

**REQUEST FOR COUNCIL ACTION**

Originating Department <b>Community Development</b>	By <b>GPD</b>	Approved for Agenda by:	Date:  Time:	Number:
Agenda Section <b>DEVELOPMENT BUSINESS</b>		Item <b>Rezone from CB(PD) to CB, Preliminary Plat, Conditional Use Permit, and Final Site Plan and Building Plans</b>		

Item 4

Case 10329ABC-97

**GENERAL INFORMATION**

Applicant:

- 1) First Bank National Association
- 2) First Bank National Association
- 3) Applebee's Restaurant

Location:

- 1) 9537 Lyndale Avenue
- 2) 9537, 9605, 9615, 9619, 9621, 9633 and 9645 Lyndale Avenue and 9608 Garfield Avenue
- 3) 9537, 9605, 9615, 9619 and 9621 Lyndale Avenue and 9608 Garfield Avenue

Request:

- 1) Rezone property from CB(PD) Central Business (Planned Development) to CB Central Business (Case 10329A-97);
- 2) Preliminary Plat of Oxboro Heath 3rd Addition (Case 10329B-97); and
- 3) Conditional use permit and final site plan and building plans for a freestanding restaurant (Case 10329C-97).

Existing Land Use and Zoning:

Bank, office, and undeveloped; zoned CB and CB(PD)

Surrounding Land Use and Zoning:

North - Restaurant and vacant; zoned CB(PD) and CB  
 East - Personal service, retail, automotive repair and post office; zoned CB  
 South - Retail Planned Development; zoned CB(PD)  
 West - Restaurants, Class I and II motor vehicle dealership; zoned CB

**COUNCIL ACTION**

Motion by \_\_\_\_\_ Second by \_\_\_\_\_ to \_\_\_\_\_

Case 10329ABC-97

Rezoned from CB(PD) to CB, Preliminary Plat, Conditional Use Permit, and Final Site Plan and Building Plans

Comprehensive Plan:

The Comprehensive Land Use Plan recommends Retail Commercial development for the property.

## PROPOSAL

First Bank National Association, owner of the seven properties involved in one or more of the three applications, requests a rezoning of the north property, 9537 Lyndale Avenue, from CB(PD) to CB in order to remove the Planned Development Overlay District remaining from a proposed commercial development that was never started.

First Bank proposes to plat the seven property, 5.32 acre package into two lots. The 30,583 square foot bank would occupy the larger 2.87 acre south lot and the new 1.96 acre north lot, proposed Lot 1, would be developed with a free-standing Applebee's Restaurant. The westerly 10 feet of Garfield Avenue and the easterly 27 feet of Lyndale Avenue (a total of 0.49 acres) are currently under permanent street easement and would be dedicated for rights-of-way. All existing easements of record would be carried forward and new easements appropriate to the plat and proposed development would be provided. The bank setback from the new interior lot line would be 54 feet and a total of 153 parking spaces would be retained for the bank within Lot 2. A common parking easement with the restaurant would cover 24 spaces in the northwest corner of Lot 2 and a common driveway and circulation easement would allow both lots to share access on Lyndale and Garfield Avenues.

The proposed 5,000 square foot (without trash storage and cooler space) restaurant will be located in the north half of proposed Lot 1, having setbacks of about 128 feet from Lyndale, 154 feet from Garfield, 25 feet from the north property line and 70 feet from the south property line. The building entry is on the south side with a trash and recyclable materials collection/storage space at the north end. Exterior finish and materials will consist of several types and colors of brick, striped awnings over the entry door and nine other windows, a standing seam metal roof over the main entry and the trash area, and a metal coping cap for the low pitch roof.

Revision to the existing islands and expansion of the parking area east of the building will allow for 114 on-site parking spaces, of which four are accessible spaces. An additional 24 spaces will be available on the bank lot under a common parking easement. Site access is via the north driveway onto Lyndale and the existing north driveway to Garfield which will be covered by appropriate common access and circulation easements. Screening and landscaping will be provided consistent with the approved streetscapes for Lyndale and Garfield Avenues. A lighting photometric has been submitted, but information on existing and proposed site and building fixtures was provided. Submitted plans indicate an intent to use wall signs on the west and south elevations of the building and possibly a pylon sign along Lyndale Avenue, but no detailed information is available.

**Rezone from CB(PD) to CB, Preliminary Plat, Conditional Use Permit, and Final Site Plan and Building Plans**

**APPLICABLE REGULATIONS**

- 1) None
- 2) Chapter 16 and Section 19.37
- 3) Section 19.37(d)(5)

**REQUIRED FINDINGS**

- 1) None
- 2) Section 16.05.01(e)(1),(2),(3),(4),(5),(6) and (7)
- 3) Section 19.22(7)(A),(B),(C),(G) and (H)  
Section 19.40.12(d)(1),(2),(3),(4) and (5)

**HISTORY**

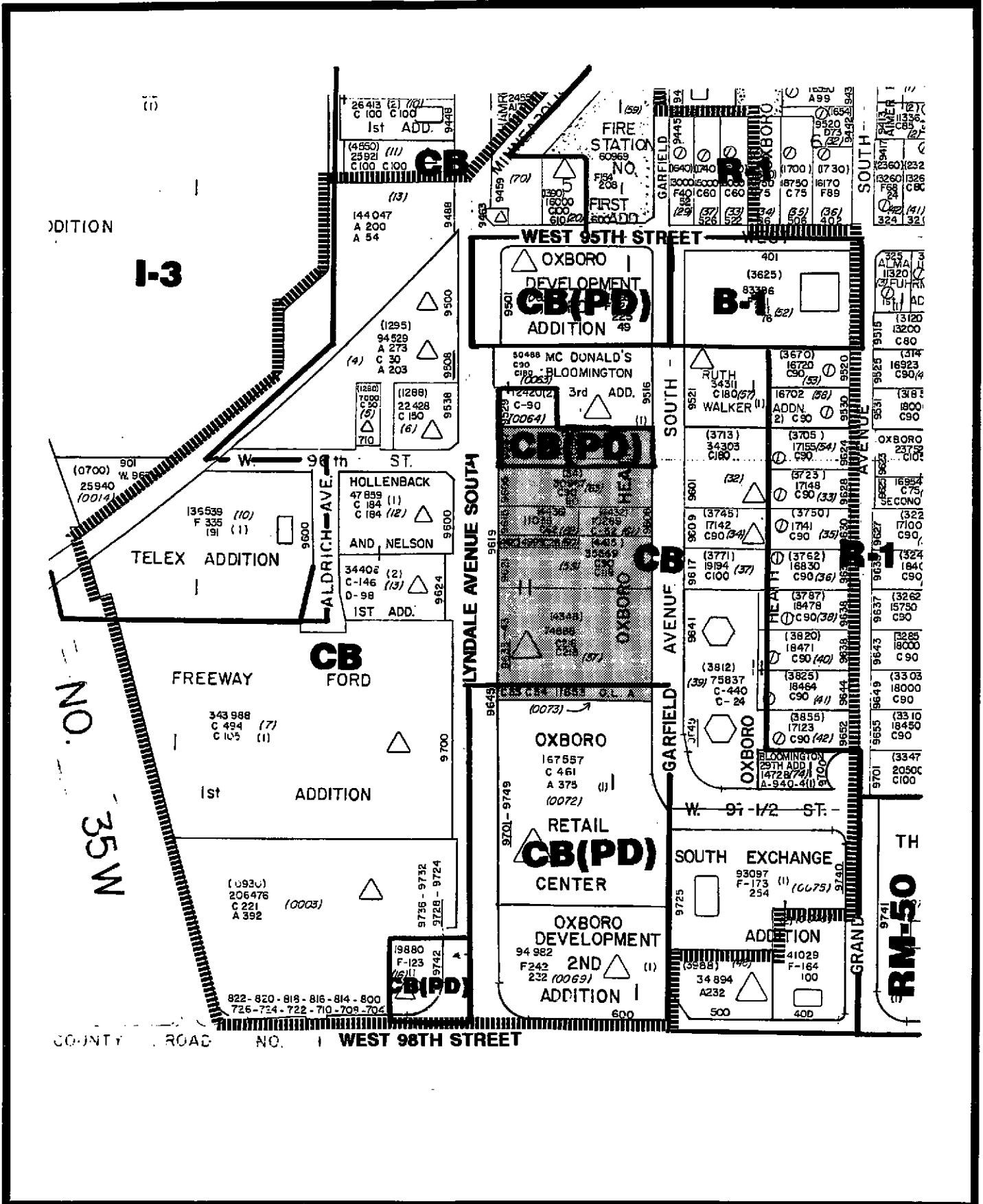
**City Council Action:** 03/07/88 - Approved a rezoning from CB to CB(PD) and preliminary and final development plans for a restaurant with conditions (Case 9533A-88).

**Planning Commission Action:** 06/20/91 - Allowed McDonald's to withdraw requests for rezoning from CB(PD) to CB (Case 9533A-91) and for revised final site plan and building plans for a common driveway (Case 9533B-91).

**CHRONOLOGY**

**Planning Commission Agenda:** Public hearing scheduled.

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**CASE**  
**10329ABC-97**

Notification Boundary



**SCALE: One inch equals 200 feet**



Findings Required for the

**Approval of Preliminary and Final Plats**

**In the case of all plattings, the Planning Commission or the Administrative Subdivision Review Committee, whichever is applicable, shall recommend denial of, and the City Council shall deny, approval of a preliminary or final plat if it makes any of the following findings:**

- (1) That the proposed subdivision is in conflict with applicable general and specific plans.
- (2) That the design or improvement of the proposed subdivision is in conflict with applicable development plans.
- (3) That the physical characteristics of the site, including, but not limited to, topography, vegetation, susceptibility to erosion and siltation, susceptibility to flooding, water storage, and retention, are such that the site is not suitable for the type of development or use contemplated.
- (4) That the site is not physically suitable for the proposed density of development.
- (5) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage.
- (6) That the design of the subdivision or the type of improvements will be detrimental to the health, safety or general welfare of the public.
- (7) That the design of the subdivision or the type of improvements will conflict with easements of record or to easements established by judgment of a court.

Findings Required for  
Issuance of Conditional Use Permits  
in the

Central Business (CB) Zoning District

**No Conditional Use Permit shall be granted unless the Council finds the following:**

(A) Adjacent uses will not be adversely influenced by any nuisance characteristics generated by the use.

(B) The use is consistent with the purpose of the zone.

(C) The proposed use will not cause traffic hazard or congestion.

~~(D) A shopping center shall present a plan of uniform sign design.~~

~~(E) Testing a sales promotional activity outside a building, conducted in conjunction with a research laboratory, shall be sufficiently separated by distance or screening from adjacent residentially zoned land so that existing homes will not be depreciated in value and there will be no deterrence to development of vacant land. Such activities shall also be separated from public streets by screening.~~

~~(F) Wholesale businesses shall be allowed only when they are of such a nature and located in a manner so as not to unduly interfere with retail sales and services in the zone.~~

(G) The use is consistent with the purposes of the Zoning Code as they are enumerated in Section 19.01 of this Code and the purposes of the zoning district in which the applicant intends to locate the proposed use.

(H) The proposed use is not in conflict with the development plan of the City.

**Findings Required for Approval of  
Final Site Plans and Building Plans**

**The City Council shall find the following prior to the approval of final site and building plans.**

- (1) The proposed development is not in conflict with the Comprehensive Plan.
- (2) The proposed development is not in conflict with any adopted district plan.
- (3) The proposed development is not in conflict with the zoning district provisions.
- (4) The proposed development is not in conflict with other applicable provisions of the City Code subject to the provisions of Section 19.40.03.
- (5) The proposed development is not incompatible with existing and anticipated future development.



May 1, 1997

B R W INC.

Mr. Galen Doyle  
City of Bloomington  
Community Development Department  
2215 Old Shakopee Road  
Bloomington, MN 55431-3096

**RE: Proposed Rezoning, 9537 Lyndale Avenue South  
First Bank National Association**

Dear Mr. Doyle:

Attached are application materials in support of a request by First Bank National Association for approval of a rezoning of Lot 35, Block 11, Oxboro Heath, as part of a planned sale of the subject property to Applebee's Restaurants. Per our pre-application meeting, we are including:

Planning  
Transportation  
Engineering  
Urban Design

Thresher Square  
700 Third Street So.  
Minneapolis,  
MN 55415  
612/370-0700  
Fax 612/370-1378

- Signed Application Form
- Property address, PIN number, and legal description
- Application Fee in the amount of \$ 1,000.00
- Four full-size copies of graphic illustrating the subject property
- Reduced (8.5"x11") existing/proposed zoning graphic
- Ten reduced (11"x17") existing/proposed zoning graphic
- Four copies of this narrative describing request

Denver  
Milwaukee  
Minneapolis  
Newark  
Orlando  
Phoenix  
Portland  
San Diego  
Seattle

The subject property is currently zoned CB(PD) - Central Business District with a Planned Development Overlay. The request is to rezone the subject property to CB- Central Business District, eliminating the Planned Development overlay. The rezoning, if approved, will provide for consistent CB zoning for all of the property which First Bank National Association intends to sell to Applebee's. The property to be sold to Applebee's, including the subject parcel, is included within a concurrent request for Preliminary Plat approval.

