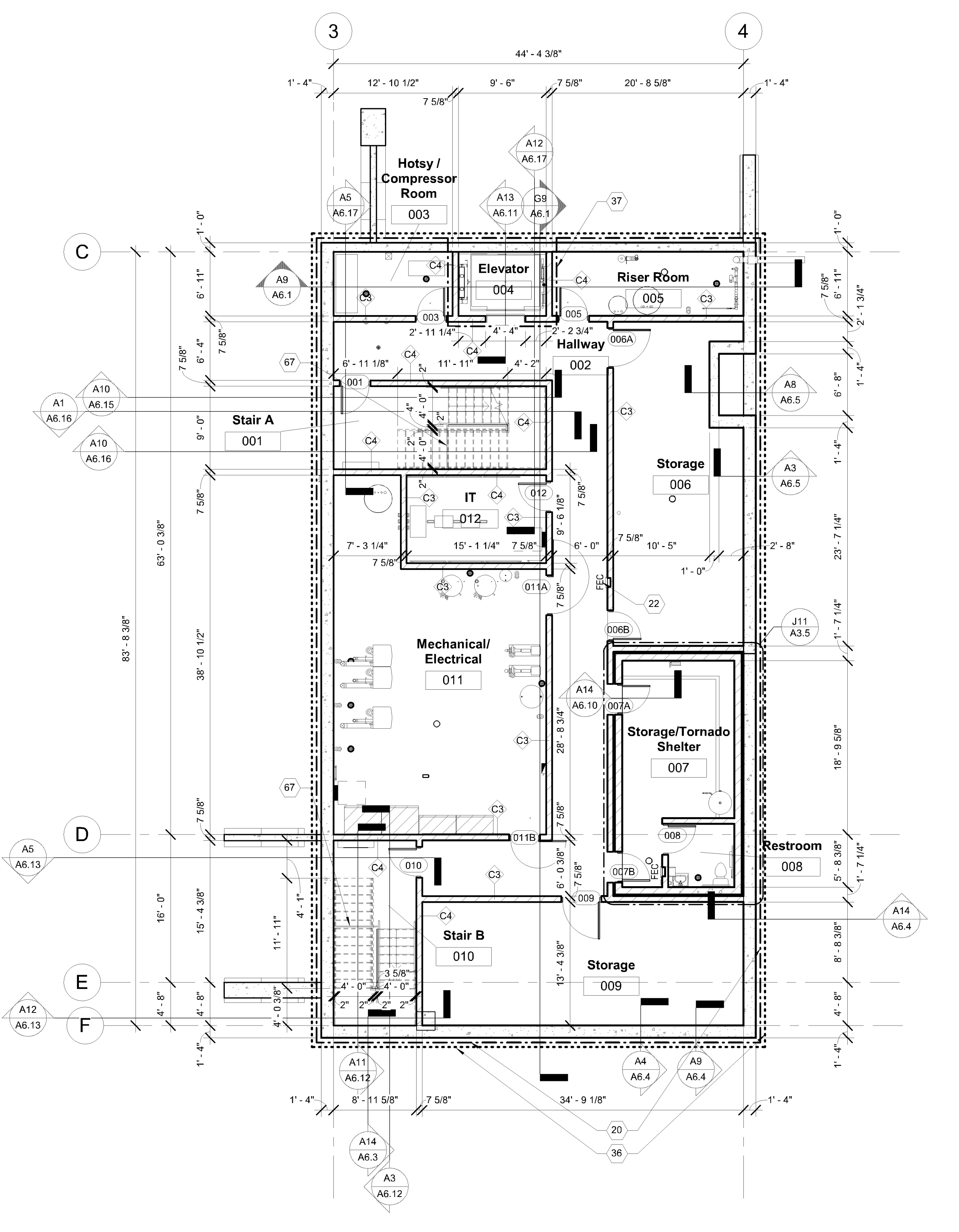
Floor Plan Notes:	
See Detail Book and Specifications for gypsum board control joint locations and detailing. Verify location in large rooms with Architect.	

Floor Plan Legend:	
	Existing wall
	New wall, see tag for type
	Existing door
	New Door

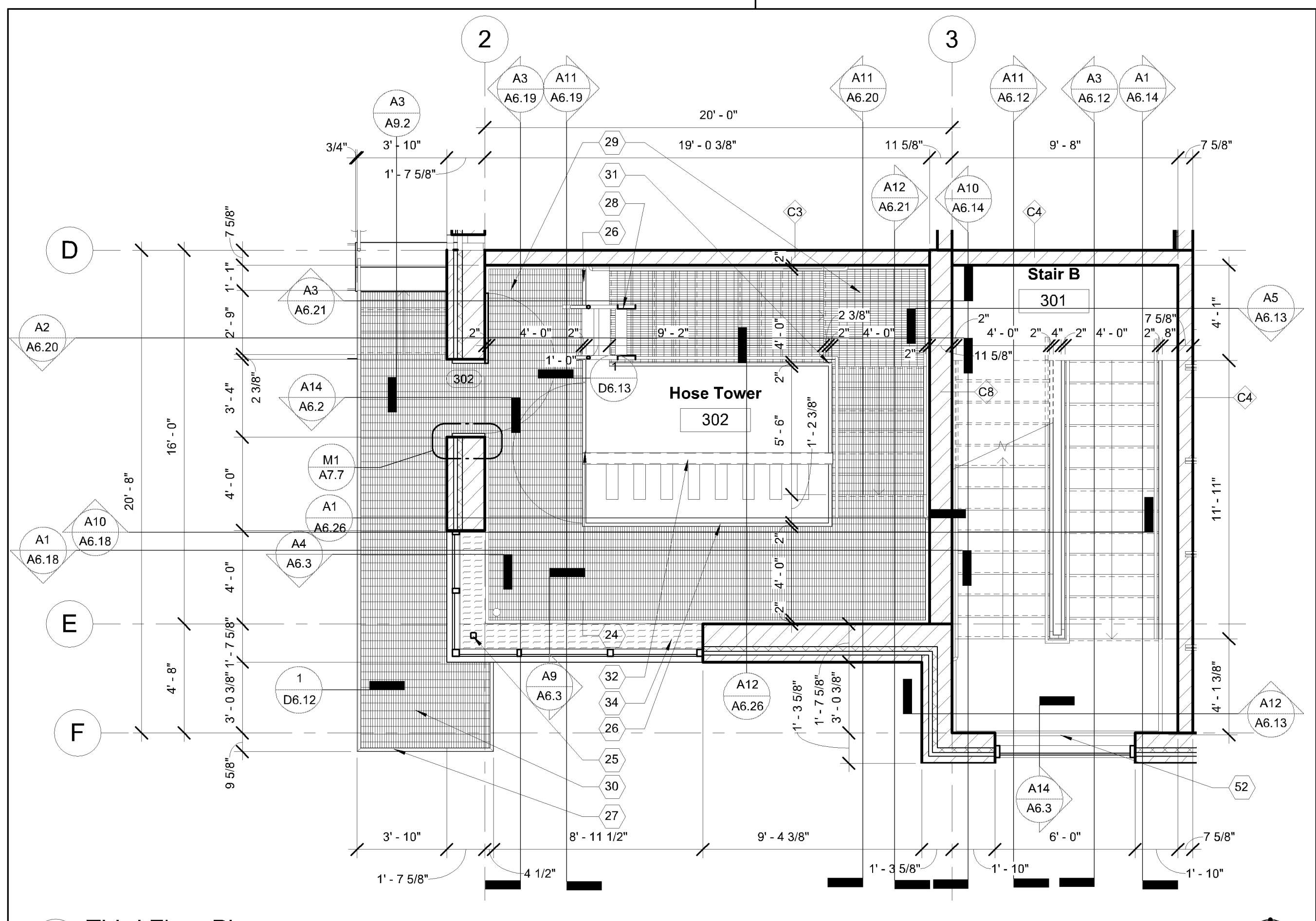
A1 Second Floor Plan
A3.2 1/8" = 1'-0"

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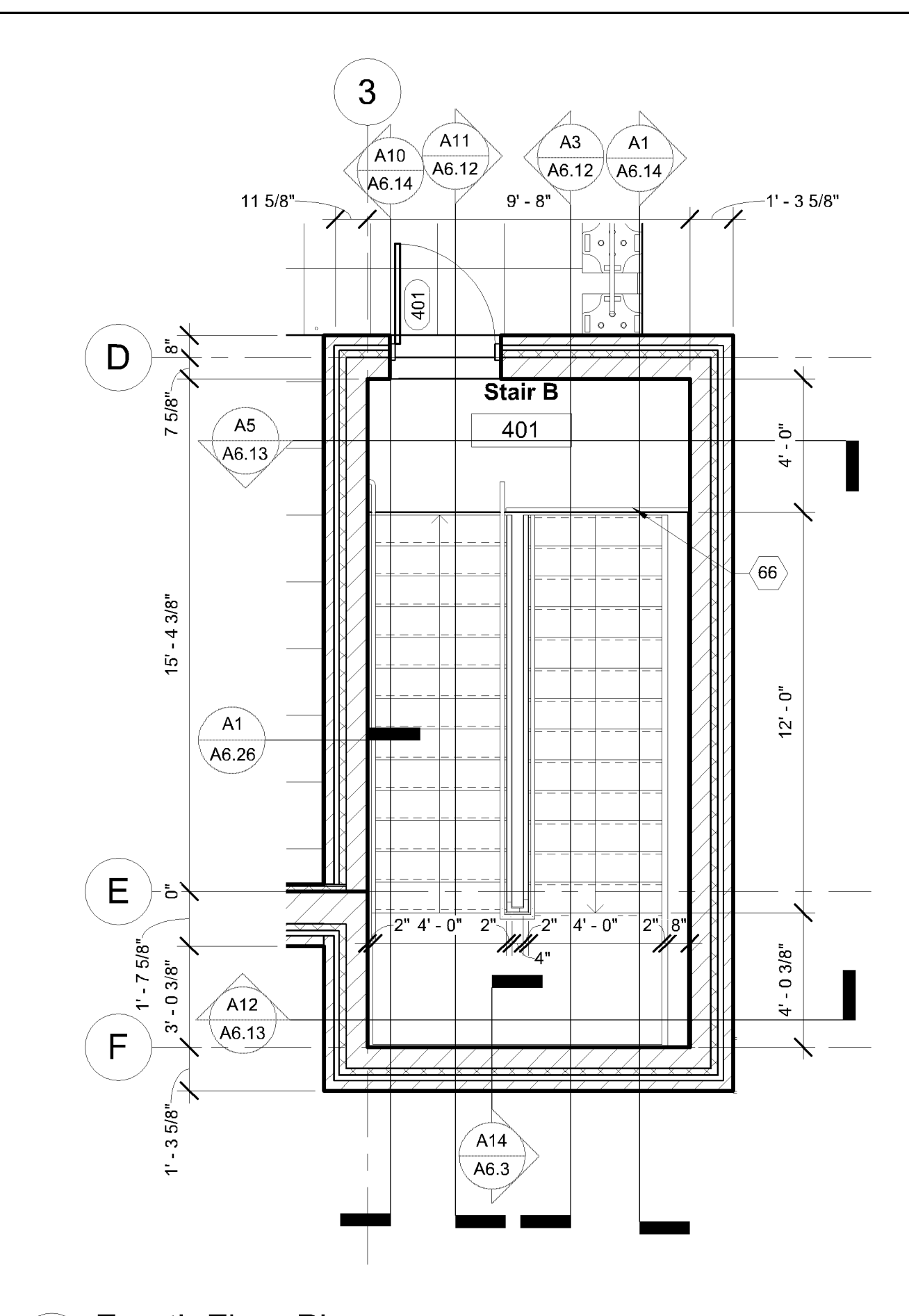
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G10 Basement Floor Plan
A3.3 1/8" = 1'-0"



