

Building property shall be adequately signed for emergency response.

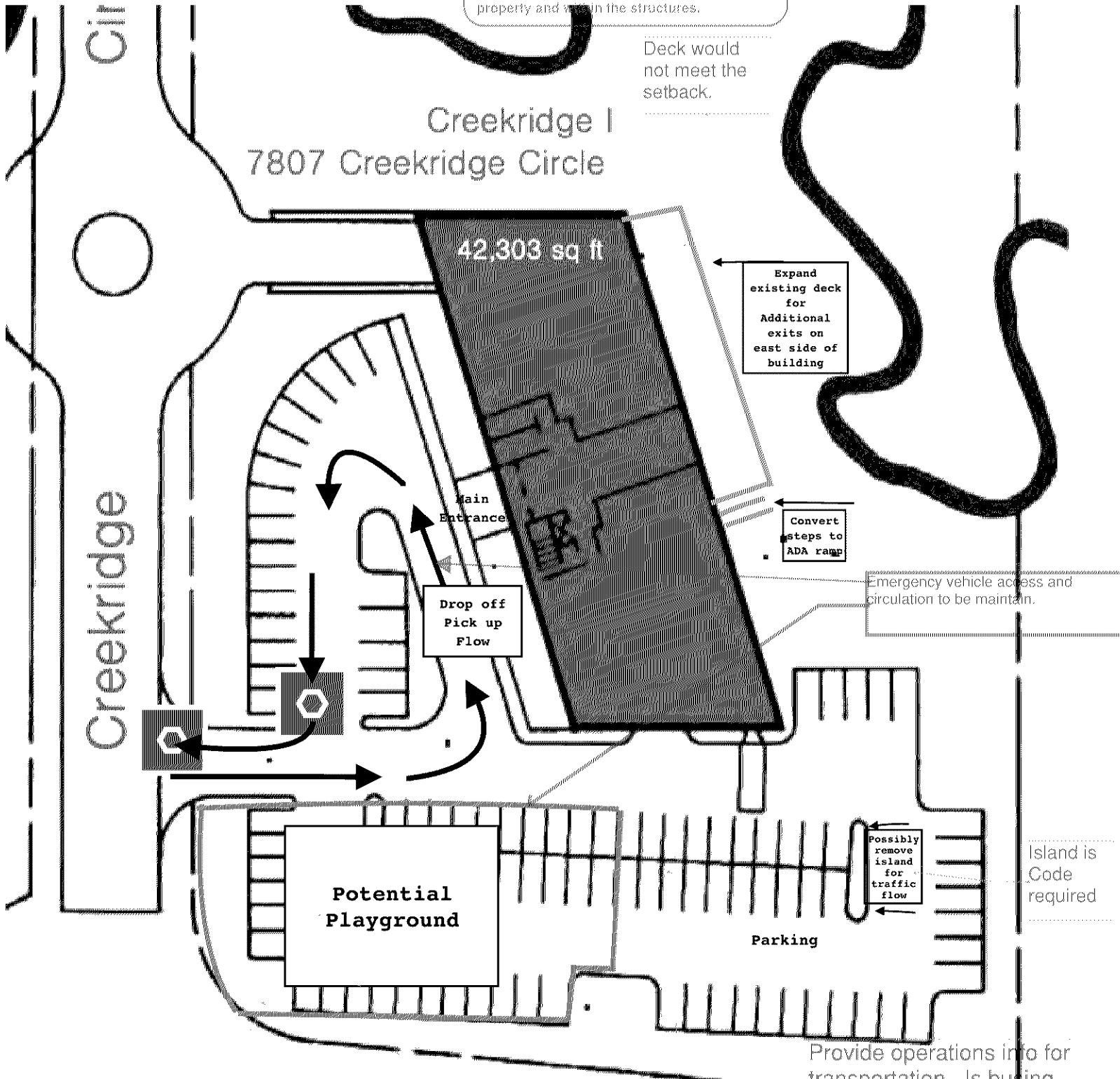
PL202200086

Provide adequate turning radius for all emergency vehicle access lanes.

Show property and easement lines.

Emergency responder radio coverage meeting the requirements of appendix L in the 2015 MSFC shall be provided throughout the property and within the structures.

Deck would not meet the setback.



Creekridge

Cir

Creekridge I
7807 Creekridge Circle

42,303 sq ft

Expand existing deck for Additional exits on east side of building

Convert steps to ADA ramp

Emergency vehicle access and circulation to be maintain.

Drop off
Pick up
Flow

Main
Entrance

Potential
Playground

Parking

Possibly remove island for traffic flow

Island is Code required

More detail required. Yard area must be maintained.

Approximate location of storm sewer catch basin.

Circulation must be provided and must include an island

Provide operations info for transportation. Is busing provided? Layout should provide separated drop off and pickup between buses and parent traffic. Estimate and accommodate for parent traffic queue.

Must meet 2020 MN State Building Code

SAC review by MET council will be required.

Provide a code analysis with the plans. Include the ages of all of the children in each category: i.e., pre-school, toddler, infant, school-age, etc.

25% of budget must be applied to accessibility updates.

PL202200086

Fire alarm system to meet the requirements of an assembly/education occupancy.