The existing PD overlay was created several years ago based on a proposal by the northerly adjoining property owner, McDonald's Corporation, to complete access and parking improvements which would have occurred, in part, on the subject property. The improvements proposed at that time included cross-connection to the Bank's main entry from Lyndale Avenue, and expanded McDonald's parking. The project was not implemented, and the Plan approvals obtained at the time the PD Overlay District was created have since elapsed. Therefore, there is no known reason, or benefit to the City or Owner for retaining the PD overlay. The existing, underlying zoning will not change.



Mr. Galen Doyle  
May 1, 1997  
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Additional information concerning the proposed Applebee's site development is available in the companion Final Site Plan and Conditional Use Permit application filed by First Bank National Association and Applebee's Restaurants, and in the Preliminary Plat application filed by First Bank National Association. If you have any questions concerning this application, or need additional information, please do not hesitate to contact me at 373-6341. On behalf of the fee owner and applicant, we look forward to the review and approval of this proposal by the City of Bloomington.

Sincerely,

BRW, Inc.



Miles Lindberg, ASLA  
Senior Associate

cc: Donald E. Nelson  
Vern Wilcox  
Robert Perry



May 1, 1997

B R W INC.

Mr. Galen Doyle  
City of Bloomington  
Community Development Department  
2215 Old Shakopee Road  
Bloomington, MN 55431-3096

**RE: Preliminary Plat Application  
First Bank National Association**

Dear Mr. Doyle:

Attached are application materials in support of a request by First Bank National Association for approval of a Preliminary Plat action in connection with their planned sale of a portion of their Lyndale Avenue (Oxboro) First Bank site to Applebee's Restaurants for the development of a restaurant on the northern portion of the site. Per our pre-application meeting, we are including:

Planning  
Transportation  
Engineering  
Urban Design

Thresher Square  
700 Third Street So.  
Minneapolis,  
MN 55415  
612/370-0700  
Fax 612/370-1378

- Signed Application Form
- Property addresses, PIN numbers, and legal descriptions
- Application Fee in the amount of \$ 700.00
- Eight full-size copies of Existing Conditions/Preliminary Plat graphic
- Eight full-size copies of Applebee's proposed Grading and Drainage Plan
- Reduced (8.5"x11") plans

Denver  
Milwaukee  
Minneapolis  
Newark  
Orlando  
Phoenix  
Portland  
San Diego  
Seattle

The subject property currently consists of portions of seven lots within the plat of Oxboro Heath, and Outlot A, Oxboro Retail Center. The proposed plat, Oxboro Heath 3rd Addition, would consolidate the eight existing parcels, dedicate street right-of-way for Lyndale Avenue South and Garfield Avenue South, and create two new lots; one for the existing Bank building and associated parking, and one for the proposed Applebee's restaurant and associated parking. The right-of-way dedication would replace existing easements which provide for the westerly 10 feet of the west half (40 feet) of Garfield Avenue South, and the easterly 27 feet of the east half (60 feet) of Lyndale Avenue South. Sidewalk, Bikeway, and Utility Easements encompassing an additional 10 feet of lot area adjacent to each of the street rights-of-way will be redefined to replace the existing easements as recorded in Document Number 5630984 for Garfield Avenue South, and Document Numbers 5630984, 5471286, and 5471287 for Lyndale Avenue South. The areas for the proposed street dedication are listed on the Preliminary Plat graphic as 15,604 square feet for Lyndale Avenue, and 5,784 square feet for Garfield Avenue.

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Mr. Galen Doyle  
May 1, 1997  
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Proposed Lot 1, Block 1, Oxboro Heath 3rd Addition is being created to convey property to Applebee's Restaurants for the development of a new restaurant on the northern portion of the subject property. Lot 1 would contain 85,234 square feet, or 1.96 acres. As illustrated on the Preliminary Plat, the south line of proposed Lot 1 is coincident with the southerly line of existing Lot 33, Block 11, Oxboro Heath Addition, except at the west end, where the westerly 104.41 feet of the proposed lot line is offset 73.75 feet to the north. This offset is necessary to provide sufficient parking space for the Bank on proposed Lot 2, based on the existing parking lot configuration. Lot 2 would contain 125,168 square feet, or 2.87 acres.

As proposed, Lot 2 would provide a lot envelope which would allow the existing Bank site development to meet all applicable requirements for minimum lot dimensions and size, building setbacks, maximum floor-area-ratio, and parking requirements specified in the Central Business District zoning classification. Proposed minimum building setbacks would be:

- North side, interior lot line: 54 feet to north building face
- South side, interior lot line: 80 feet to canopy at drive-through
- East side, street frontage, Garfield Avenue: 55 feet to canopy at drive-through
- West side, street frontage, Lyndale Avenue: 124 feet to west building face

Floor-area-ratio for the proposed lot would be 0.25 based on a gross building area of 31,818 square feet for the bank, and the proposed lot area of 125,168 square feet. Building area for parking purposes would exclude an atrium area and cafeteria, with the resultant net area being 30,583 square feet. On a per-floor basis, this includes the following useable floor area on each of the three floors within the existing Bank building:

- Lower Level: 9,075 square feet
- Main Level: 11,344 square feet
- Upper Level: 10,164 square feet

Application of the required parking ratio of 1 space per 200 square feet of floor area to the net useable floor area results in a parking requirement for the Bank of 153 parking spaces. The proposed configuration of Lot 2 provides for 153 parking spaces with no modifications to the existing site improvements. The parking is provided as follows:

- East side: 30 spaces, 14 angled spaces southeast, 16 spaces northeast
- North side: 11 spaces, located on drive-aisle/access from Garfield
- West side: 112 spaces, from north lot line to southerly access from Lyndale
- Total: 153 spaces, including 8 disabled spaces per ADA requirements

Mr. Galen Doyle  
May 1, 1997  
Page 3

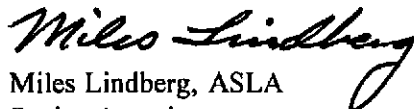
The Preliminary Plat graphic also illustrates proposed easements for common access between Lots 1 and 2, and for shared use of 24 parking spaces on Lot 2 which would be granted to Applebee's by the Bank. The common access easement would provide for access to the Bank facilities on Lot 2 from the main (northerly) entry on Lyndale Avenue across Lot 1, and would provide for access to the proposed Applebee's on Lot 1 from the Garfield Avenue entry across Lot 2. Traffic control and safety would be improved at the intersection of these two main on-site circulation aisles with the addition of stop signs at the south and east approaches to the "T" intersection of these two main drive aisles. These are the only site improvements proposed for Lot 2. Provision of shared parking for Applebee's will allow for the use of Bank parking by Applebee's at peak times, and will provide spaces beyond the minimum zoning requirement for the restaurant use.

Use of these spaces will not impact the availability of adequate parking on the Bank site. A parking utilization study completed for the Bank in April of 1994 found that the maximum utilization of Bank parking occurred on Friday afternoon between 4:00 and 5:00 PM. Based on thirty counts of parked vehicles taken at intervals during four weekdays in April, 1994, including counts from 4:00 to 6:00 PM on two Fridays, the maximum observed utilization of the Bank parking was 90 occupied parking spaces. According to the Bank manager, the building was fully leased and occupied during those times, and as expected, Friday afternoon was representative of the Bank's peak activity.

Additional information concerning the proposed Applebee's site development for Lot 1 is available in the companion Final Site Plan and Conditional Use Permit application filed by First Bank National Association and Applebee's Restaurants. If you have any questions concerning this application, or need additional information, please do not hesitate to contact me at 373-6341. On behalf of the fee owner and applicant, we look forward to the review and approval of this proposal by the City of Bloomington.

Sincerely,

BRW, Inc.

  
Miles Lindberg, ASLA

Senior Associate

cc: Donald E. Nelson  
Vern Wilcox  
Robert Perry

12/4

Landform Engineering Company  
926 Twelve Oaks Center  
15500 Wayzata Boulevard  
Wayzata, Minnesota 55391  
(612)475-3272 info@landform.net

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# Applebee's Restaurant

May 1, 1997

City of Bloomington Minnesota  
Planning Commission  
City Council  
2215 West Old Shakopee Road  
Bloomington, Minnesota 55431

Landform Engineering Company as representatives of Applebee's International, Inc., is extremely pleased to present this application for Site and Building plan approval to construct a new restaurant at 9601 Lyndale Avenue South.

Applebee's will be submitting building plans for review concurrent with this application and would appreciate your expeditious review and approval of this application at the May 8<sup>th</sup> Planning Commission and May 19<sup>th</sup> City Council Meeting.

Landform Engineering Company has met with staff in an effort to ensure a complete application and appreciates the cooperation and assistance staff has given us on this application. Should you need any additional information please feel free to call us.

Sincerely,  
Applebee's International, Inc.  
Landform Engineering Company

Gary Fischer  
Director of Development

Darren B. Lazan  
Principal

Attachments: Project Narrative, Preliminary Plans, Application forms, Application Fees

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*Application for Site and Building Plan Approval*

*Applebee's Restaurant  
Bloomington, Minnesota*

13/4

# Project Narrative

Applebee's Restaurant  
Bloomington, Minnesota

## Introduction:

Applebee's Neighborhood Grill and Bar is designed as an attractive, friendly, neighborhood establishment featuring moderately priced, high-quality food and beverage items, table service and a comfortable atmosphere which appeals to all ages.

Our proposed building on Lyndale Avenue will be primarily red brick with beige accents along with our signature awnings, goose neck lights and signage. The building will be approximately 5,000 square feet (exclusive of exterior coolers) and will seat 198. A pylon sign would be placed near the existing Lyndale curb cut. The trash enclosure will be fully screened, roofed, and integrated with the building using the same brick material.

The parcel of land we have a contract option to purchase is described below. At the time of closing there will be executed an easement giving Applebee's full cross access and parking rights with the contiguous parking to the South.

The hours of operations will be 11am - midnight, Monday through Thursday; 11am - 1:30 a.m. Friday and Saturday; and 10am - midnight on Sunday. We will have full alcoholic beverage service although our percent of alcohol sales is generally only 20% of total sales. Our employees are trained in one of the best Alcohol Awareness programs in the restaurant industry.

In summary, this restaurant development will give Bloomington the same first class casual dining experience that has come to be expected in our 21 other Twin Cities area locations

## Subject Property:

The subject site is located in the East-Central area of the city between Lyndale and Garfield Avenues South near the intersection of Interstate 35W and West Old Shakopee Road. The property is currently owned by First Bank Systems and is being subdivided and rezoned under a concurrent application by BRW, Inc.

Applebee's will occupy the northern parcel of the two-lot subdivision. This parcel will be 85,200 sq.ft. or 1.96 acres, have frontage on both Lyndale and Garfield Avenues South, and be bordered on the north by an existing McDonald's Restaurant and on the south by the existing First Bank Building.

## Architectural Design:

The Applebee's Neighborhood Grill & Bar building will be an attractive brick building, with primarily a reddish-brown brick, accented by a light beige brick along the top of the parapet and under the window sills. The entry vestibule is a welcoming brick tower, with a gabled standing-seam metal roof. The metal roof on the tower will "Triton Green" (a dark teal green). The rest of the building will have a low-slope (flat) roof. All roof-top equipment will be screened by a parapet wall.

Striped awnings over the entry door and most of the windows add interest to the facade, providing added depth and shadows. The awning colors are triton green, beige, and rust.

On the corner near the entry tower, there are taller divided-light windows, providing added light and visibility to the waiting area.

Traditional "gooseneck" dome lights, with more contemporary wall-washers between the windows will light the building at night. All of these fixtures will be triton green.

The walk-in coolers and trash area on the rear of the building will be screened by a covered brick enclosure, matching the design of the building. The enclosure walls will be approximately ten feet high, with the same red-brown brick and beige accent brick. The cover will be the same as the triton green standing seam roof used on the entry tower. The gates for the trash enclosure will be painted redwood on a steel-frame.