A6 Third Floor Plan
A3.3 1/4" = 1'-0"



A13 Fourth Floor Plan
A3.3 1/4" = 1'-0"

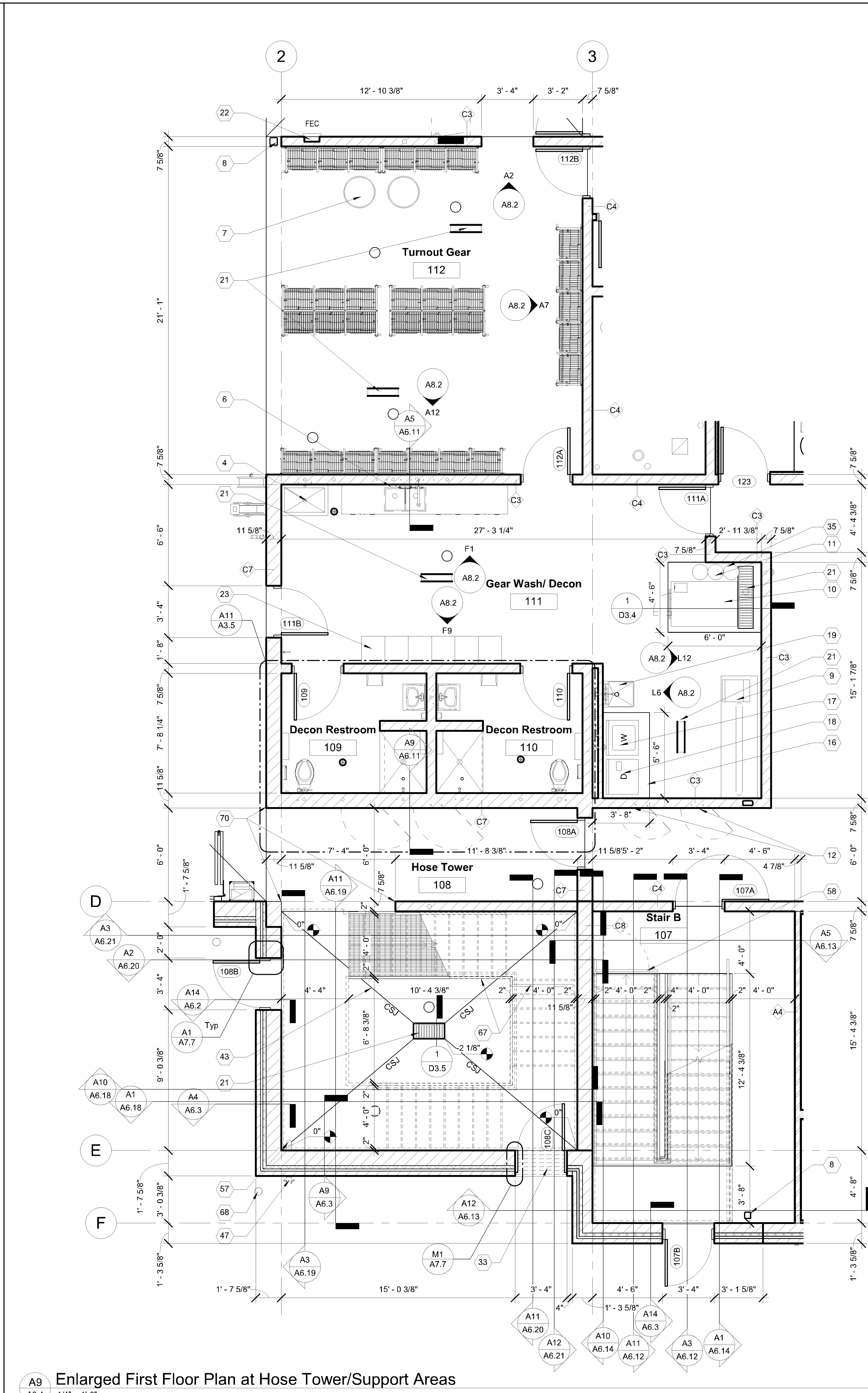
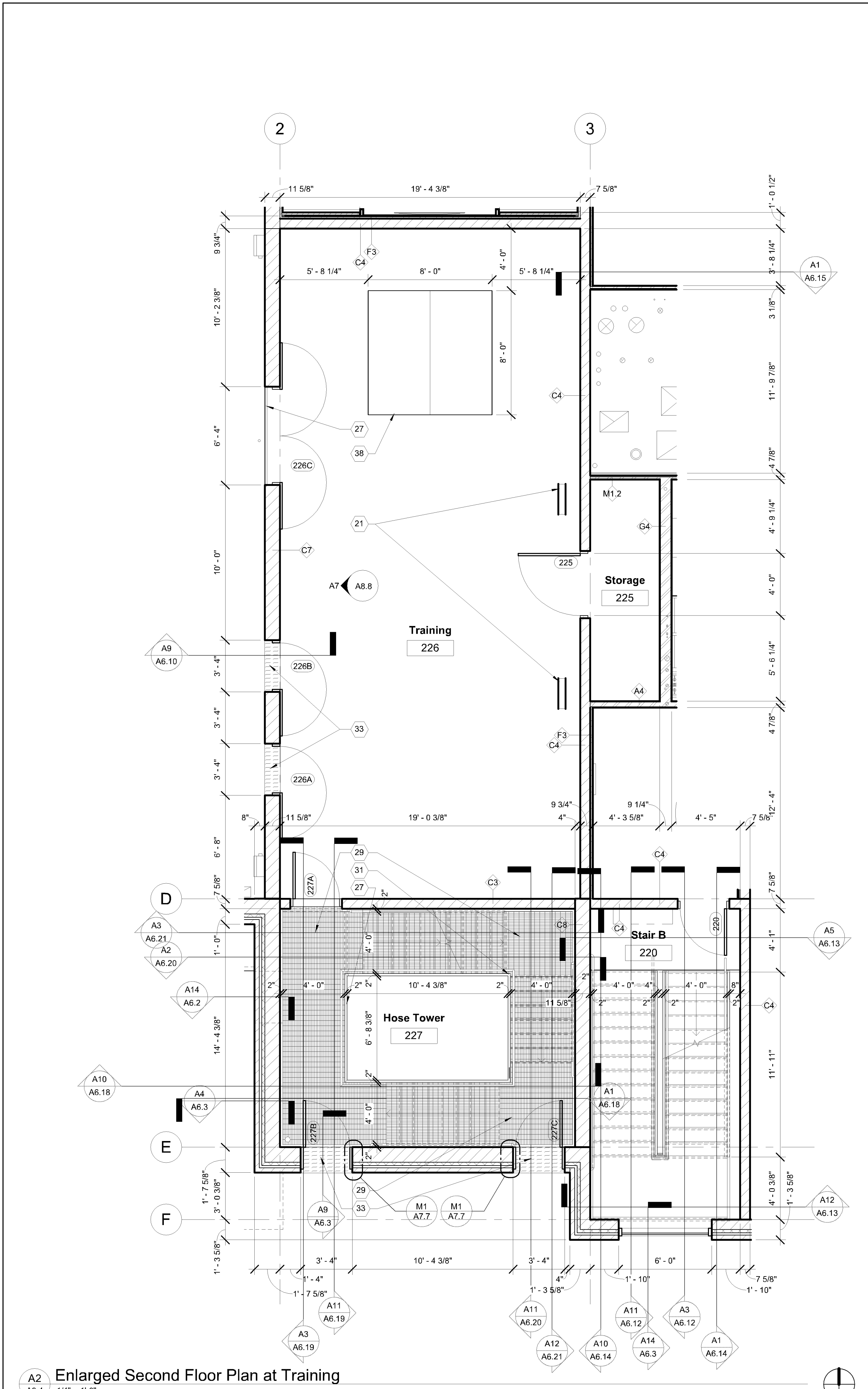
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6	Eye wash, see Mechanical
7	Flammable waste separator, see Mechanical drawings
8	Steel column, see Structural drawings, paint
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16	Raised 4" concrete platform
17	Residential washer, provided by Owner and installed by Contractor
18	Residential dryer, provided by Owner and installed by Contractor
19	Utility sink, see Mechanical drawings
20	Waterproofing extents, see Details
21	Trench drain, see Mechanical drawings
22	Semi-recessed fire extinguisher cabinet
23	Triple tier metal lockers
24	Galvanized guardrail gate
25	Galvanized steel column, see Structural drawings; paint with HPC
26	Galvanized guardrail
27	Galvanized guardrail, paint with HPC
28	Galvanized steel ships ladder
29	Galvanized metal grating stair landing
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39	Concrete floor, slope to drain
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41	Floor drain, see Mechanical drawings; do not slope floor this location
42	Floor drain, see Mechanical drawings; slope floor to drain
43	Concrete floor, slope to drain; separate pour at each construction joint (CSJ)
44	4' x 5' prefinished curb at shower
45	Toilet accessories this room, provided by Owner and installed by Contractor; except handicap grab bars to be provided and installed by Contractor
46	Toilet accessories this room, provided by Owner and installed by Contractor
47	Fire department connection (FDC), see Mechanical drawings
48	Shower floor; slope 1/2" to drain
49	Shower floor; slope 1/4" to drain
50	Provide blocking in walls for future handicap grab bars
51	Dorm locker
52	Guardrail between window jambs this location
53	Patio grill, provided by Owner; installed by Contractor
54	Television by Owner, provide backing for bracket mounting at metal stud walls
55	Tempered mirror
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63	Vending machine, provided by Owner
64	Frame type F1; paint
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66	Guardrail at landing; paint
67	Cane detection railing below stairs with top rail at 2'-3" maximum
68	6" steel bollard with cover sleeve
69	Surface-mounted adjustable shelving standards with bracket supports; provide (5) 1" thick plastic laminate shelves
70	Stainless steel corner guard
71	Fire box, provided by Owner; installed by Contractor
72	Shower rod and curtain
73	Solid surface window sill
74	First aid kit, provided by Owner
75	Seal all gaps in wall at top of wall for sound separation this room

Floor Plan Notes:
See Detail Book and Specifications for gypsum board control joint locations and detailing. Verify location in large rooms with Architect.