Floor Plans

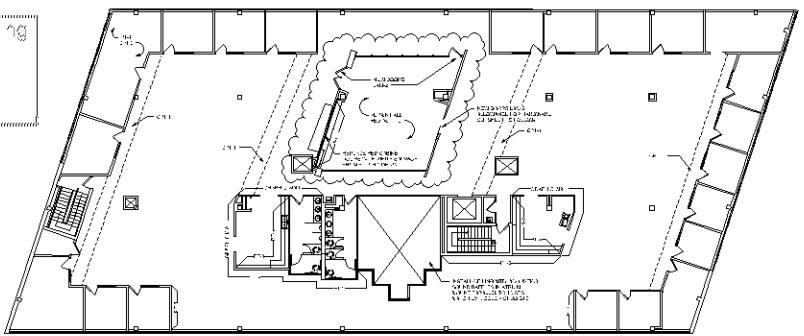
Building plans must be signed by a MN licensed architect.

Provide a detailed code analysis with the plans.

Must meet 2020 MN Accessibility Code.

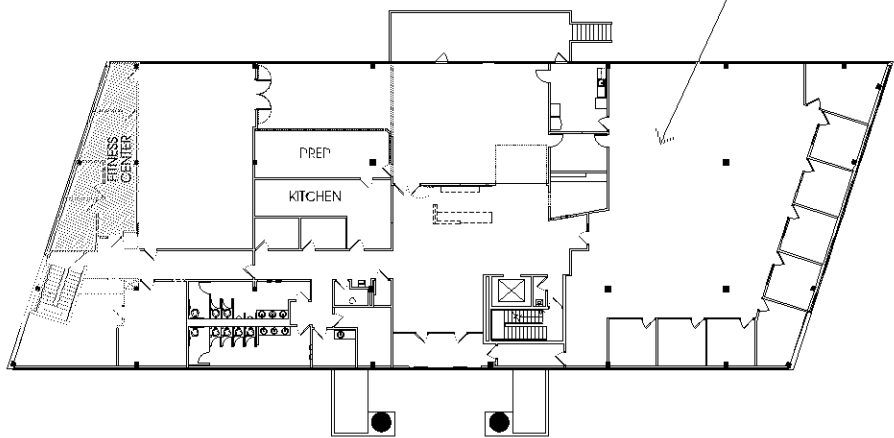
7807 CREEKRIDGE CIRCLE

3RD FLOOR • 16,041 RSF
Entire space(s) must have fully Code complying sprinkler protection.



Cafeteria to meet 2020 MN Building Code for exiting requirements.

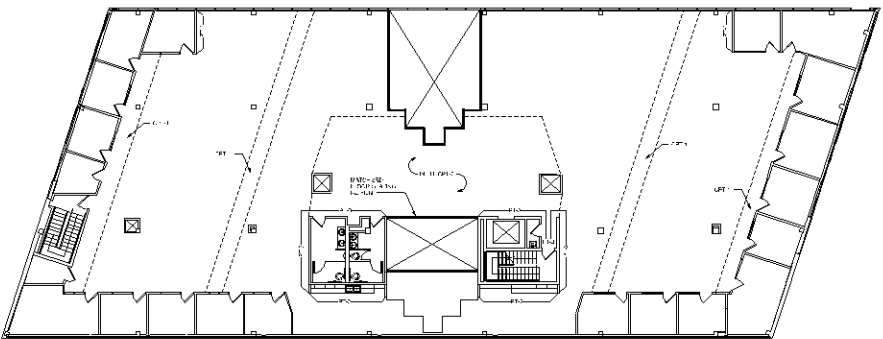
1ST FLOOR • 11,660 RSF



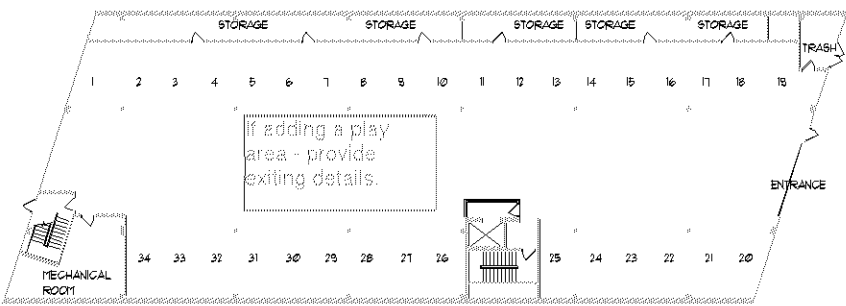
Provide an Environmental Health Plan Review application with plan submittal for each proposed food facility.

Any additions or changes to food service must be approved by the Health Department prior to construction if required.

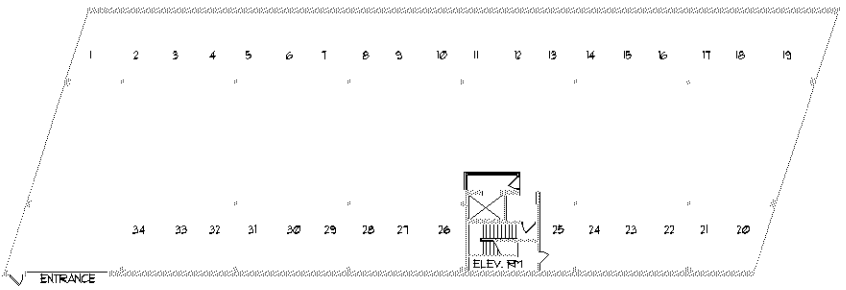
2ND FLOOR • 14,602 RSF



UNDERGROUND PARKING LEVEL - P1



UNDERGROUND PARKING LEVEL - P2



Stacking Plans

7807 CREEKRIDGE CIRCLE

Floor	Tenants		Total	Leased
3	#300 Vacant 16,041 sf		16,041	0
2	#200 Vacant 14,602 sf		14,602	0
1	#100 Vacant 11,660 sf		11,660	0
P1	Parking 34 Stalls		n/a	n/a
P2	Parking 34 Stalls		n/a	n/a
			42,303	0