Signage will comply with city requirements. Applebee's proposes wall-mounted signs on the south and on the west side of the building. The brick parapet wall on the left side will be stepped to accommodate the signage.

### **Site Summary:**

The 1.96 acre parcel will include 110 standard parking stalls and 4 stalls meeting ADA handicap accessibility requirements. Additionally, the owner will have access to 24 stalls in the southwest corner of the site.

The new building is proposed to be constructed on the northern portion of the parcel in a south-facing orientation. Parking will primarily be located on the south and eastern sides of the building. The proposed building abuts the 25' setback on the north and complies with all applicable setback requirements.

Current development plans show that the eastern and western edges of the existing parking lot will be preserved for use on this project. This also allows us to preserve the existing boulevard areas along Lyndale and Garfield Avenues.

The existing curb cuts on Lyndale and Garfield will remain and serve as access points for both Applebee's and First Bank use. A perpetual cross-use access easement is shown on sheet C2.1 of this application. This easement covers the drive areas between both curb cuts, and will benefit both properties. While the parking proposed on-site accounts for the required parking, an additional easement covering 24 parking stalls in the southwest corner of the property will allow for overflow parking.

### **Site Grading:**

Existing drainage patterns will be preserved in the proposed application. The site will drain from south to north splitting at the building. Half of the site will then drain to the east to two existing catch basin structures in the northeast corner of the site, while the other half will sheet toward the northwest corner of the existing parking field.

The current plan calls for minimal modification of the existing grades. The existing pavement within the construction limits will be recycled and reused as base material for the new bituminous surface.

All necessary erosion control methods including silt fencing and catch basin sediment traps will be in place prior to commencement of grading operations.

There are no new stormwater treatment facilities included in this proposal. Because we propose little expansion of the impervious areas on-site, we are proposing to make use of the existing drainage facilities.

### **Utilities:**

New connections to the sanitary sewer and watermain are shown on sheet C4.1 of this application. New sanitary manholes over the existing main in Garfield as well as an inspection manhole are proposed. Watermain connection will be a 8" wet tap to the existing main with an 8" DIP main extending onto the site. The 8" main tees into the parking field where a new hydrant is proposed to provide fire protection on the east side of the building. The main then reduces to a 6" service to the north side of the building where it enters the mechanical room in the northwest corner of the building. An existing hydrant at the entrance on Lyndale Avenue will provide fire protection to the west side of the building.

A 6" PVS storm lead is proposed to connect to the existing on-site catch basin and extend to the trash enclosure area. This will connect to roof drains on the north side of the building.

### **Site Lighting:**

The enclosed site lighting plan shows the re-use of several of the existing lighting elements. Some of the existing standards will be relocated to provide coverage of the reconfigured lot, while some new poles and fixtures will be added. All new fixtures will match the existing pole and fixture design utilizing shoebox type fixtures. Any wall pack units in the service area will be shielded to direct all light downward.

### **Landscaping:**

The site is structured and designed for the functional needs of the user. It has a framework, which serves to orient the visitor while in the car or on foot and gives scale identity to the place. Sources for the framework are pathways for automobiles and pedestrians, axial relationships among on-site features and connections with the existing Lyndale and Garfield Avenue Streetscapes.

#### **SITE PLAN**

The Garfield Avenue Streetscape is enhanced with a three-foot high cedar fence to screen the parking lot and to compliment the residential character of the avenue. Additional evergreen plantings have been added to augment the existing screening.

The Lyndale Avenue Streetscape is adequate as it exists to screen the parking lot. Additional low flowering shrubs have been added at the entry to compliment the Streetscape.

Parking lot interior landscaping is designed to provide a positive and safe experience to users. All parking lot islands are accommodated with shade trees and the islands adjacent to the entry of the building have low flowering shrubs. The landscape adjacent to the building is designed to give visual and seasonal interest and at the same time provide clear site lines to promote safety.

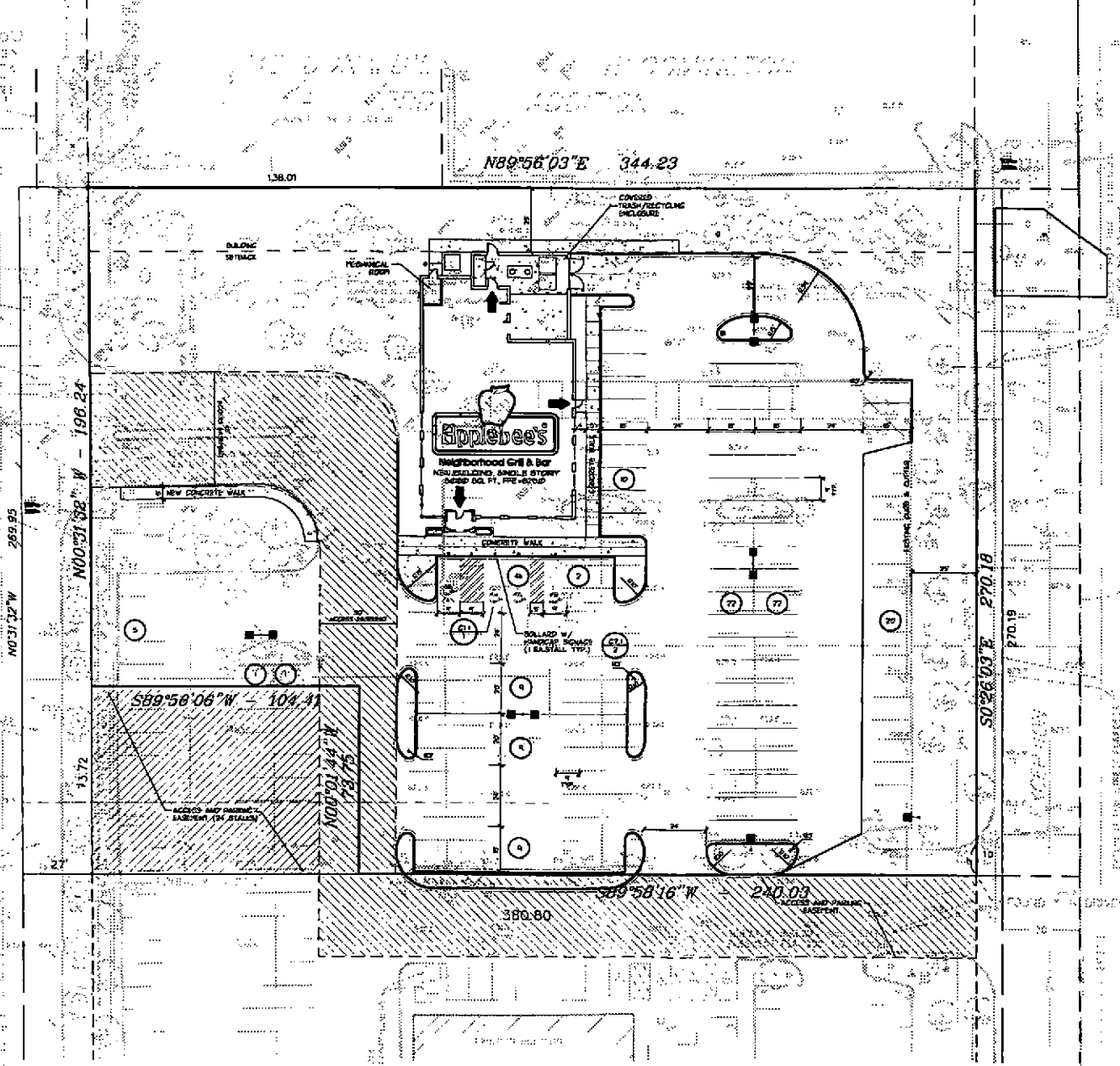


11/17

PUBLIC ROAD  
SOUTH

LYNDALE AVENUE

GARFIELD AVENUE SOUTH

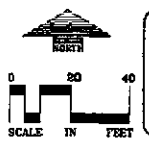


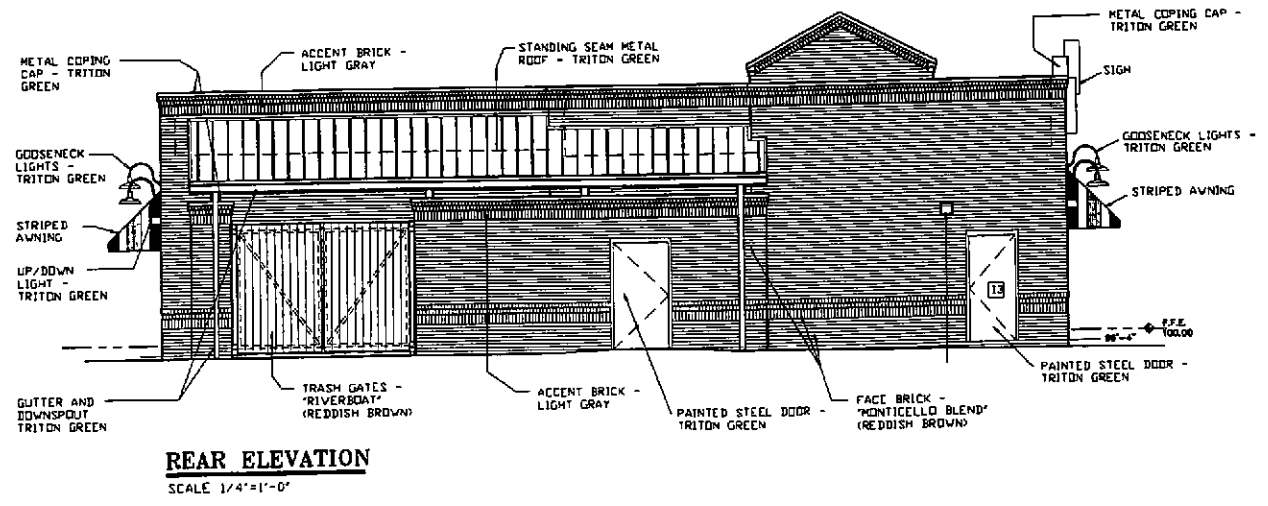
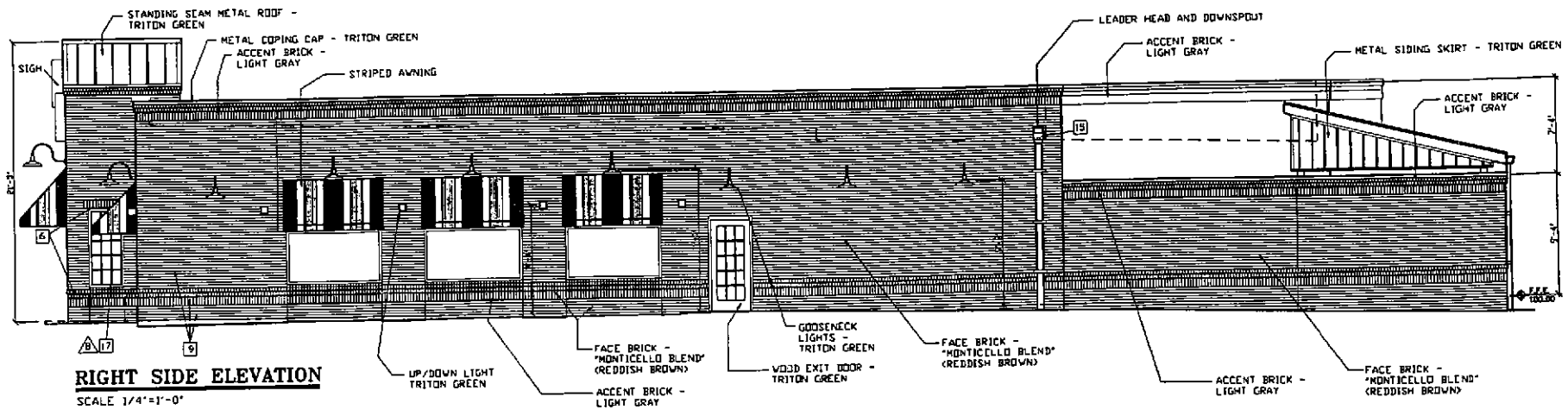
AREA SUMMARY

Item	Area (Square Feet)	Volume (Cubic Feet)
Impervious Area	6,300 sq. ft.	730
Permeable Area	71,400 sq. ft.	260