Floor Plan Legend:	
[Symbol]	Existing wall
[Symbol]	New wall, see tag for type
[Symbol]	Existing door
[Symbol]	New Door

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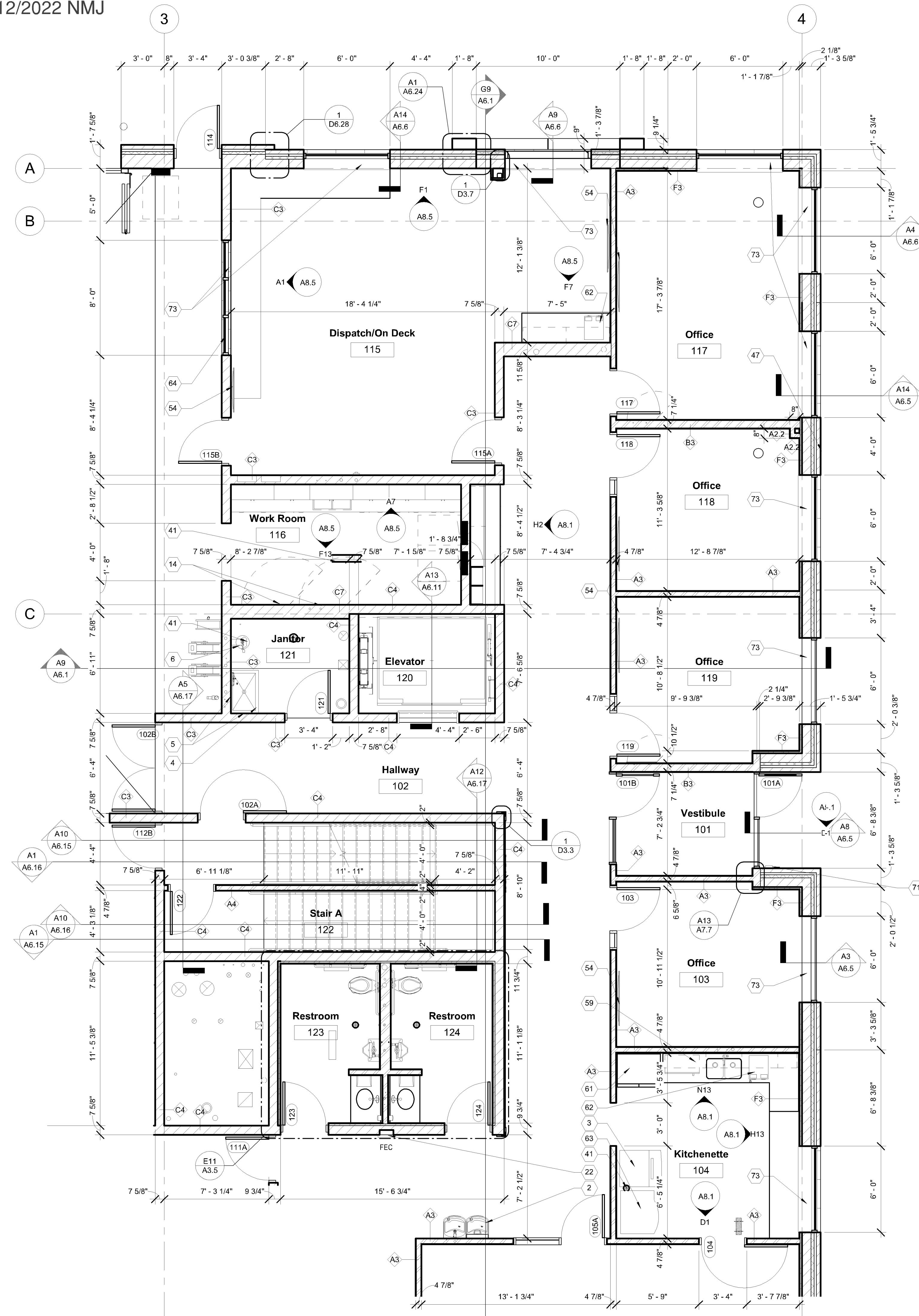
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34	Stainless steel checkplate window sill
35	Raised 12" concrete platform
36	Drain tile extents; see Details; see Civil drawings
37	Drain tile extents at elevator pit; see Details; see Civil drawings
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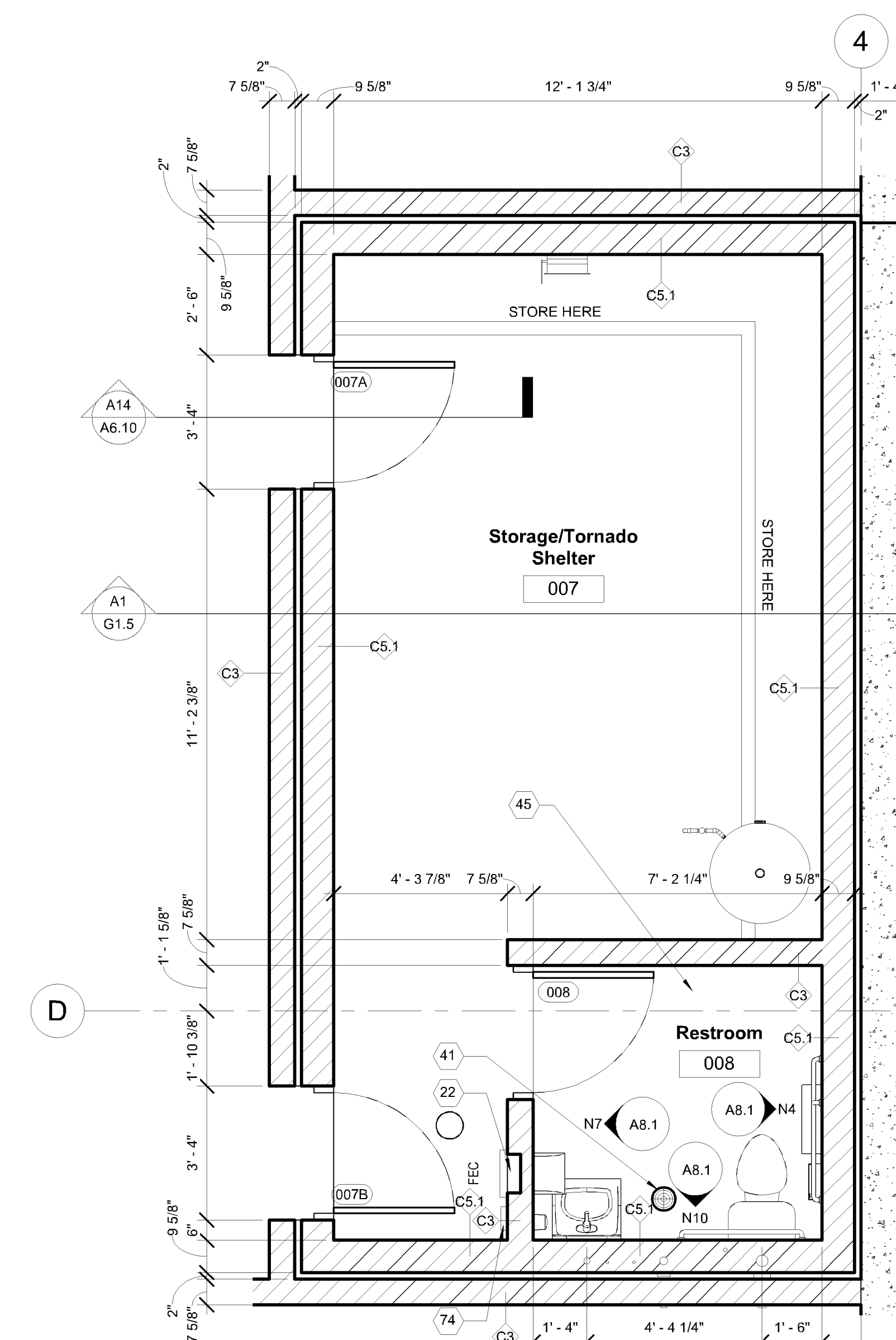
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	New Door

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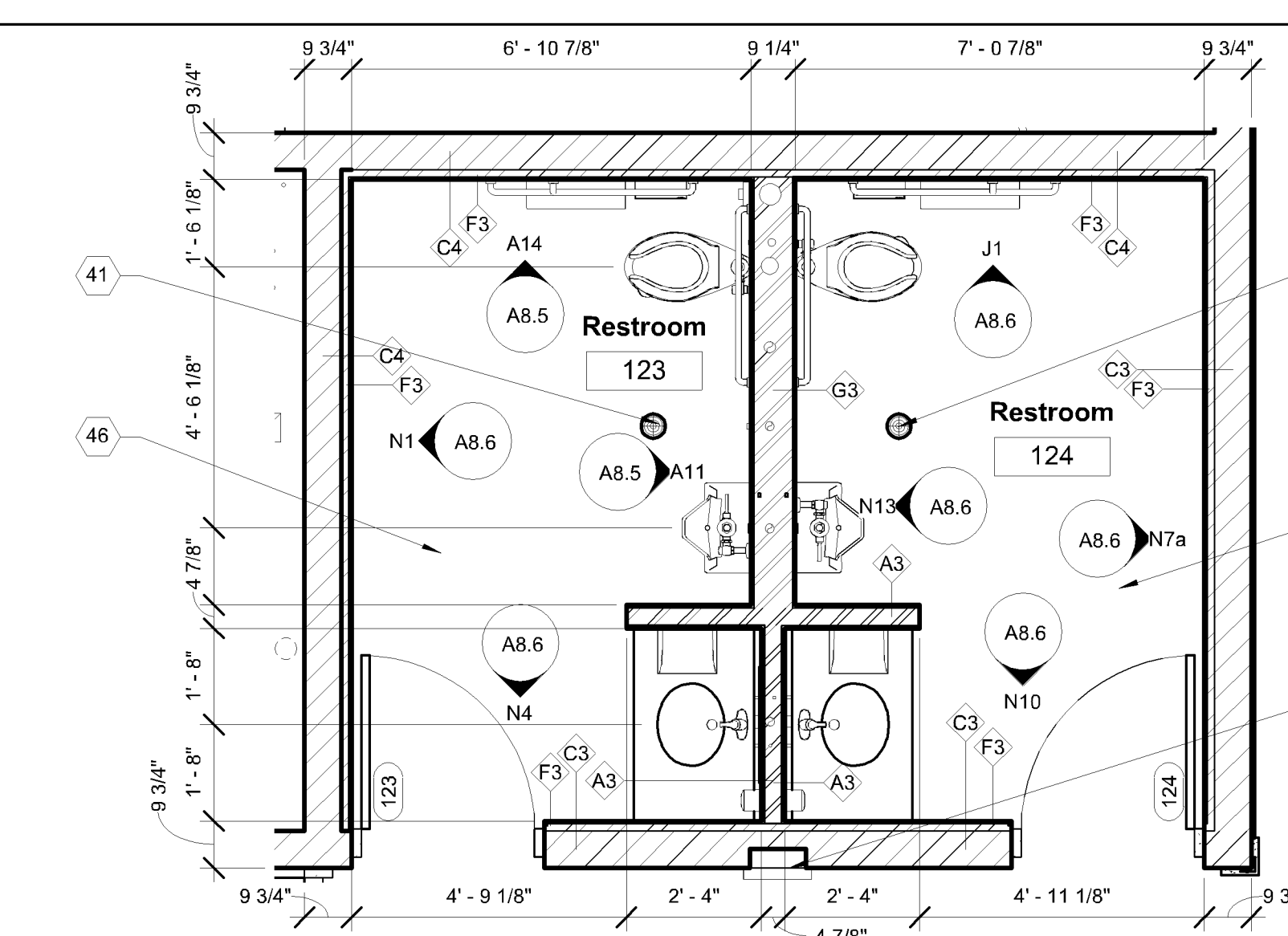
APPROVED
Zoning Review Only
04/12/2022 NMJ