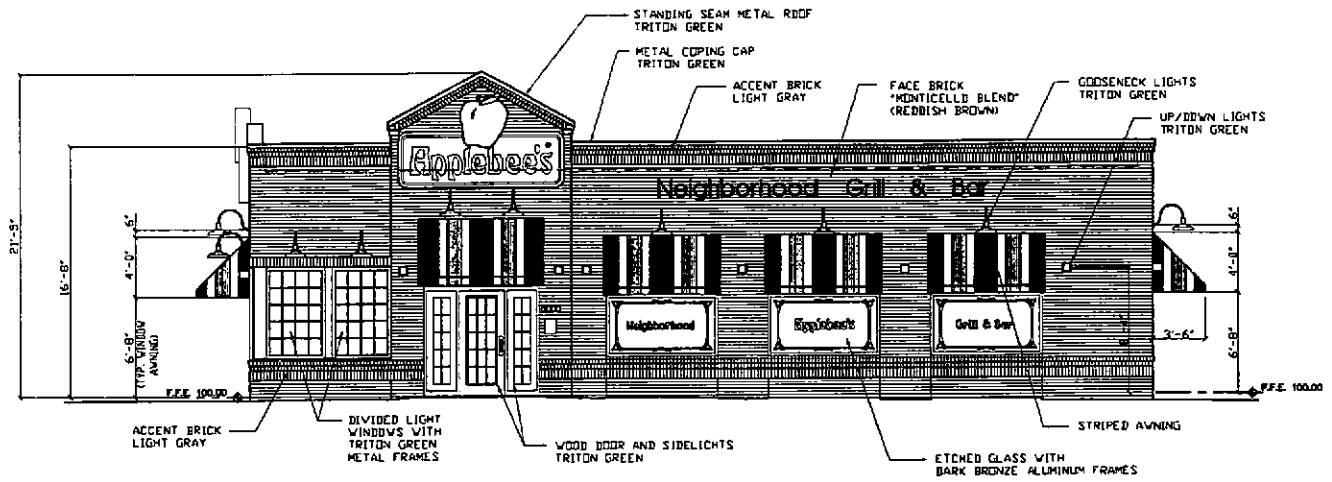
PARKING SUMMARY

Number of Spaces	Standard 40'x70' Space	Standard 40'x20' Space	Standard Accessible Space	Standard Accessible Space
Required	0	0	0	0
Provided	0	0	0	0



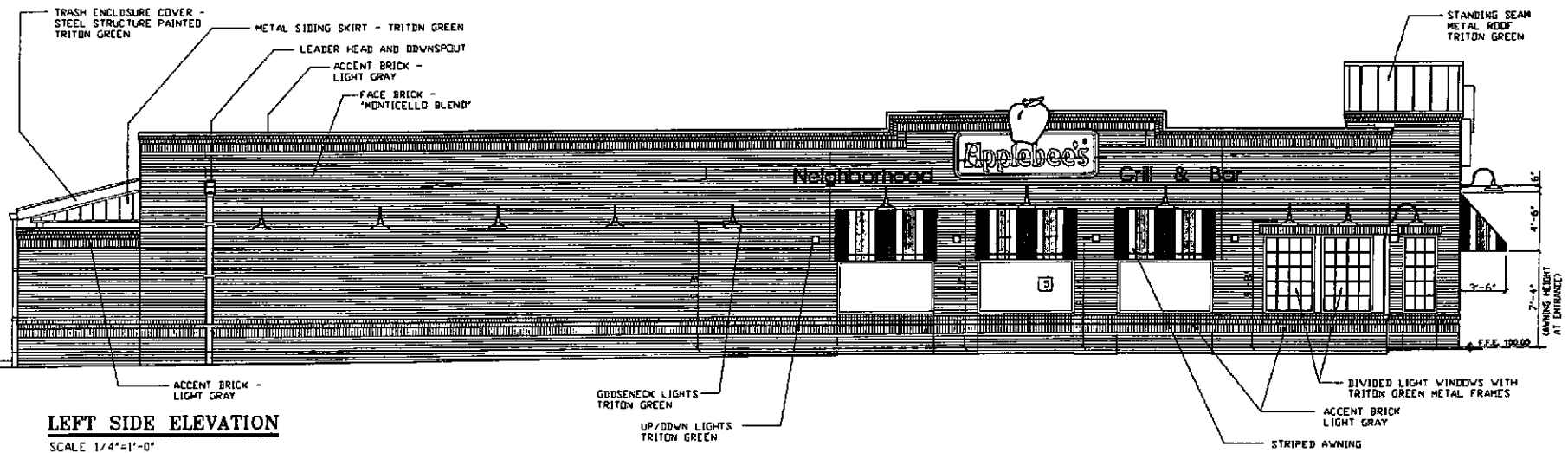


7/8



**FRONT ELEVATION**

SCALE 1/4"=1'-0"



**LEFT SIDE ELEVATION**

SCALE 1/4"=1'-0"

19/4

Item 5 continued  
Case 5721A-91

M/Johnson S/Grady in Case 5721A-91 to recommend approval of a conditional use permit for a household hazardous waste drop-off and recycling facility at 1400 West 96th Street, having been able to make the findings in Section 19.22(3)(A)-(F) and subject to satisfaction of the following conditions prior to the issuance of any building or grading permits:

- 1) a development and operational agreement between the applicant and the City be prepared and adopted incorporating all performance standards contained Section 19.63.04(e)(1),(2) and (3) and conditions of approval;
- 2) payment of an annual license fee to the City for direct and indirect services commensurate taxed industrial uses for which the property could feasibly be used;
- 3) payment of all connection and SAC charges;
- 4) all necessary State and City licenses be provided to the manger of Building and Inspections;
- 5) access be limited to a single driveway in a location approved as part of final site plans and building plans;
- 6) any materials stored outside the building be completely screened from public streets and adjacent property;

Motion carried 4-0

In addition to the above conditions, the following Code requirement must also be satisfied prior to the issuance of any building or grading permits:

- 1) final site plans and building plans reviewed by the Planning Commission and approved by the City Council subject to the provisions of Section 19.40.12 of the City Code (Section 19.33(f)(2)).

Item 6  
McDonalds Corp  
City of Bloomington  
9521 Lyndale Ave  
9516 Garfield Ave  
9537 Lyndale Ave  
9501 Lyndale Ave  
Case 5735A-91  
Rezone CB to CB(PD)  
Preliminary and  
Final Development  
Plan  
Case 9533A-91  
Rezone CB(PD) to CB  
Case 9533B-91  
Revised Final Site  
and Building Plans  
For Common Drive  
Case 9533C-91  
Revised Final Devel-  
opment Plan For  
Driveway Configura-

Mr. Hawbaker said McDonald's revised plans, which now exclude the bank property to the south, were not received until late last week, leaving insufficient time for the Engineering Department to review and make recommendations. The related items should, therefore, be continued to the June 27th Planning Commission meeting.

Vern Wilcox, representing First Bank Systems, said the bank still has not been contacted by McDonald's so it is assumed McDonald's is no longer interested in a joint driveway between the two properties. He said he has already attended two Commission meetings and would like the part of the plan involving bank land dropped so he will not have to attend a third meeting. Mr. Hawbaker said a common driveway is now planned to the north so Staff has no objection to withdrawing Case 9533B-91 from consideration. Case 9533A-91 to rezone bank property from CB (PD) to CB should, however, be considered because the Planned Development Overlay placed on that property in anticipation of a new Jimmy's Lemon Tree Restaurant, complicates any future use proposed for the land.

M/Grady S/Hunt in Cases 5735A-91 and 9533C-91 to continue the hearing to the June 27, 1991 Planning Commission meeting.

tion

Motion carried 4-0

M/Grady S/Thorson in Case 9533A-91 to close the hearing. Motion carried 4-0

M/Grady S/Hunt in case 9533A-91 to recommend rezoning 9537 Lyndale Avenue South from CB (PD) to CB, provided Case 9533B-91, revised final site and building plans for a common driveway at 9521 and 9537 Lyndale Avenue, is withdrawn.

Motion carried 4-0

Item 7  
Case 9848A-91  
David Aust  
8722 5th Avenue  
Conditional Use  
Permit for Second  
Garage and Space  
in excess of  
1000 Square Feet

~~Mr. Hawbaker said Mr. Aust has asked for additional time to work on his plans for a second garage and would like his case continued to the July 18, 1991 Planning Commission meeting.~~

M/Hunt S/Thorson in Case 9848A-91 to continue the hearing to the July 18, 1991 Planning Commission meeting.

Motion carried 4-0

Adjournment

The Planning Commission meeting adjourned at 7:20 PM

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...res to change their Comprehensive Plan. He said the Transportation Guide is so significant that it would undoubtedly require preparation of a new Comprehensive Plan.

Mahon asked about the rights-of-way for Bush Lake Road. Mr. Geshwiler said this has been discussed with the City Attorney and a report will be prepared for the Council; however, he said streets and roads are not considered land uses and rezoning would not apply. He advised that corrected copies of the rezoning ordinances were submitted to the Council at this meeting.

Following discussion, motion was made by Schuler and seconded by Blessum to close the hearing and to adopt the ordinances as distributed at this meeting rezoning the properties. The vote on the motion was ayes, Schuler, Mahon, Spies, Blessum and Herbst, and nays, [unclear], and the motion carried 5-1.

Ordinance Rezoning Property  
at 9529 and 9537 Lyndale  
Avenue to CB(PD)  
Case 9533A-88  
Item 4.11  
0-88-10 and  
Preliminary and Final  
Development Plans for  
Restaurant  
Case 9533A-88  
Item 4.12

The Council was requested by Jimmy's Lemon Tree, 9529 and 9537 Lyndale Avenue, to consider adopting an ordinance rezoning this property from Central Business (CB) to Central Business (Planned Development) CB(PD). In addition, the Council was requested to consider approving preliminary and final development plans for a restaurant at this location.

The Planning Commission, at its meeting of February 25, recommended approval of the rezoning and the preliminary and final development plans, based on making the required City Code findings in Section 19.38.01(e)(5)(A-H) subject to the following conditions:

1. interior seating not exceed 160 seats,
2. signage conform to the following standards:
  - a. one wall or canopy sign be permitted near the entrance to the building,
  - b. one freestanding sign be permitted on the Lyndale Avenue frontage, not to exceed 103 square feet per face; height of sign be determined in consideration of Lyndale Avenue Streetscaping Program (not to exceed six feet above highest outside wall), and be approved by the Manager of the Building and Inspection Division,
  - c. no reader boards or electronic message boards be permitted,
  - d. two directional signs be permitted, containing not more than six square feet per face (including a one-square-foot logo, if any) and not more than four feet in height,
  - e. no roof signs be permitted,
3. all trash be stored in an interior location as approved by the Environmental Services Division and the Fire Marshal,
4. no public areas, except restrooms, be permitted in the lower level unless additional parking is provided and plans are approved by the City Council,
5. designs for the canopy, and any logos included thereon, be approved by the Director of Planning prior to their manufacture and installation,
6. outdoor patio to the west of the building, including fence design and height, be approved by the Fire Marshal, Crime Prevention Officer and Director of Planning prior to the issuance of building permits,
7. utility plan with existing and proposed fire hydrants and water lines be approved by the Utilities Engineer prior to the issuance of building permits,
8. deep canopy over the fire exit on the north wall be eliminated,
9. connection charges of approximately \$420 be paid prior to the issuance of foundation and building permits.

The Director of Planning said this is a proposal for a new Jimmy's Lemon Tree Restaurant, and the Planning Commission and Planning Division staff have recommended approval of the rezoning and the development plans. Question was raised by Blessum as to why the City is telling businesses what can be on their signs, saying he objected strongly to condition 2.c. saying that no reader boards would be permitted. Mr. Geshwiler said because this building will be part of a planned development, it was desired to have the signage

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conf. to that already in the area. Blessum said it was desired to allow the redevelopment to have character and creativity, then there shouldn't be a requirement for rigid conformity for the signage. The City Manager suggested that a discussion of subjectivity with signage could be scheduled for a future study meeting.

Jimmy Assimes, the applicant, said he has until April 1 to be out of his present building, and for that reason he did not want to do anything that would delay his project. He said he was requesting a reader board because of the multiple uses of the building in which he would be located.

Following discussion, motion was made by Blessum and seconded by Spies to close the hearing and adopt the ordinance. The vote on the motion was ayes, Mahon, Spies, Peterson, Blessum and Laughinghouse, and nay, Schuler, and the motion carried 5-1. Motion was made by Blessum and seconded by Spies to close the hearing and approve the preliminary and final development plans based on compliance with the conditions as set forth by the Planning Commission except for deletion of 2.c relating to the reader boards. The vote on the motion was ayes, Mahon, Spies, Peterson, Blessum and Laughinghouse, and nay, Schuler, and the motion carried 5-1.

~~Conditional Use Permit,  
Final Site and Building  
Plans for Take-Out  
Restaurant  
Case 6543A-88  
Item 5.1~~

~~The Council was requested by Dominio's Pizza, 10732 France Avenue South, to consider approving a conditional use permit and the final site plan and building plans for a take-out restaurant.~~

~~The Planning Commission, at its meeting of February 25, recommended approval of a conditional use permit and final site and building plans based on making the required City Code findings in Section 19.22(2)(A)(B)(C)(H)(I) with the following conditions:~~

- ~~1. restaurant be for delivery and take-out only, with no patron seating or food consumption on the premises be permitted,~~
- ~~2. space used for the facility be totally sprinklered as approved by the Fire Marshal,~~
- ~~3. signage conform to the uniform sign design for the center, as approved by the Manager of the Building and Inspection Division and Director of Planning.~~

~~Question was raised by Blessum as to why there was a requirement for total sprinklering of the building when the premises will be for take-out and delivery only with no customer seating. The Director of the Building and Inspection Division said sprinklering of a restaurant is required by the City, particularly for the fire suppression system. He said there is a fire line in this shopping center and it will be a matter of extending the line to this portion of the building. Mr. Geshwiler said ovens require a fire suppression system, and having the sprinkler system will also affect the insurance rates for the establishment. In response to a question as to why a handicapped toilet facility must be provided, Mr. Geshwiler said this is a statutory requirement.~~

~~Following discussion, motion was made by Mahon, seconded by Peterson, and all present voting aye, to approve the conditional use permit and final site plan and building plans based on compliance with the conditions set forth by the Planning Commission.~~

Approval of Plans and  
Specifications for 1987-0191  
Street Improvement Project  
Item 6.21

~~The Council was requested to consider approving the plans and specifications and to set the schedule for the 1987-0191 Street Improvement Project:~~

~~The schedule was proposed as follows:~~

Approve plans and specifications	March 7
First advertisement	March 9
Open bids	March 30
Council consider bids	April 4

~~This project includes the construction of Bush Lake Drive, Xylon Court, Briar Circle,~~

Item 5  
Case 9533A-88  
Jimmy's Lemon Tree  
9529 and 9537  
Lyndale Avenue  
Rezoned to CB (PD)  
Preliminary and  
Final Development  
Plans--Restaurant

6:20 PM

Mr. Hawbaker presented the Staff Report and noted Staff recommends rezoning subject land from CB to CB (PD) and approval of the preliminary and final development plan for a restaurant.

Citing possible conflict of interest, Mr. Kempf and Ms. Grady withdrew from the hearing.

Responding to questions, Don Senn, project architect, said he has been working with Staff on not only demolition of the site but construction of the restaurant, which will have indoor trash storage, a fire suppression system, and a fence approximately forty inches high surrounding the patio area to the west. He said contention over the canopy on the north side of the building can be easily resolved by complete elimination of the canopy. This in turn will reduce building costs. Work continues with the Engineering Department on development of the water system and hydrant relocation in relation to shared access but that aspect has not been fully developed as yet. It is hoped the issue can be resolved prior to April 15th so the project can move forward.

Jimmy Assimes, the applicant, said because he is constructing a large building he would like a sign board large enough to list all services offered by the restaurant, namely, delicatessen, dining, carry-out and cocktails, but Mr. Hawbaker indicated great care has been exercised to improve the visual impact of the redevelopment area and not one changeable reader board has been installed in the entire redevelopment area. He expressed confidence the 103 square feet of signage available to the restaurant will adequately accommodate a listing of all services available in the restaurant. He noted the restaurant will present a much better appearance without the signboard and customers will have no problem finding the establishment.

The Planning Commission reviewed the findings in Section 19.38.01(e)K(5)(A)-(H)

M/Johnson S/Hayes to close the hearing. Motion carried 4-0

M/Hayes S/Johnson in Case 9553A-88 to recommend rezoning from CB to CB (PD) and approval of the preliminary and final development plans for a restaurant, having been able to make the findings in Section 19.38.01(e)(5)(A)-(H) and subject to the following conditions:

- 1) interior seating not exceed 160 seats;
- 2) signage conform to the following standards:
  - a) one wall or canopy sign be permitted near the entrance to the building;
  - b) one freestanding sign be permitted on the Lyndale Avenue frontage, not to exceed 103 square feet per face. Height of sign be determined in consideration of Lyndale Avenue Streetscaping Program (not to exceed six feet above highest outside wall), and be approved by the Manager of Building and Inspection.

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- c) no reader boards or electronic message boards be permitted;
- d) two directional signs be permitted, containing not more than six square feet per face (including a one square foot logo, if any) and not more than four feet in height;
- e) no roof signs be permitted;
- 3) all trash be stored in an interior location as approved by the Environmental Services Division and the Fire Marshal;
- 4) no public areas, except restrooms, be permitted in the lower level unless additional parking is provided and plans are approved by the City Council;
- 5) designs for the canopy, and any logos included thereon, be approved by the Director of Planning prior to their manufacture and installation.
- 6) outdoor patio to the west of the building, including fence design and height, be approved by the Fire Marshal, Crime Prevention Officer and Director of Planning prior to the issuance of building permits.
- 7) utility plan with existing and proposed fire hydrants and water lines be approved by the Utilities Engineer prior to the issuance of building permits;
- 8) deep canopy over the fire exit on the north wall be eliminated;
- 9) connection charges of approximately \$420 be paid prior to the issuance of foundation and building permits;

Motion carried 4-0

In addition to the above conditions the following Code requirements must be met:

- 1) exterior lighting and building security plans be approved by the Crime Prevention Officer, Bloomington Police Department;
- 2) handicapped parking be provided with standard handicapped signs as approved by the Director of Planning;
- 3) handicapped access be provided to the building;
- 4) food service be as approved by the Environmental Services Division; and
- 5) handicapped toilet facility be provided.

Adjournment

The meeting was adjourned at 6:35 PM

## Item 4

**GENERAL INFORMATION**

- Applicant:
- 1) First Bank National Association (Case 10329A-97)
  - 2) First Bank National Association (Case 10329B-97)
  - 3) Applebee's Restaurant (Case 10329C-97)
- Location:
- 1) 9537 Lyndale Avenue
  - 2) 9537, 9605, 9615, 9619, 9621, 9633 and 9645 Lyndale Avenue and 9608 Garfield Avenue
  - 3) 9537, 9605, 9615, 9619 and 9621 Lyndale Avenue and 9608 Garfield Avenue
- Request:
- 1) Rezone property from CB(PD) Central Business (Planned Development) to CB Central Business (Case 10329A-97);
  - 2) Preliminary Plat of Oxboro Heath 3rd Addition (Case 10329B-97); and
  - 3) Conditional use permit and final site plan and building plans for a freestanding restaurant (Case 10329C-97).

**PROPOSAL**

First Bank National Association, owner of the eight properties involved in one or more of the three applications, requests a rezoning of the north property, 9537 Lyndale Avenue, from CB(PD) to CB in order to remove the Planned Development Overlay District remaining from a proposed commercial development that was never started.

First Bank proposes to plat the eight property, 5.32 acre package into two lots. A revised preliminary plat shows that the 31,818 square foot bank would occupy the larger 2.7 acre south lot, proposed Lot 2, and the new 2.13 acre north lot, proposed Lot 1, would be developed with a free-standing Applebee's Restaurant. The westerly 10 feet of Garfield Avenue (0.13 acres) and the easterly 27 feet of Lyndale Avenue (0.36 acres) are currently under permanent street easement and would be dedicated for rights-of-way (a total of 0.49 acres). All existing easements of record would be carried forward and new easements appropriate to the plat and proposed development would be provided. The bank setback from the new interior lot line would be 54 feet and a total of 129 parking spaces would be retained for the bank within Lot 2. Based on 25,455 square feet of gross leasable floor area, 128 spaces are required for the bank. A common driveway and circulation easement would allow both lots to share access on Lyndale and Garfield Avenues via the existing north driveways on both streets.

The proposed 5,000 square foot (without trash storage and cooler space) restaurant will be located in the north half of proposed Lot 1, having setbacks of about 128 feet from Lyndale, 154 feet from Garfield, 25 feet from the north property line and 70 feet from the south property line. The building entry is on the south side with a trash and recyclable materials collection/storage space at the north end. Exterior finish and materials will consist of several types and colors of brick, striped awnings over the entry door and nine other windows, a standing seam metal roof over the main entry and the trash area, and a metal coping cap for the low-pitch roof.

Revision to the existing islands and expansion of the parking area east of the building will allow for 138 on-site parking spaces, of which four are accessible spaces. Site access is via the north driveway onto Lyndale and the existing north driveway to Garfield which will be covered by appropriate common access and circulation easements. Screening and landscaping will be provided consistent with the approved streetscapes for Lyndale and Garfield Avenues. A lighting photometric has been submitted, but specific information on existing and proposed site and building fixtures was not provided. Submitted plans indicate an intent to use wall signs on the west and south elevations of the building and possibly a pylon sign along Lyndale Avenue, but no detailed information is available.

## **ANALYSIS**

### **Rezoning:**

The requested rezoning is essentially a housekeeping action to clear the unused Plan Development Overlay District from the subject parcel to allow conforming development of the property and is supported by staff.

### **Preliminary Plat:**

The proposed plat will combine the multiple property package, currently under single ownership, into two lots and include dedication of right-of-way for Garfield and Lyndale Avenues. Staff would note that the documents submitted in the application indicate a total of nine parcels involved in the plat package while City records show the existence of only eight for the same area. This is not a problem, but is indicative of the value of such plats in order to correct such issues. Both parcels are in conformance with the requirements of the CB District and proposed Lot 2 contains adequate parking for the existing bank building. The platting is essentially a housekeeping action.

The southerly 34 feet of Lot 2 (currently Outlot A, Oxboro Retail Center Addition) was originally part of the Oxboro Redevelopment Planned Development and will remain in that PD Overlay District for the present as a portion of the retail center's northeast drive to Garfield Avenue lies on the southeast half of the parcel. The overlay zoning is not a problem to Outlot A's inclusion in the plat as it is a separate parcel of record and its function for both developments will not be impaired as appropriate easements will be carried forward.

Other elements of the plat will be dedication of those portions of Garfield and Lyndale Avenues currently under permanent street easement, provision of standard interior lot line drainage and utility easements, carrying forward existing easements of record for drainage/utility/sidewalk/bikeway purposes along all lot frontages, continuation of existing and provision of new common/cross access, circulation and parking agreements between the two lots and the retail center to the south. No park dedication should be required and the plat should be filed with the County before issuance of any building permits.

This report was prepared prior to the review of the preliminary plat by the Administrative Subdivision Review Committee which is scheduled for May 27, 1997. The recommendations from that review will be provided to the Commission prior to the hearing and may result in minor changes to the conditions currently stated in this report.

**Conditional Use Permit and Final Site Plan & Building Plans:**

The restaurant has been oriented more to the interior of the site than to Lyndale Avenue with the building entrance on the south side and parking located predominantly to the south and east. This orientation places the entrance convenient to most of the parking. The facility will share the north driveways to Lyndale and Garfield Avenues under appropriate access/circulation easements. The applicant has not submitted any revised plans consistent with the revised preliminary plat relocation of the south property line for proposed Lot 1.

Although different in scale and orientation, the use of this area for a restaurant is consistent with the purpose of the original Planned Development Overlay District that is being requested for removal, but one that can be achieved without it. The use will be compatible with neighboring land uses and has user characteristics that work well with office activities for shared access, circulation and parking. Staff would point out that "on-site" parking will now increase to 138 spaces.

This report was prepared prior to the review by the Fire and Life Safety Committee and completion of the review by Public Works. Those recommendations and comments will be made available to the Commission prior to the public hearing and the conditions recommended in this report will be amended accordingly.

Staff has noted the inconsistency of the submitted plans, but the most significant plan deficiency is the enclosed trash room on the northeast corner which is not "within" the building as it is not fully enclosed, but has open areas along the wall elevations. The facility must be within the building and the applicant has been advised of this situation. They have indicated that corrections will be made to make the trash room comply by completing the wall closures. Building plan inconsistencies have been corrected to show the trash access door on the east side through a metal overhead door. It would appear those building detail corrections can be made without noticeable change to the general site plan and can be adequately covered by condition.