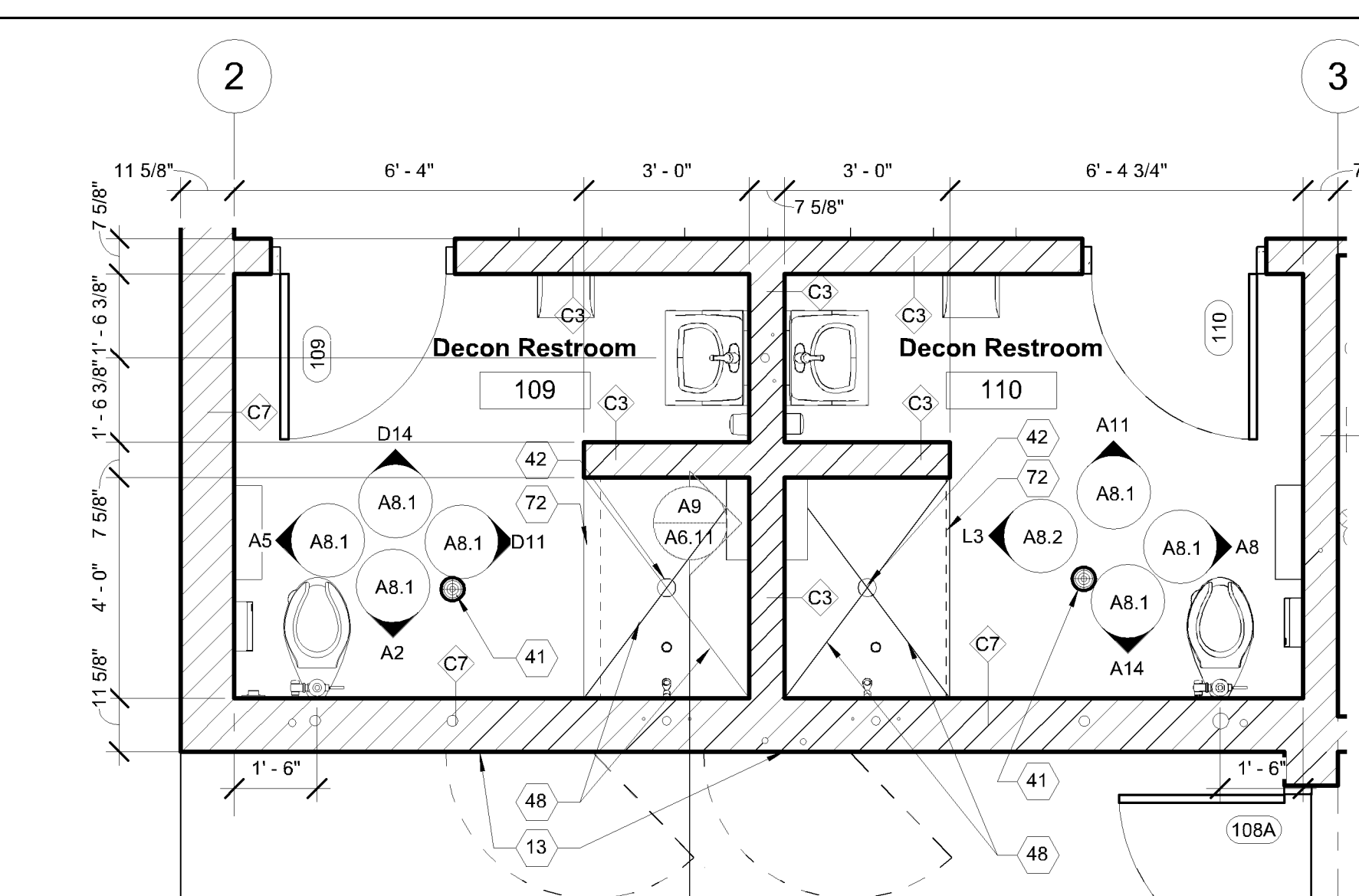
A1
A3.5 1/4" = 1'-0"

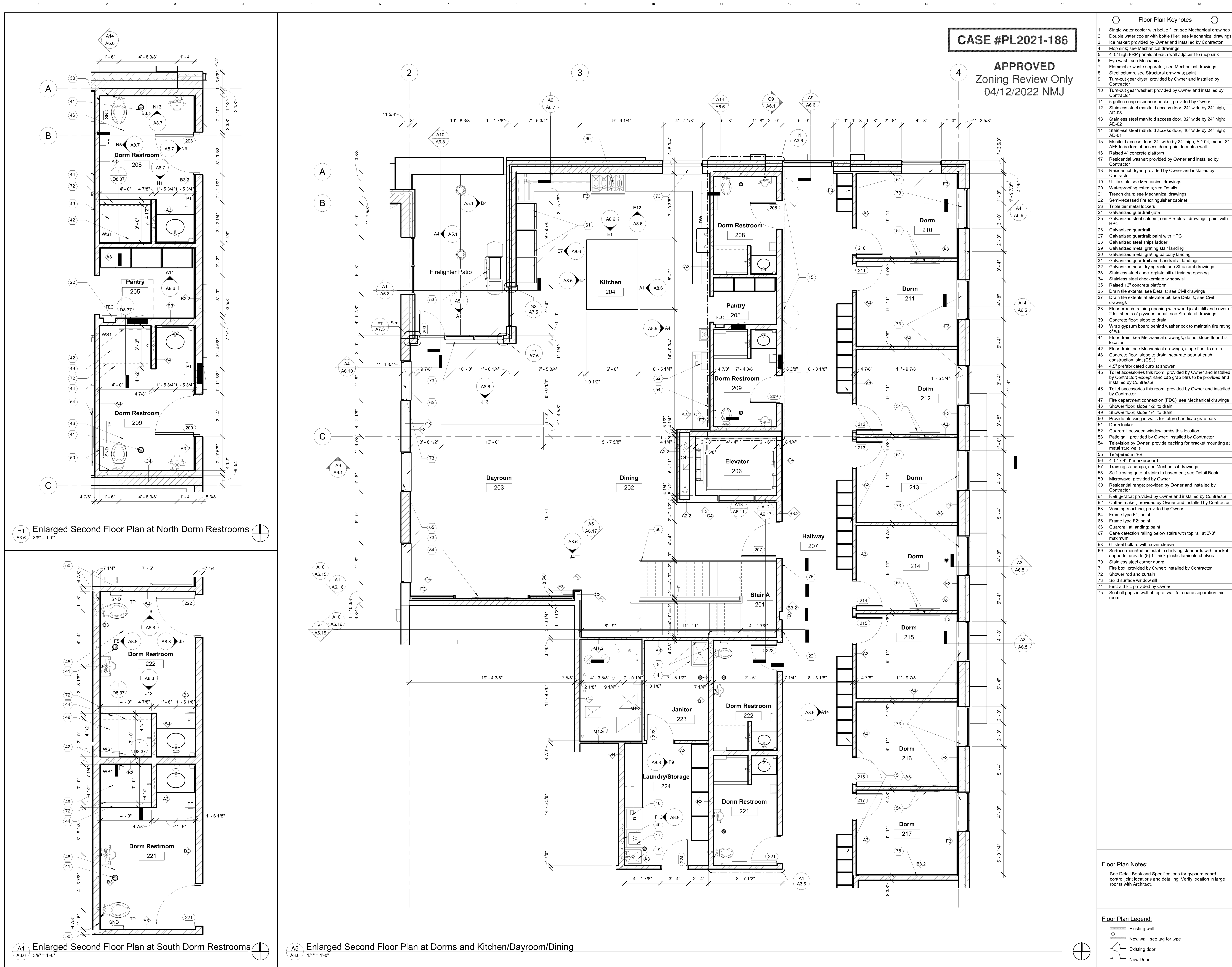


J11
A3.5 3/8" = 1'-0"



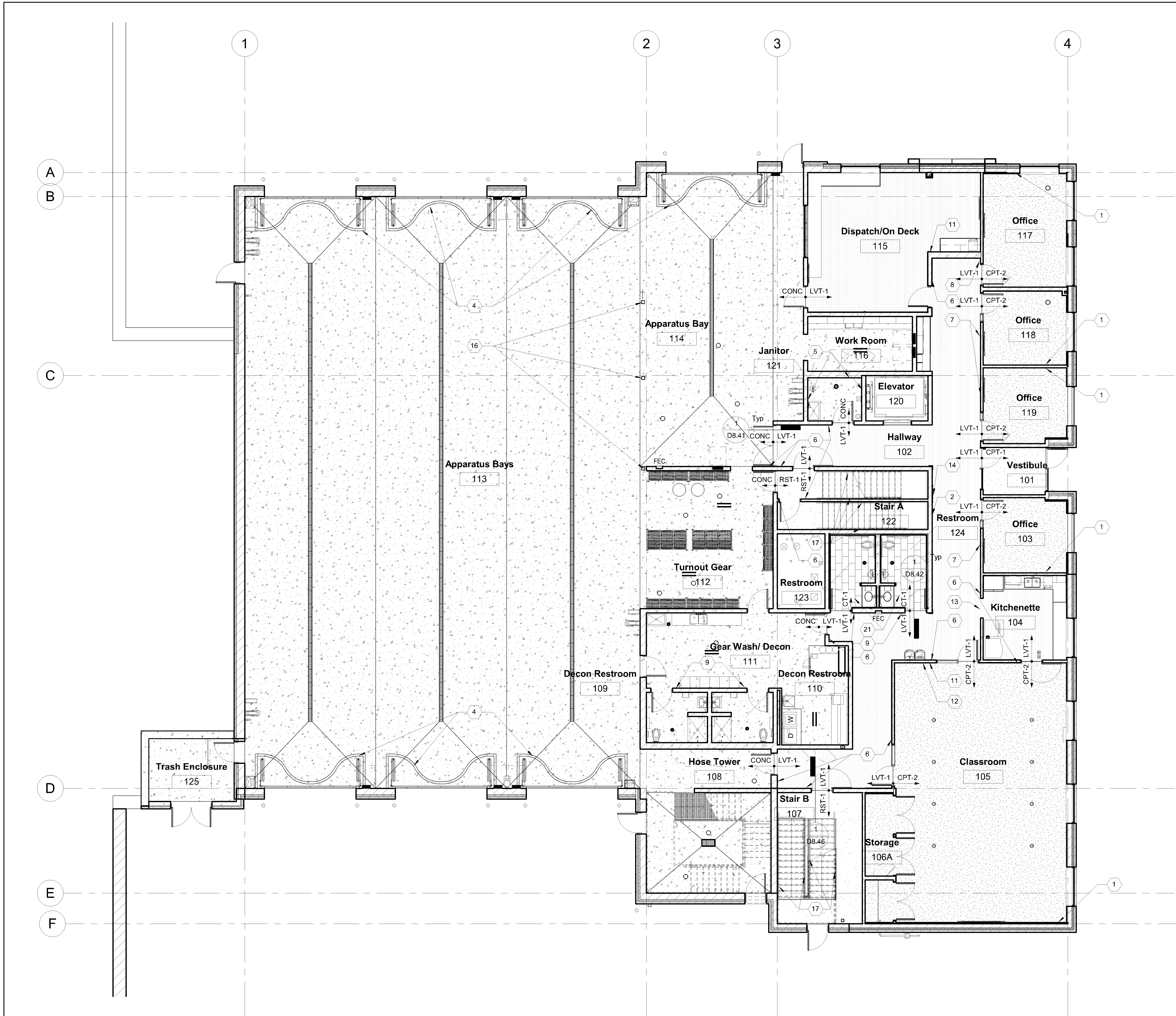
E11
A3.5 3/8" = 1'-0"