Additional information is required for both the lighting plan and the sign plan, which can be addressed prior to any permit issuance. It is noted that the drawing submitted (and attached to this report) indicate that both cabinet signs and channel letters are shown on the walls. This is not permitted by the sign code.

**RECOMMENDATION**

In Case 10329A-97, staff recommends approval of a rezoning from CB(PD) to CB for the property at 9537 Lyndale Avenue.

In Case 10329B-97, staff recommends approval of the Preliminary Plat of Oxboro Heath 3rd Addition for the properties at 9537, 9605, 9615, 9619, 9621, 9633 and 9645 Lyndale Avenue and 9608 Garfield Avenue subject to the following conditions:

- 1) Plat be filed with the County prior to the issuance of any building permits for proposed Lots 1 and 2;

- 2) Dedicate those areas along Garfield and Lyndale Avenues that are currently under permanent street easement as rights-of-way for the respective streets;
- 3) Common driveway/access/parking agreement between proposed Lots 1 and 2 and between Lot 2 and the Oxboro Retail Center Addition be provided as approved by the Traffic Engineer, and proof of filing be provided to the Manager of Building and Inspection;
- 4) Erosion control measures be in place prior to issuance of grading permits;
- 5) Alterations to utilities be at the developer's expense;
- 6) Five foot drainage and utility easements be provided along both sides of the common line between Lots 1 and 2 and existing drainage/utility/sidewalk/bikeway easements along all street frontages be retained as approved by the City Engineer; and
- 7) No park dedication be required.

In Case 10329C-97, staff recommends approval of the conditional use permit and final site plans and building plans for a restaurant at 9537, 9605, 9615, 9619 and 9621 Lyndale Avenue and 9608 Garfield Avenue subject to the following conditions being satisfied prior to the issuance of any grading or building permits:

- 1) Exterior building materials be approved by the Planning Manager;
- 2) Building plans shall identify trash and recyclable material collection and storage area provided within the building as approved by the Fire Marshal and the Planning Manager;
- 3) Grading, drainage, utility and erosion control plans be approved by the City Engineer;
- 4) Connection charges be satisfied;
- 5) A SAC questionnaire be completed and submitted to the Department of Public Works and SAC fees satisfied;
- 6) Access, circulation and parking plans be approved by the City Traffic Engineer;
- 7) Erosion control measures be in place prior to issuance of grading permits;
- 8) Common driveway and access agreement be provided as approved by the Traffic Engineer, and proof of filing be provided to the Manager of Building and Inspection;
- 9) Dedicate those areas along Garfield and Lyndale Avenues that are currently under permanent street easement as rights-of-way for the respective streets;
- 10) Review and approval by nine Mile Creek Watershed District;

and subject to the following additional conditions of approval:

- 11) Alterations to utilities be at the developer's expense;
- 12) All pickup and drop-off occur on site and off of public streets;
- 13) All loading and unloading occur on site and off of public streets;
- 14) Existing approved streetscapes along Garfield and Lyndale Avenues shall be maintained;

and subject to the following Code requirements:

- 1) Landscape plan be approved by the Planning Manager (Sec 19.52);
- 2) All rooftop equipment be fully screened (Sec. 19.52.01);
- 3) Poured-in-place concrete curbs be provided on the perimeter of parking lots and traffic islands (Sec 19.64);

- 4) Property be platted in accordance with the requirements of Chapter 16 of the City Code (Sec. 16.03);
- 5) Building be provided with an automatic fire sprinkler system as approved by the Fire Marshal (Mn Bldg. Code 3802; Uniform Fire Code Ch. 10.306);
- 6) Fire lanes be posted as approved by the Fire Marshal (Sec. 8.73);
- 7) Utility plan showing location of existing and proposed water main and fire hydrant locations be approved by the Fire Marshal and Utilities Engineer (Sec. 6.20, Uniform Fire Code Ch. 10.301-C);
- 8) Food service plans be approved by the Environmental Services Division (Sec. 14.360);
- 9) Parking lot and site security lighting shall satisfy the requirements of Section 19.54 of the City Code; and
- 10) Signage be in conformance with the requirements of Chapter 19, Article X of the City Code: No deviations from the Code permitted by Section 19.38.01 are approved in this development plan.

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# ADMINISTRATIVE SUBDIVISION REVIEW COMMITTEE

Tuesday, May 27, 1997

9:00 a.m.

Commission Meeting Room

**Staff:** Don Mattson, Chair, Engineering  
Mark Reichel, Assessing  
Bob Sharlin, Planning

**Item 1** **Preliminary Plat of Oxboro Heath 3rd Addition**  
**9537, 9605, 9615, 9619, 9633, 9645 Lyndale Avenue South**  
**and 9608 Garfield Avenue South**  
**First Bank National Association**  
**Case 10329ABC-97**

M/Sharlin, S/Reichel recommending approval of the preliminary plat of Oxboro Heath 3rd Addition subject to the following conditions:

- 1) Plat be filed with the County prior to issuance of any building permits for proposed Lots 1 and 2;
- 2) Dedicate right-of-way to 40' from center line on Garfield Avenue and 60' from center line on Lyndale Avenue;
- 3) Common driveway/access/parking agreement between proposed Lots 1 and 2 and between Lot 2 and the Oxboro Retail Center Addition be provided as approved by the Traffic Engineer, and proof of filing be provided to the Manager of Building and Inspection;
- 4) Erosion control measures be in place prior to issuance of grading permits;
- 5) Alterations to utilities be at the developer's expense;
- 6) Five-foot drainage and utility easements be provided along both sides of the common line between Lots 1 and 2 and existing drainage/utility/sidewalk/bikeway easements along all street frontages be retained as approved by the City Engineer;
- 7) No park dedication required.

Motion carried 3-0.

The meeting adjourned at 9:15 a.m.

Mary Zimmerman  
Minutes Secretary

#3

CONDITIONS OF THE FIRE AND LIFE SAFETY COMMITTEE

- 1) building(s). or portions thereof. be totally sprinklered as approved by the Fire Marshal;
- 2) exterior lighting and building security plans be approved by the Community Resource Unit, Bloomington Police Department;
- 3) fire lanes be posted as approved by the Fire Marshal;
- 4) for ADA requirements see list below;
- 5) utility plan with existing and proposed water mains and fire hydrants be at locations as approved by the Fire Marshal and Utilities Engineer;
- 6) traffic, circulation and parking plans be approved by the Traffic Engineer;
- 7) enclosed trash facility(s) be provided in a designated area as approved by the Planning Manager;
- 8) space must be provided for the collection, separation and temporary storage of recyclable materials within or adjacent to the building;
- 9) any standby fuel provisions be as approved by the Fire Marshal;
- 10) street names be in conformance with the standard street naming policy;
- 11) temporary street signs, lighting and building addresses be provided during construction;
- 12) food service be as approved by the Environmental Services Division;
- 13) parking structures be built in conformance with open parking garage standards;
- 14) further review by the FLSC prior to final site plans and building plans consideration;
- 15) F.L.S.C. RECOMMENDS A ADDRESS FOR THE  
SITE OFF OF LYNDALE
- 16) \_\_\_\_\_  
\_\_\_\_\_
- 17) \_\_\_\_\_  
\_\_\_\_\_





May 27, 1997

B R W INC.

Mr. Galen Doyle  
City of Bloomington  
Community Development Department  
2215 Old Shakopee Road  
Bloomington, MN 55431-3096

**RE: Revised Preliminary Plat Application  
First Bank National Association**

Dear Mr. Doyle:

Attached are application materials in support of a request by First Bank National Association for approval of a Preliminary Plat action in connection with their planned sale of a portion of their Lyndale Avenue (Oxboro) First Bank site to Applebee's Restaurants for the development of a restaurant on the northern portion of the site. Per our pre-application meeting, we are including:

- Signed Application Form
- Property addresses, PIN numbers, and legal descriptions
- Application Fee in the amount of \$ 700.00
- Eight full-size copies of Existing Conditions/Preliminary Plat graphic
- Eight full-size copies of Applebee's proposed Grading and Drainage Plan
- Reduced (8.5"x11") plans

The subject property currently consists of portions of seven lots within the plat of Oxboro Heath, and Outlot A, Oxboro Retail Center. The proposed plat, Oxboro Heath 3rd Addition, would consolidate the eight existing parcels, dedicate street right-of-way for Lyndale Avenue South and Garfield Avenue South, and create two new lots; one for the existing Bank building and associated parking, and one for the proposed Applebee's restaurant and associated parking. The right-of-way dedication would replace existing easements which provide for the westerly 10 feet of the west half (40 feet) of Garfield Avenue South, and the easterly 27 feet of the east half (60 feet) of Lyndale Avenue South. Sidewalk, Bikeway, and Utility Easements encompassing an additional 10 feet of lot area adjacent to each of the street rights-of-way will be redefined to replace the existing easements as recorded in Document Number 5630984 for Garfield Avenue South, and Document Numbers 5630984, 5471286, and 5471287 for Lyndale Avenue South. The areas for the proposed street dedication are listed on the Preliminary Plat graphic as 15,604 square feet for Lyndale Avenue, and 5,784 square feet for Garfield Avenue.

Planning  
Transportation  
Engineering  
Urban Design

Thresher Square  
700 Third Street So.  
Minneapolis,  
MN 55415  
612/370-0700  
Fax 612/370-1378

Denver  
Milwaukee  
Minneapolis  
Newark  
Orlando  
Phoenix  
Portland  
San Diego  
Seattle

Mr. Galen Doyle  
May 27, 1997  
Page 2

Proposed Lot 1, Block 1, Oxboro Heath 3rd Addition is being created to convey property to Applebee's Restaurants for the development of a new restaurant on the northern portion of the subject property. Lot 1, for Applebee's, would contain 92,907 square feet, or 2.13 acres. As illustrated on the Preliminary Plat, the south line of proposed Lot 1 is coincident with the southerly line of existing Lot 33, Block 11, Oxboro Heath Addition. Lot 2, for the Bank, would contain 117,495 square feet, or 2.70 acres.

As proposed, Lot 2 would provide a lot envelope which would allow the existing Bank site development to meet all applicable requirements for minimum lot dimensions and size, building setbacks, maximum floor-area-ratio, and parking requirements specified in the Central Business District zoning classification. Proposed minimum building setbacks would be:

- North side, interior lot line: 54 feet to north building face
- South side, interior lot line: 80 feet to canopy at drive-through
- East side, street frontage, Garfield Avenue: 55 feet to canopy at drive-through
- West side, street frontage, Lyndale Avenue: 124 feet to west building face

Floor-area-ratio for the proposed lot would be 0.27 based on a gross building area of 31,818 square feet for the bank, and the proposed lot area of 117,495 square feet.

The proposed configuration of Lot 2 provides for 129 parking spaces with no modifications to the existing site improvements. The parking is provided as follows:

- East side: 30 spaces, 14 angled spaces southeast, 16 spaces northeast
- North side: 11 spaces, located on drive-aisle/access from Garfield
- West side: 88 spaces, from north lot line to southerly access from Lyndale
- Total: 129 spaces, including 8 disabled spaces per ADA requirements

The 129 spaces would provide sufficient parking for the bank based on 80% utilization of the 31,818 gross square feet within the bank building. At 1 space per 200 square feet for 25,455 net square feet, the required parking for the bank would be 128 spaces.

A parking utilization study completed for the Bank in April of 1994 found that the maximum utilization of Bank parking occurred on Friday afternoon between 4:00 and 5:00 PM. Based on thirty counts of parked vehicles taken at intervals during four weekdays in April, 1994, including counts from 4:00 to 6:00 PM on two Fridays, the maximum observed utilization of the Bank parking was 90 occupied parking spaces. According to the Bank manager, the building was fully leased and occupied during those times, and as expected, Friday afternoon was representative of the Bank's peak activity.

10329ABC 97

Mr. Galen Doyle  
May 27, 1997  
Page 3

The Preliminary Plat graphic also illustrates proposed easements for common access between Lots 1 and 2. The common access easement would provide for access to the Bank facilities on Lot 2 from the main (northerly) entry on Lyndale Avenue across Lot 1, including access to the most westerly row of bank parking. It would also provide for access to the proposed Applebee's on Lot 1 from the Garfield Avenue entry across Lot 2. Traffic control and safety would be improved at the intersection of these two main on-site circulation aisles with the addition of stop signs at the south and east approaches to the "T" intersection of these two main drive aisles. These are the only site improvements proposed for Lot 2.

Additional information concerning the proposed Applebee's site development for Lot 1 is available in the companion Final Site Plan and Conditional Use Permit application filed by First Bank National Association and Applebee's Restaurants. If you have any questions concerning this application, or need additional information, please do not hesitate to contact me at 373-6341. On behalf of the fee owner and applicant, we look forward to the review and approval of this proposal by the City of Bloomington.