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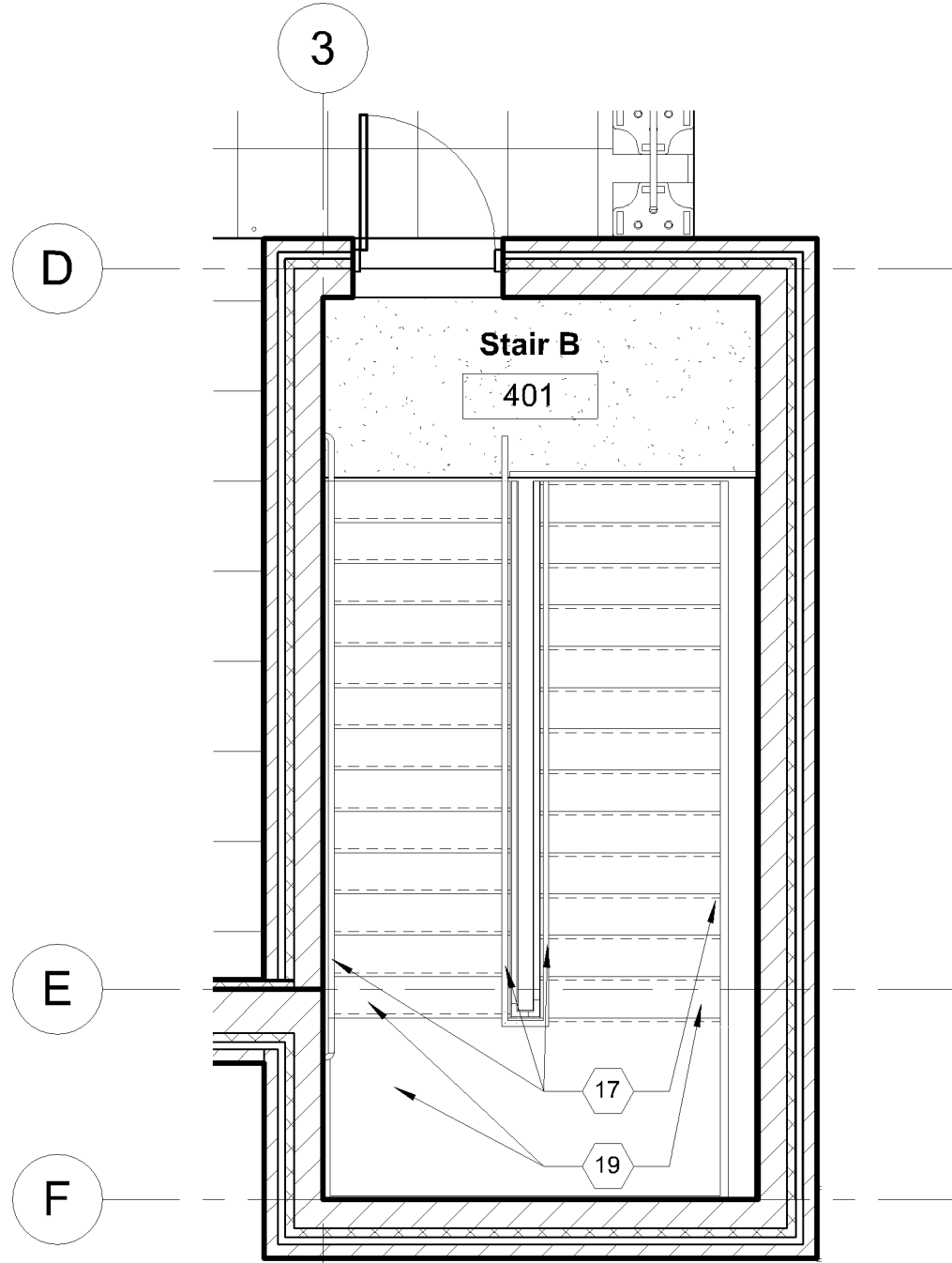
A3.7 First Floor Finish Plan
1/8" = 1'-0"

Finish Floor Plan Keynotes	
1	Coat wall with PT-2; see Room Finish Schedule and Interior Elevations for coating type
2	Coat wall with PT-1 and PT-2; see Room Finish Schedule and Interior Elevations for coating type
3	Coat wall with PT-4; see Room Finish Schedule and Interior Elevations for coating type
4	Apparatus bay striping to follow path of four-fold door, 4" stripes, PT-7
5	Coat wall with PT-5; see Room Finish Schedule and Interior Elevations for coating type
6	Interior Signage Type IS-1
7	Interior Signage Type IS-2
8	Interior Signage Type IS-3
9	Interior Signage Type IS-4
10	Interior Signage Type IS-5
11	Interior Signage Type IS-6
12	Interior Signage Type IS-7
13	Interior Signage Type IS-8
14	Interior Signage Type IS-9
15	Manufactured stone veneer, MSV-1
16	Coat steel column with PT-2 with HPC finish
17	Coat railings and stringers with PT-3
18	Galvanized grate treads, landings, and balcony this room, GG-1
19	Rubber stair tread and landing this room; RSTL-1
20	4" floor striping with 4" text, PT-7
21	Provide waterproofing under ceramic tile entire room

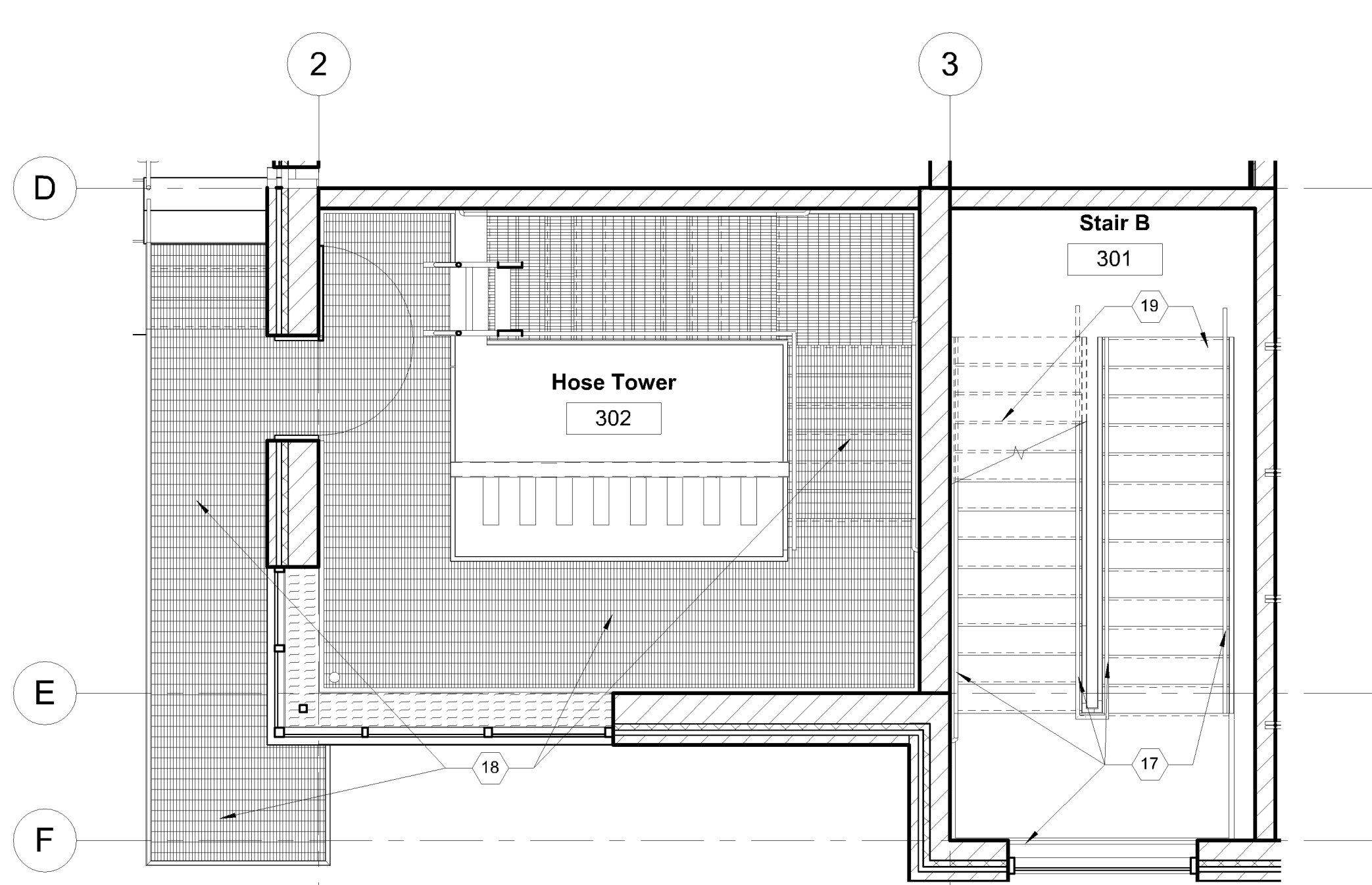
Floor Plan Notes:
See Detail Book and Specifications for gypsum board control joint locations and detailing. Verify location in large rooms with Architect.

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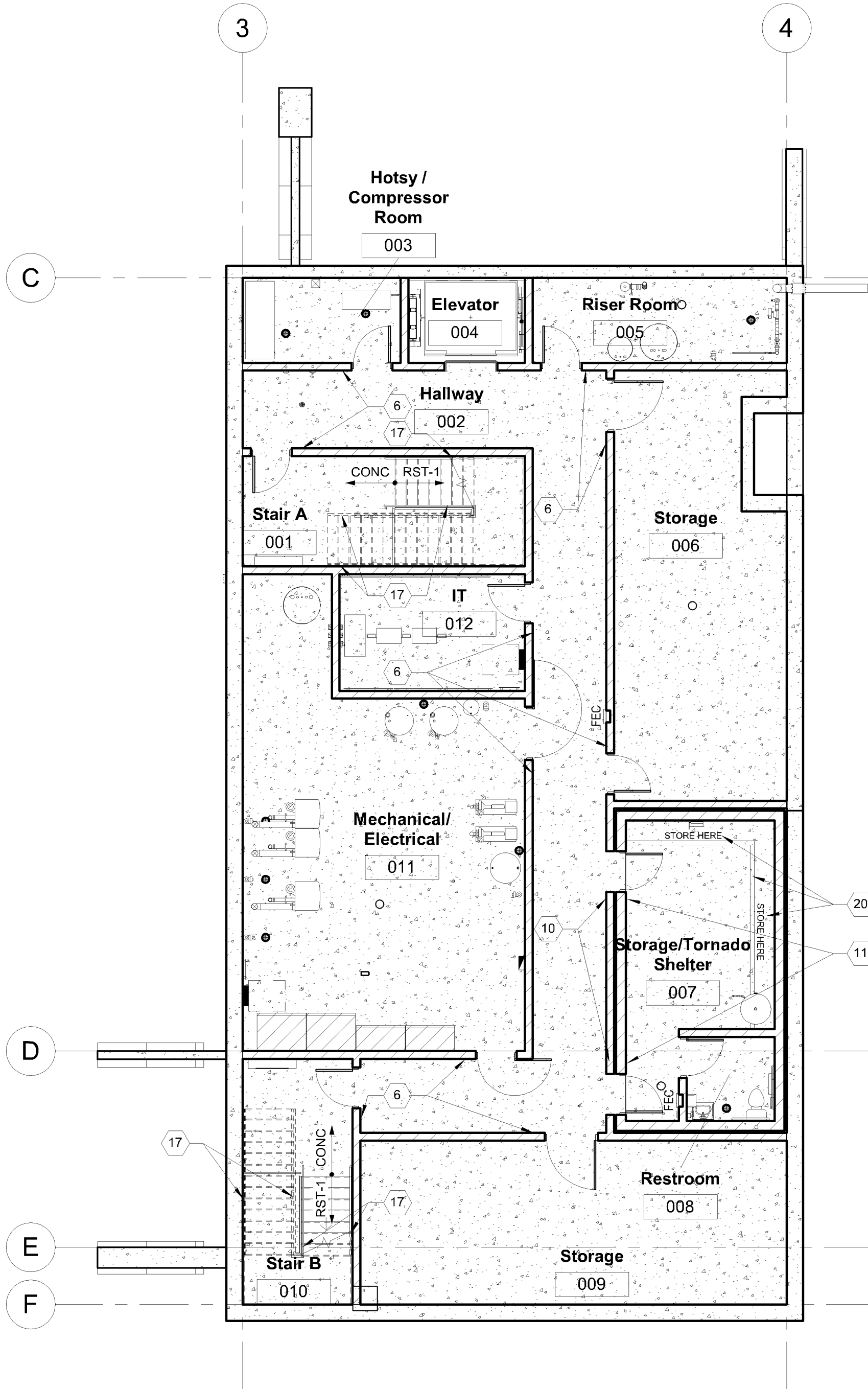
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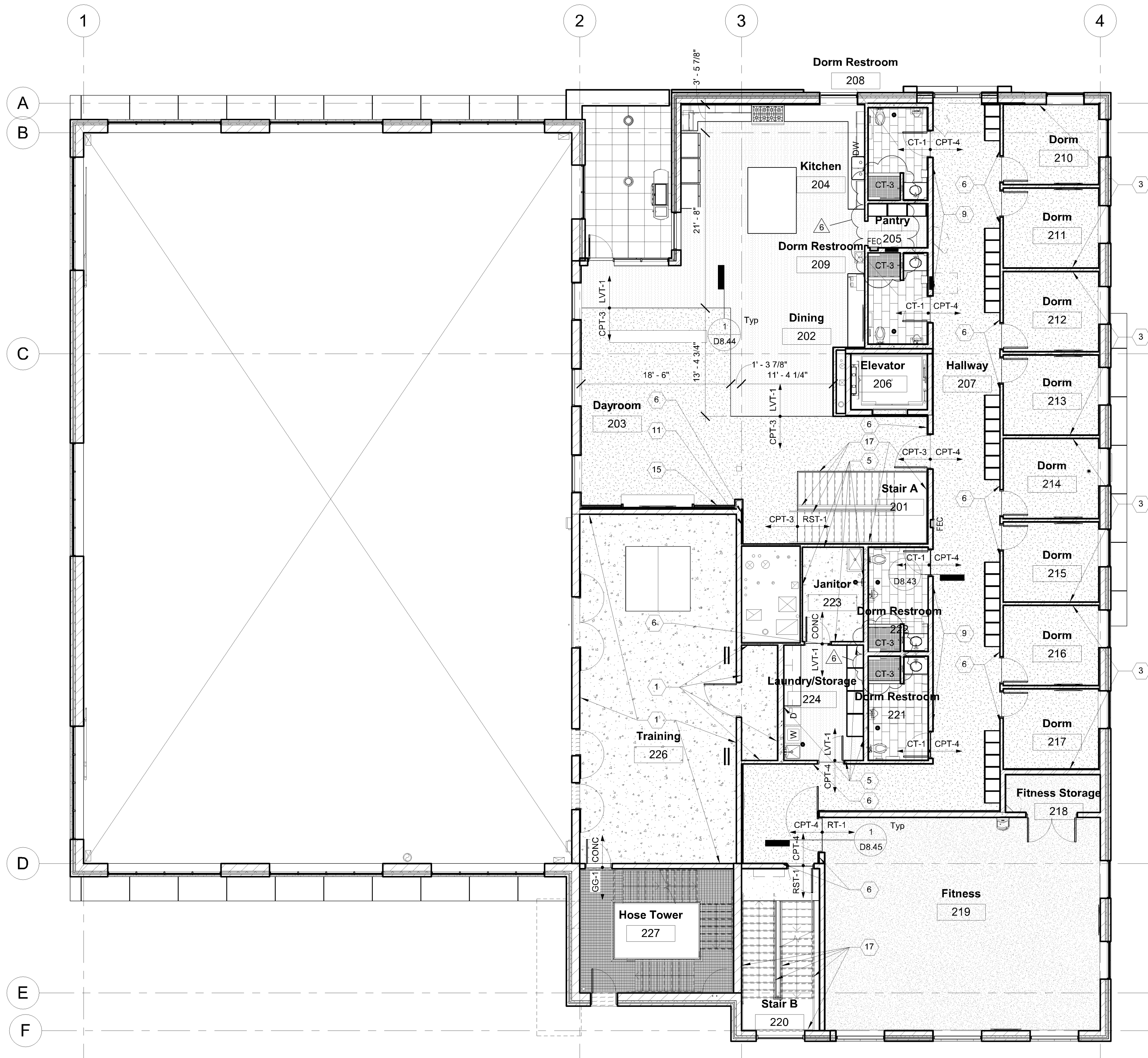
M7 Fourth Floor Finish Plan
A3.8 1/4" = 1'-0"



M11 Third Floor Finish Plan
A3.8 1/4" = 1'-0"



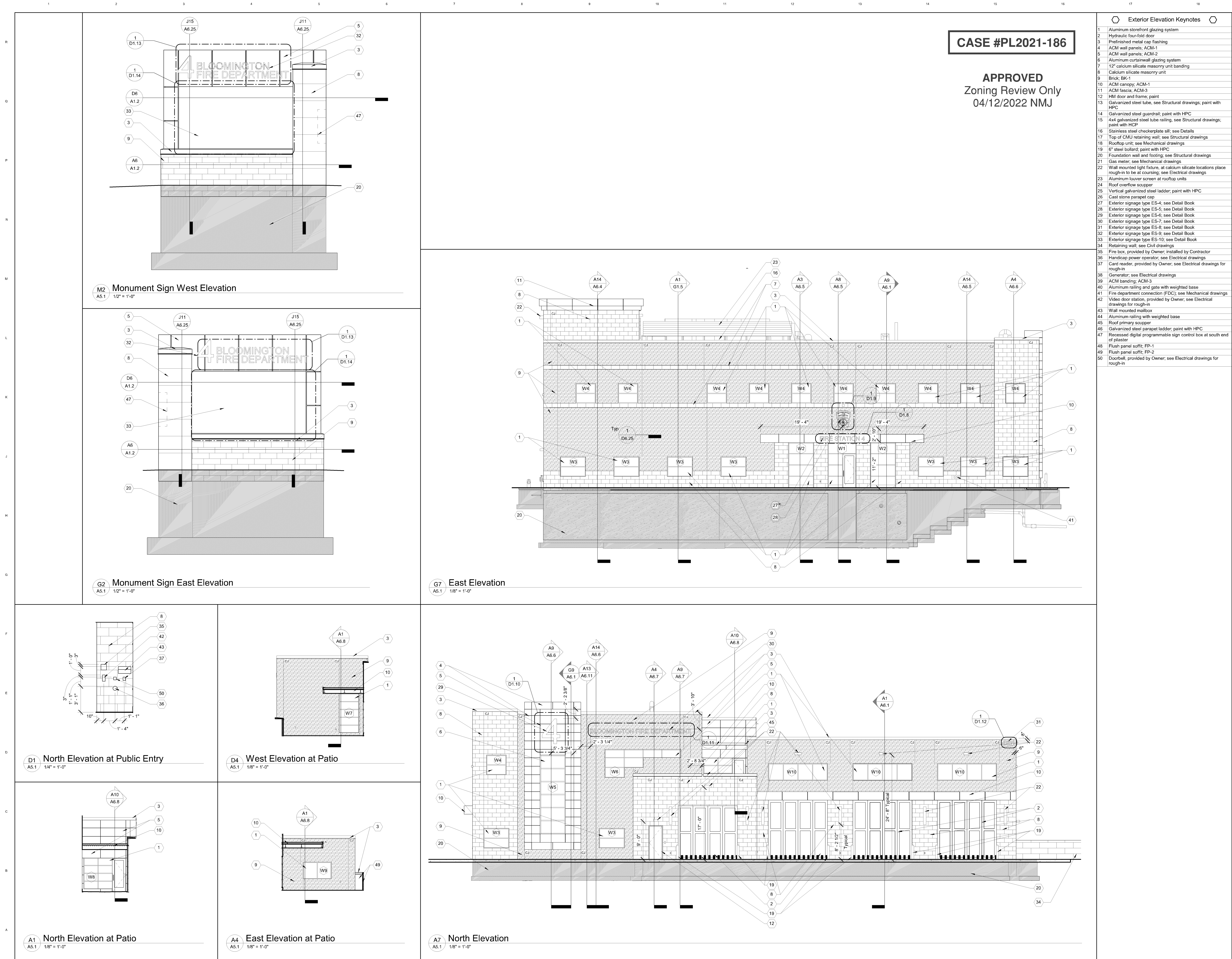
A1 Basement Floor Finish Plan
A3.8 1/8" = 1'-0"



A7 Second Floor Finish Plan
A3.8 1/8" = 1'-0"

Finish Floor Plan Keynotes
1 Coat wall with PT-2; see Room Finish Schedule and Interior Elevations for coating type
2 Coat wall with PT-1 and PT-2; see Room Finish Schedule and Interior Elevations for coating type
3 Coat wall with PT-4; see Room Finish Schedule and Interior Elevations for coating type
4 Apparatus bay striping to follow path of four-fold door, 4" stripes, PT-7
5 Coat wall with PT-5; see Room Finish Schedule and Interior Elevations for coating type
6 Interior Signage Type IS-1
7 Interior Signage Type IS-2
8 Interior Signage Type IS-3
9 Interior Signage Type IS-4
10 Interior Signage Type IS-5
11 Interior Signage Type IS-6
12 Interior Signage Type IS-7
13 Interior Signage Type IS-8
14 Interior Signage Type IS-9
15 Manufactured stone veneer, MSV-1
16 Coat steel column with PT-2 with HPC finish
17 Coat railings and stringers with PT-3
18 Galvanized grate treads, landings, and balcony this room, GG-1
19 Rubber stair tread and landing this room; RSTL-1
20 4" floor striping with 4" text; PT-7
21 Provide waterproofing under ceramic tile entire room

Floor Plan Notes:
See Detail Book and Specifications for gypsum board control joint locations and detailing. Verify location in large rooms with Architect.