Sincerely,

BRW, Inc.



Miles Lindberg, ASLA  
Senior Associate

cc: Donald E. Nelson  
Vern Wilcox  
Robert Perry

10329ABC 97

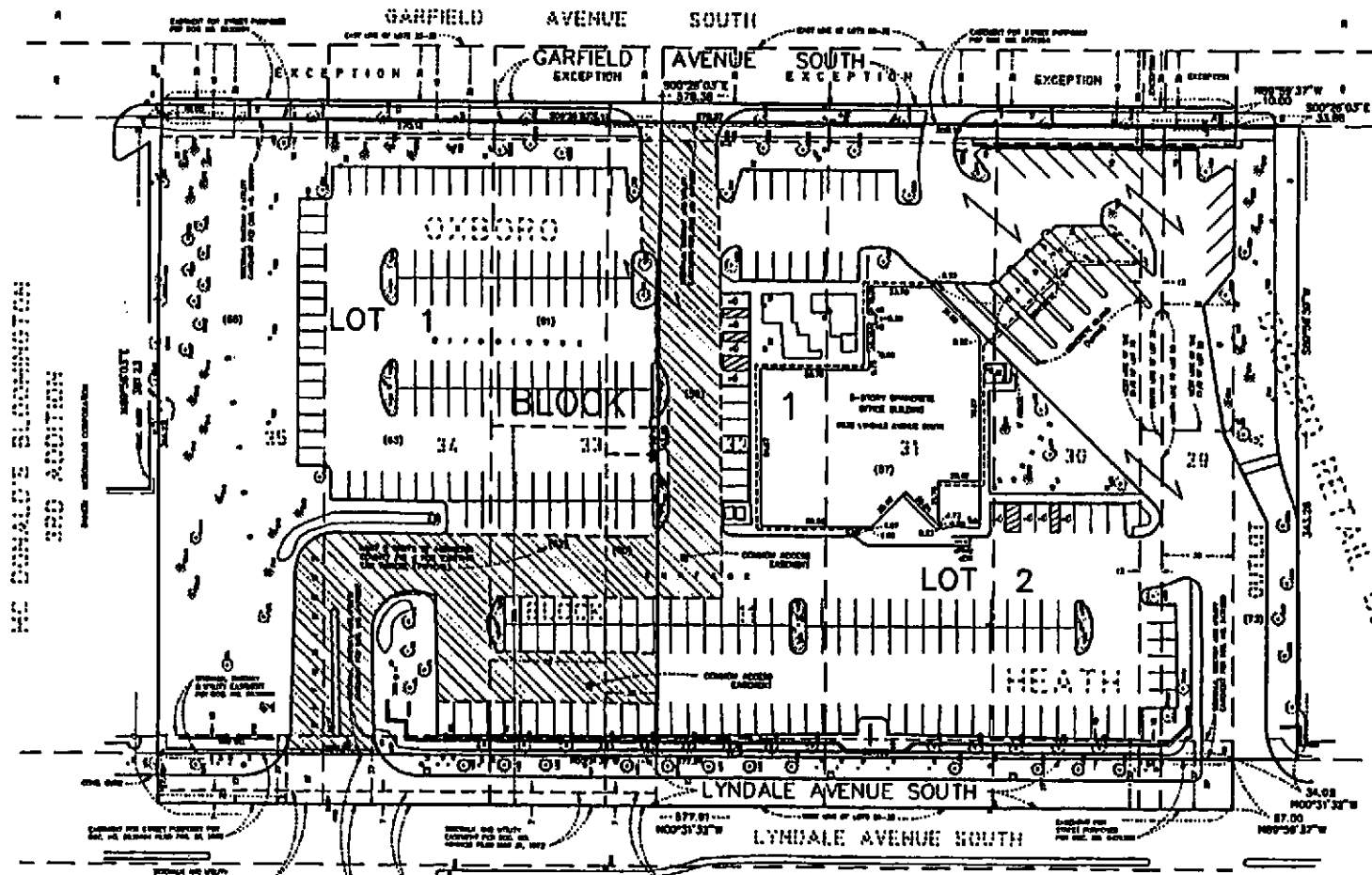
RUTH  
WALKER  
ADDITION

OSBORO

HEATH

VICINITY MAP

912



MC DONALD'S BLOOMINGTON  
3RD ADDITION

**OVERALL LEGAL DESCRIPTION**  
 North 20 feet of Lot 20, Block 11, OSBORO HEATH, except the East 20-foot Parcel.  
 The East 1/2 of the North 20 feet of Lot 20, Block 11, OSBORO HEATH, except the East 20-foot Parcel.  
 South 11 feet of Lot 21, Block 11, OSBORO HEATH, except the East 20-foot Parcel.  
 The East 1/2 of the South 11 feet of Lot 21, Block 11, OSBORO HEATH, except the East 20-foot Parcel.  
 Lot 20, Block 11, OSBORO HEATH, except the East 20-foot Parcel, and except the South 11 feet Parcel.  
 Lots 21 and 22, Block 11, OSBORO HEATH, except the East 20-foot Parcel.  
 Lot 23, Block 11, OSBORO HEATH, except the East 20-foot Parcel.  
 Lots 24 and 25, Block 11, OSBORO HEATH, except the East 20-foot Parcel.  
 Parcel A, OSBORO HEATH, CENTER.  
 All according to the recorded plat thereof, through Chas. C. Mansfield.

**AREA TABULATION**  
 LYNDALE AVE. S. R/W = 15,000 SQ. FT.  
 GARFIELD AVE. S. R/W = 5,754 SQ. FT.  
 PROPOSED LOT 1 = 72,867 SQ. FT.  
 PROPOSED LOT 2 = 371,466 SQ. FT.  
 TOTAL PROPERTY = 524,087 SQ. FT.

**COSTING SUMMARY**  
 PART LOT 20, LOTS 21-24 INCLUDING OS. PRIMARY  
 LOT 25 OS. PRIMARY & PLANNED DEVELOPMENT OVERLAY (SEE ACCOMPANYING RECORDING REQUEST)  
 OUTLET A OS. PRIMARY & PLANNED DEVELOPMENT OVERLAY

10329ABC 97

OSBORO HEATH 3RD ADDITION  
PRELIMINARY PLAN

1

Landform Engineering Company  
926 Twelve Oaks Center  
15500 Wayzata Boulevard  
Wayzata, Minnesota 55391  
(612)475-3272 info@landform.net

.....

# Applebee's Restaurant

May 21, 1997

City of Bloomington Minnesota  
Mr. Galen Doyle  
Planning Commission  
City Council  
2215 West Old Shakopee Road  
Bloomington, Minnesota 55431

Applebee's Restaurant  
9608 Garfield Avenue South  
Bloomington, Minnesota

Per our telephone conversation last week, we understand you have identified the following issues regarding the Application for a Conditional Use Permit, and Final Site & Building Plan Approval on the above-mentioned site.

1. Trash Enclosure Area - Full enclosure required
2. Awning Materials
3. Lighting Cut Sheet Information
4. Hours of operation and Peak Employee Counts
5. Signage Information

Landform Engineering Company and Applebee's Restaurant offer the following in additional information as response to your concerns:

Item No. 1:

The attached architectural elevations have been revised to reflect the extension of the masonry wall treatment up to meet the roof structure. The only openings to the trash enclosure area are the overhead doors on the east, and man door to the north. There was some misunderstanding as the previous elevations were inconsistent.

Item No. 2:

The revised elevations enclosed reflect a detailed description of the Awning Materials proposed. Also included is a specification section for these awnings.

.....

*Application for Site and Building Plan Approval*  
*Application for Conditional Use Permit*

*Applebee's Restaurant*  
*Bloomington, Minnesota*

Item No. 3:

Enclosed please find typical cut sheets for the proposed architectural fixtures, as well as the proposed site lighting fixtures. We are in the process of updating the Site Electrical Plan at the walk and in the parking areas to reflect the foot-candle levels including these fixtures. We will forward this plan upon completion.

Item No. 4:

The initial hours of operations will be 11am - midnight, Monday through Thursday; 11am - 1:30 a.m. Friday and Saturday; and 10am - midnight on Sunday. The peak employee count at the busiest shift is anticipated to be 25 employees.

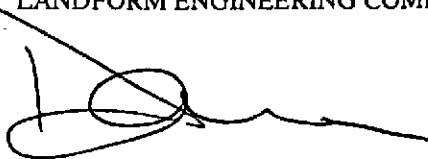
Item No. 5:

Enclosed are preliminary signage cut sheets on the proposed pylon sign and building signage.

It is our understanding, as well as the owners, that this is the extent of concerns to date. In light of the fact that this package was submitted nearly a week prior to deadline, and that we have met with staff on two occasions to discuss this application we feel we have made substantial efforts to ensure a complete application for your review. The owner is under a tight development schedule and has expressed concern about being removed from the agenda for the June 5<sup>th</sup> Planning Commission Meeting. While we fully understand the need for a complete review process by all applicable departments, we feel we have provided the required information and unless other issues arise ask that this project be heard on the June 5<sup>th</sup> agenda as published.

As always, should any other concerns arise, please contact me at (612)475-3272

Sincerely,  
LANDFORM ENGINEERING COMPANY



Darren B. Lazan  
Principal

Copy: Gary Fischer, File  
Attachments: Revised Architectural Elevations, Lighting Cut Sheets, Preliminary Sign Drawings,  
Awning Material Specification,

# WALL SCONCE

## LASER

Yamada design

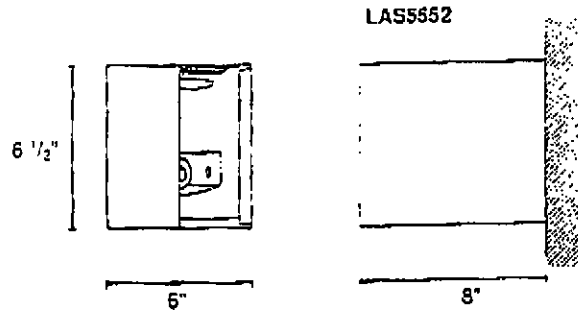
### SPECIFICATIONS:

- LUMINAIRE: DIE CAST ALUMINUM CONSTRUCTION.
- OPTICS: BI CONVEX LENS FEATURES LASER BEAM CONTROL ( 1/2", 1", 1 1/2") IN ONE DIRECTION WHILE PROVIDING GENERAL ILLUMINATION (92° BEAM) IN THE OTHER.
- LAMPHOLDER: MINI CAN
- LAMP: TUNGSTEN HALOGEN SINGLE ENDED, T4 - 100 WATT (BY OTHERS)
- MOUNTING: WALL MOUNT. COLUMN MOUNT.
- FINISH: POLYESTER POWDER COAT.