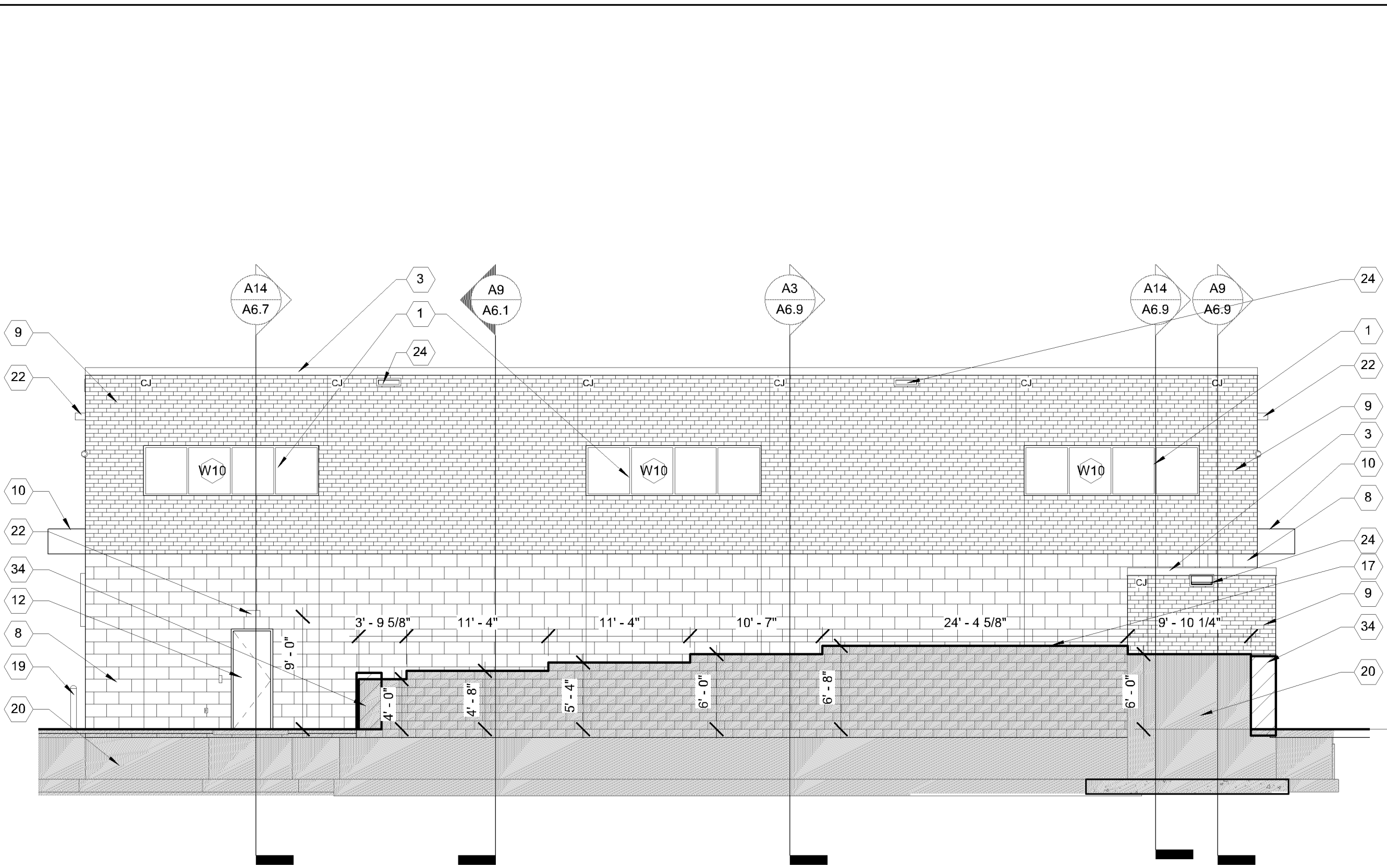


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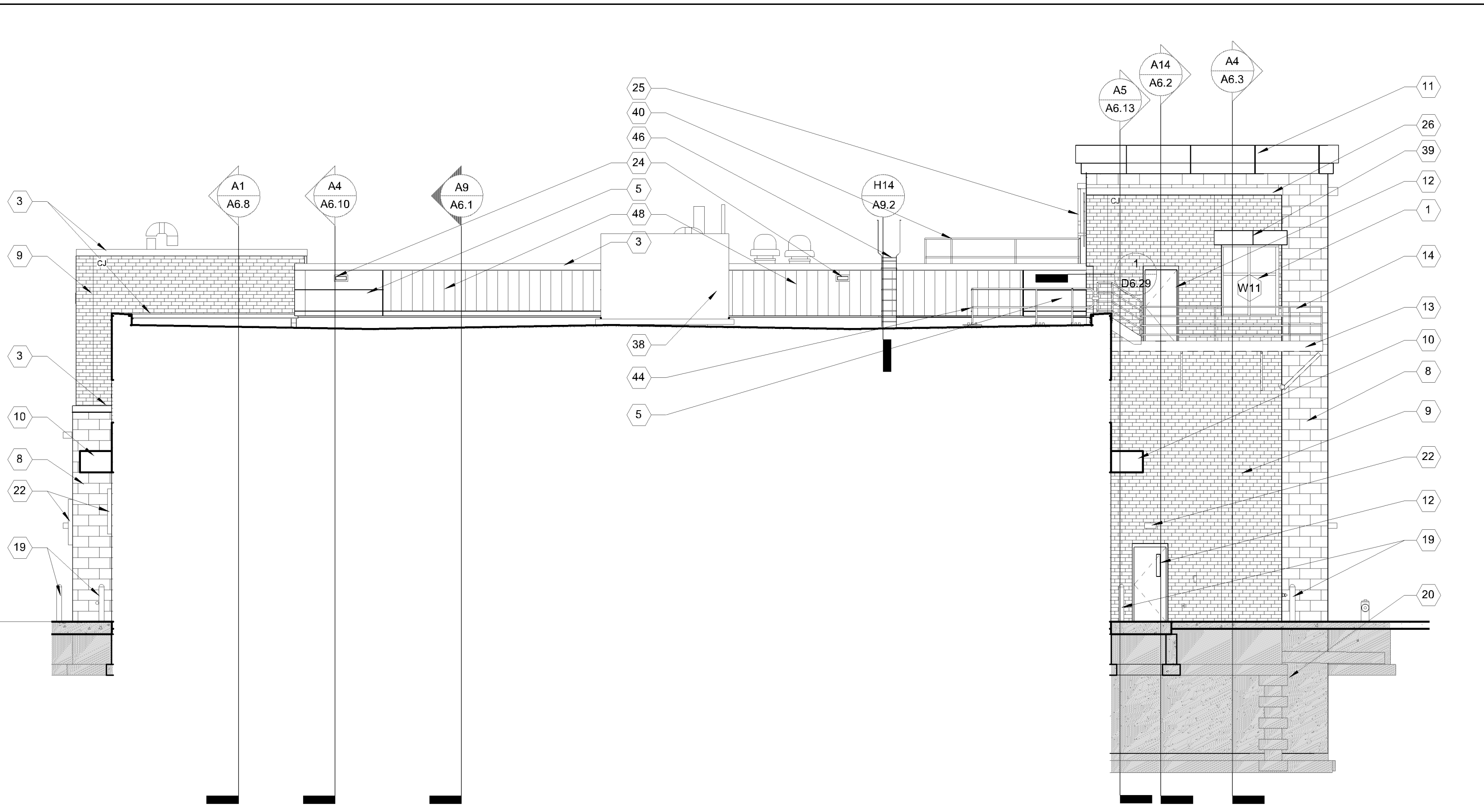
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Exterior Elevation Keynotes

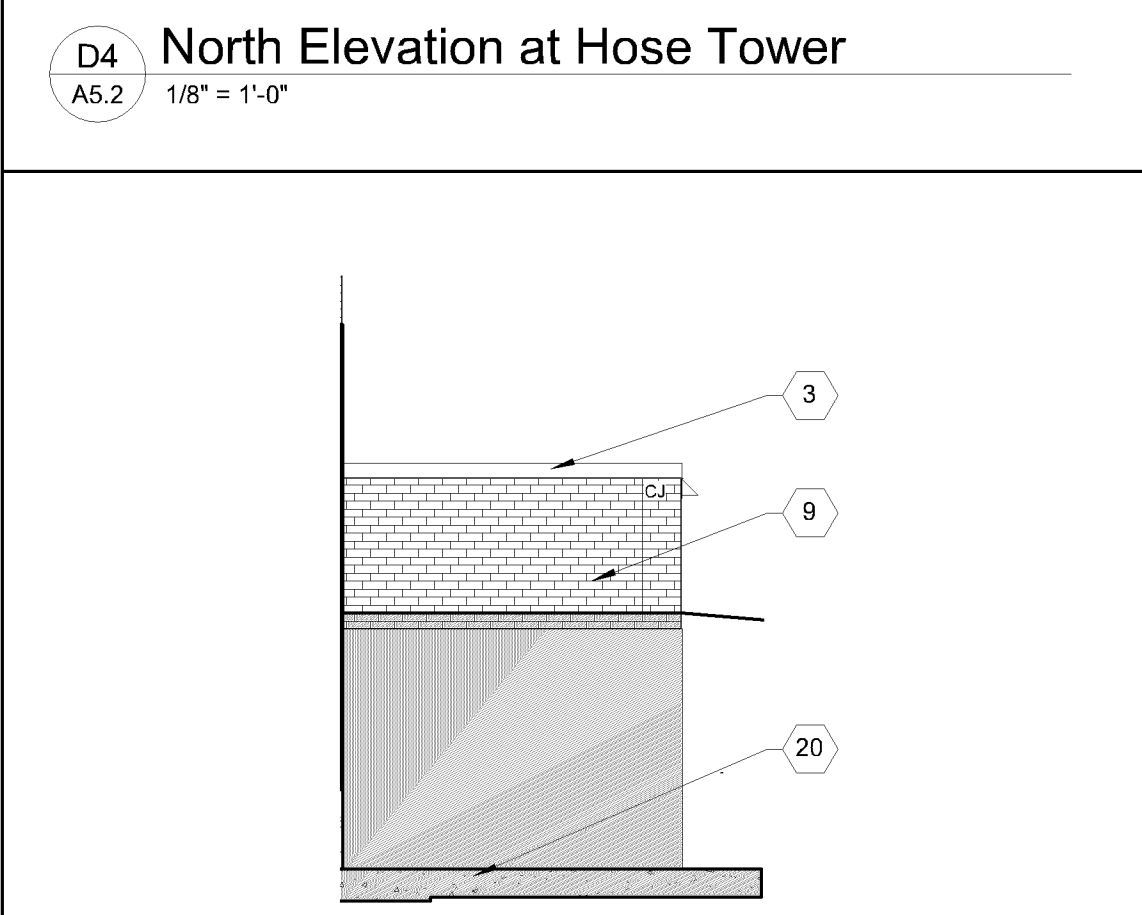
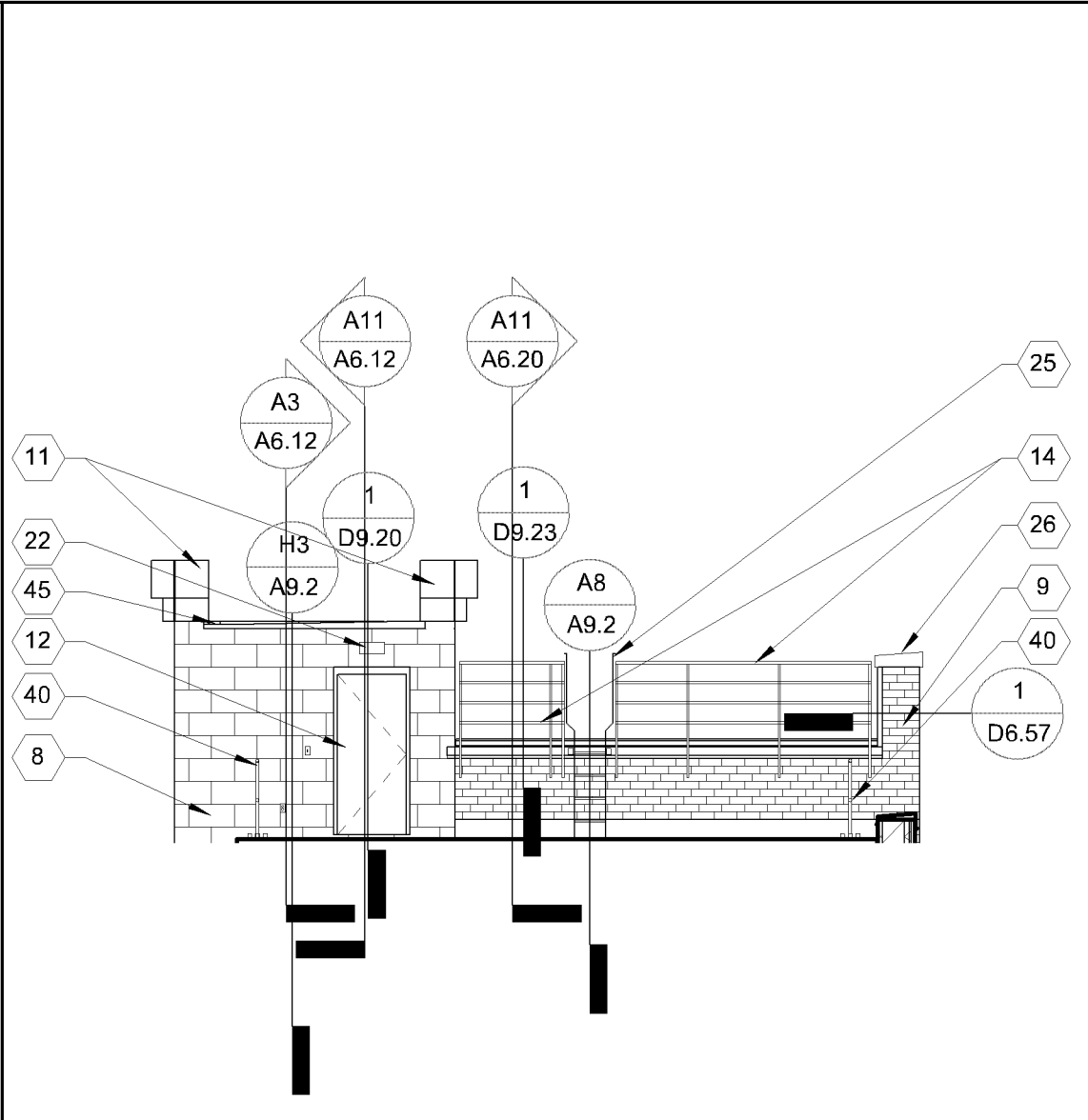
- Aluminum storefront glazing system
- Hydraulic four-fold door
- Prefinished metal cap flashing
- ACM wall panels; ACM-1
- ACM wall panels; ACM-2
- Aluminum curtainwall glazing system
- 12" calcium silicate masonry unit banding
- Calcium silicate masonry unit
- Brick; BK-1
- ACM canopy; ACM-1
- ACM fascia; ACM-3
- HM door and frame; paint
- Galvanized steel tube, see Structural drawings; paint with HPC
- Galvanized steel guardrail; paint with HPC
- 4x4 galvanized steel tube railing, see Structural drawings; paint with HCP
- Stainless steel checkerplate sill; see Details
- Top of CMU retaining wall; see Structural drawings
- Rooftop unit; see Mechanical drawings
- 6" steel bollard; paint with HPC
- Foundation wall and footing, see Structural drawings
- Gas meter; see Mechanical drawings
- Wall mounted light fixture, at calcium silicate locations place rough-in to be at coursing; see Electrical drawings
- Aluminum louver screen at rooftop units
- Road overflow scupper
- Vertical galvanized steel ladder; paint with HPC
- Cast stone parapet cap
- Exterior signage type ES-4; see Detail Book
- Exterior signage type ES-5; see Detail Book
- Exterior signage type ES-6; see Detail Book
- Exterior signage type ES-7; see Detail Book
- Exterior signage type ES-8; see Detail Book
- Exterior signage type ES-9; see Detail Book
- Exterior signage type ES-10; see Detail Book
- Retaining wall; see Civil drawings
- Fire box, provided by Owner; installed by Contractor
- Handicap power operator; see Electrical drawings
- Card reader, provided by Owner; see Electrical drawings for rough-in
- Generator; see Electrical drawings
- ACM banding; ACM-3
- Aluminum railing and gate with weighted base
- Fire department connection (FDC); see Mechanical drawings
- Video door station, provided by Owner; see Electrical drawings for rough-in
- Wall mounted mailbox
- Aluminum railing with weighted base
- Road primary scupper
- Galvanized steel parapet ladder; paint with HPC
- Recessed digital programmable sign control box at south end of plaster
- Flush panel soffit; FP-1
- Flush panel soffit; FP-2
- Doorbell, provided by Owner; see Electrical drawings for rough-in



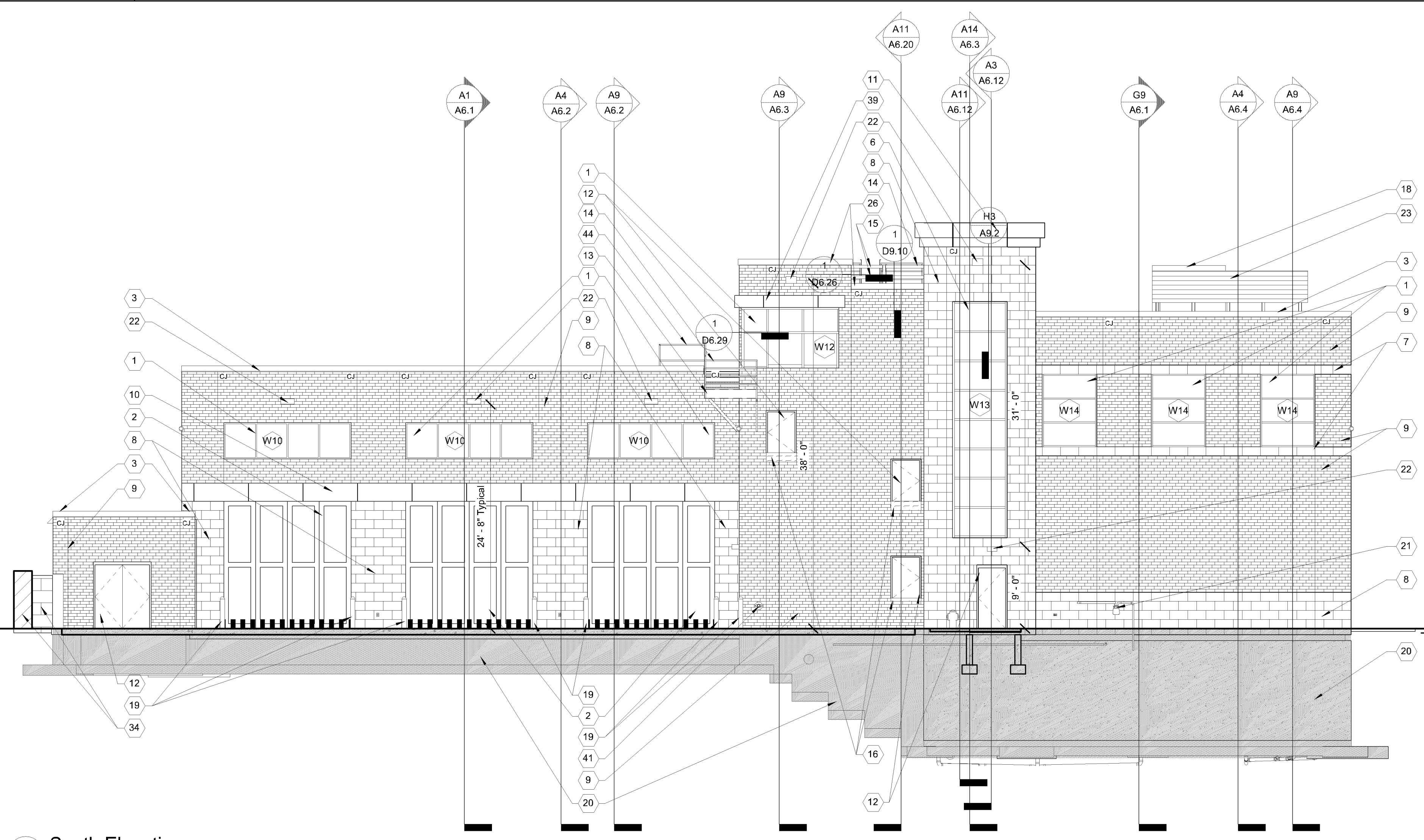
H1 West Elevation
A5.2 1/8" = 1'-0"



H8 West Elevation at Hose Tower
A5.2 1/8" = 1'-0"



A4 Trash Enclosure North Elevation
A5.2 1/8" = 1'-0"



A7 South Elevation
A5.2 1/8" = 1'-0"