- DIE CAST ALUMINUM CONSTRUCTION
- UP AND DOWN LIGHT COMPONENT
- FACTORY ADJUSTABLE BEAM SPREADS

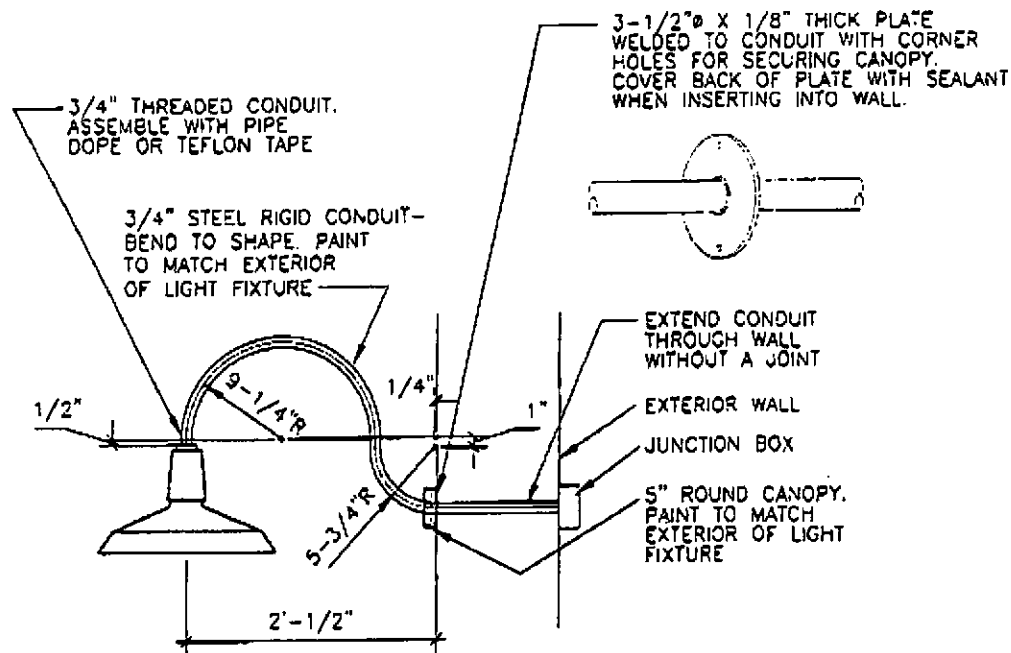
U.L., C.U.L. LISTED --- SUITABLE FOR WET LOCATION



CATALOG NO. :

LAS5552 - / /

CATALOG NO.	LAMP LUMINAIRES AVAILABLE IN LOWER WATTAGE	FINISH	OPTIONS												
LAS5552	<table border="1"> <tr> <td><input checked="" type="checkbox"/> Q150</td> <td>150</td> <td>(Q) QUARTZ</td> <td><input type="checkbox"/> 120</td> </tr> <tr> <td><input type="checkbox"/> Q100</td> <td>100</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Q50</td> <td>50</td> <td></td> <td></td> </tr> </table>	<input checked="" type="checkbox"/> Q150	150	(Q) QUARTZ	<input type="checkbox"/> 120	<input type="checkbox"/> Q100	100			<input type="checkbox"/> Q50	50			<input type="checkbox"/> BLACK.....BK <input type="checkbox"/> WHITE.....WT <input type="checkbox"/> SILVER.....SL  <input checked="" type="checkbox"/> OTHER CUSTOM Triton Green	<input type="checkbox"/> 1/2" LASER BEAM.....BM5 <input checked="" type="checkbox"/> 1" LASER BEAM.....BK10 <input type="checkbox"/> 1 1/2" LASER BEAM.....BM15
<input checked="" type="checkbox"/> Q150	150	(Q) QUARTZ	<input type="checkbox"/> 120												
<input type="checkbox"/> Q100	100														
<input type="checkbox"/> Q50	50														



## INSTALLATION DETAIL TYPE H LIGHT FIXTURE

NO SCALE

TYPE	MFR. & MODEL NO.	VOLT	LAMPS	DESCRIPTION
H	ABOLITE #RD200-INC-AG-SPL-WL	120	(1) 150W PS-25	PORCELAIN DOME REFLECTOR WITH SPECIAL POWDER COAT FINISH TO MATCH TRITON GREEN AND WET LOCATION LABEL AND TEFLON COATED SAFETY LAMP. 6 YEAR WARRANTY. SEE NOTE 2 BELOW.

"GOOSENECK" LIGHT FIXTURES  
APPLEBEE'S - BLOOMINGTON



**APPLEBEE'S NEIGHBORHOOD GRILL & BAR  
BLOOMINGTON, MN - LYNDALE AVE. SOUTH**

**SECTION 10700: AWNINGS**

Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification sections apply to work of this section.

Furnish all labor, materials, tools and equipment necessary to complete all awnings work shown on the drawings and as specified herein subject to the provisions of the General Conditions and Supplementary General Conditions.

Submit fabric samples and detailed shop drawings for approval in accordance with requirements of General Conditions. Sample to exhibit typical seaming, rafter pocket, valence pattern, and edge treatment.

**MATERIALS:**

Metal framework and fittings: 1" square galvanized steel tube with all welded joints with galvanized fittings, in profiles indicated, complete with all rafters, support columns, brackets fittings & accessories. Securely brace to wall. Furnish all additional accessories and fittings required for complete installation. Frame to be painted an aluminum color as specified in Section 09900. No portion of frame shall extend across the face of the windows.

Awning material supplier: Call Astrup (800)786-7609 for referral to local distributors and suppliers.

Awning material: Astrup "Millcor" polyester scrim, vinyl laminated; Weblon Coastline Plus.  
Colors: CP-2709 Rust CP-2700 Sand, and CP-2711 green. Alternating patterns of green 18", Sand 7", Rust 11" and Sand 7". All awning end panels shall have striped pattern the same as the main body.

Awning material shall be lace on type with roped reinforced eave with side curtains in profiles indicated. Stretch on tight to eliminate wrinkles.

Binding Tape shall be rust color to match the rust stripe.

Thread shall be white for exterior use. Seam shall be sewn or heat sealed.

Installation shall be guaranteed by installer for a period of two years from date of final acceptance.

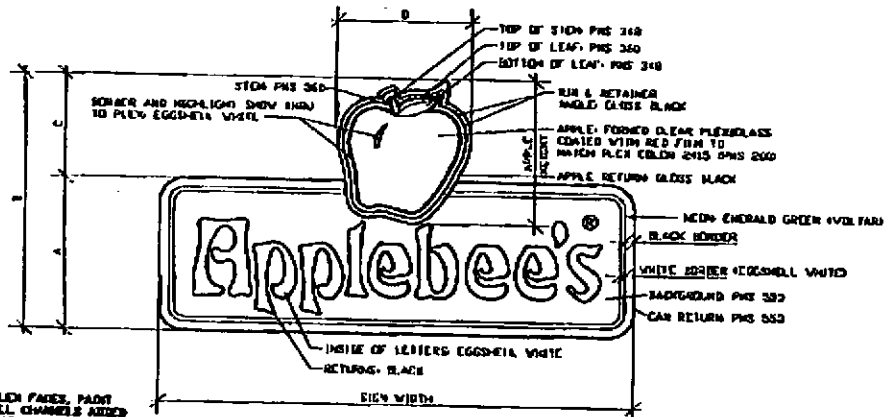
Coordinate awning fabrication and supporting framework and anchorage details with fascia. Install additional blocking as required. Install awnings true and plumb. Awning covers shall fit frames TIGHTLY and without bind, gathering, or warping.

Comply with all local codes for awning height, loading requirements, framing, and flammability requirements.



SIGN WIDTH	A	B	C	D	APPLE HEIGHT	BLACK BORDER WIDTH	WHITE BORDER WIDTH	COPY SIZE (APPLEBEE'S)		WALL SIGN SQUARE FOOTAGE	TRANS (S/F)	SIZE TRANS	AMPS (S/F)
								A	B				
1'-0"	2'-0"	2'-1 1/2"	2'-0 1/2"	2'-0 1/2"	2'-0 1/2"	1'-0"	1'-0"	1-2 1/2"	10 3/4"	21.5	1	10	45
6'-0"	8'-0 1/2"	7'-8 1/2"	7'-8 1/2"	7'-8"	7'-8"	6"	6"	1-4 3/4"	14 3/4"	46.9	2	18	81
12'-0"	17'-0"	16'-0"	16'-0"	16'-0"	16'-0"	6 1/2"	6 1/2"	1-7"	17"	84.2	4	24	162
17'-0"	24'-0 1/2"	23'-0 1/2"	23'-0 1/2"	23'-0 1/2"	23'-0 1/2"	7"	7"	1-8 3/4"	17 3/4"	120.9	6	30	217

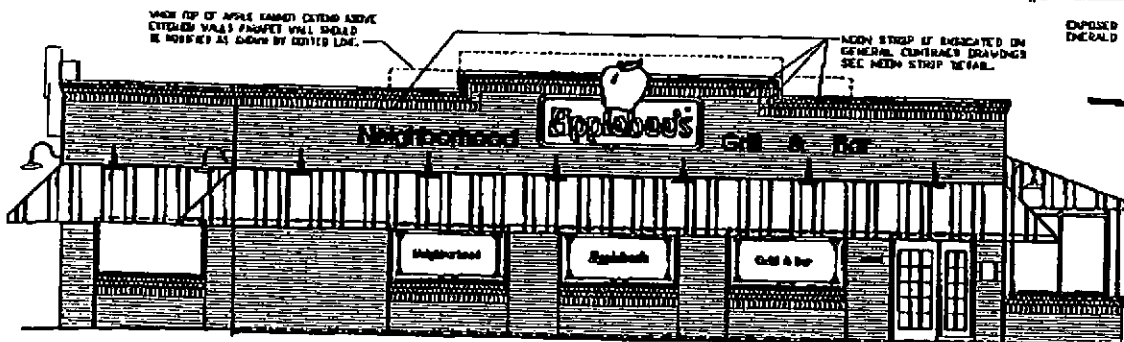
SEE SHEET 4 FOR NEON DETAILS AND COLORS



NOTE: IF ADDING PLEX PANELS, PAINT INSIDE OF ALL CHANNELS WITH "EGGSHELL WHITE" PERIMETER CHANNEL 4" WITH "EGGSHELL WHITE" STRIPS PAINTED NEXT TO CHANNEL.

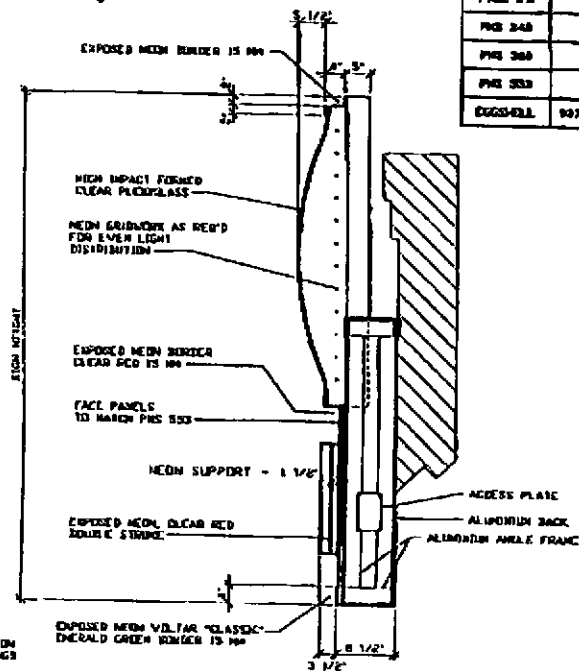
**SINGLE FACE WALL SIGN**  
NO SCALE

NOTE: CAMERA READY ARTWORK REQUIRED PRIOR TO FABRICATION



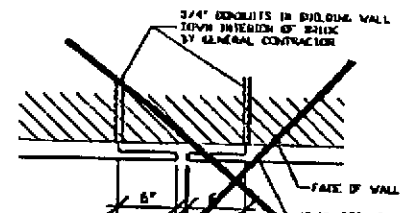
**TYPICAL ELEVATION - FREE STANDING**  
NO SCALE

STANDARD SIGN 18"-0"  
SEE SHEET 15 FOR "NEIGHBORHOOD GRILL & BAR" CHANNEL LETTER ON AWAYWAY SPACE

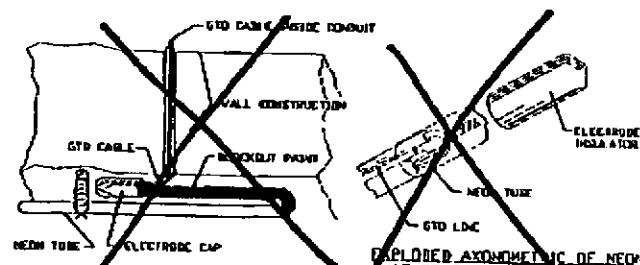


**SIGN SECTION - WALL SIGN**  
NO SCALE

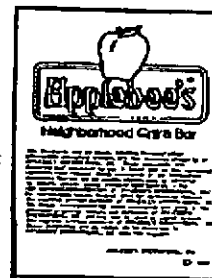
PMS No	SUPPLY	CRIP-FLEX	PATENT
PMS 348	PROPP GREEN		
PMS 368	43757 GREEN	CUSTOM ACE TO PMS COLORS	
PMS 350	546 GREEN		PMS 350 GREEN
EGGSHELL	90774 EGGSHELL WHITE		SPECIAL "APPLEBEE'S" 842-204 BLACK



**NEON BORDER STRIP DETAIL (OPTIONAL)**  
NO SCALE  
(THIS IS NOT USED ON SOME BUILDINGS)



**NEON TUBE TO GTO LINE DETAIL**  
NO SCALE



SGN 4

NOV. 4, 1996

# Neighborhood

# Grill & Bar

→ **RACEWAY MOUNTED CHANNEL LETTERS** ←  
NO SCALE  
**"CHICAGO BOLD" LETTER STYLE**

NOTE: CAMERA READY ARTWORK REQUIRED PRIOR TO FABRICATION

~~Neighborhood  
Grill & Bar~~

**INDIVIDUAL LETTERS - DIRECT MOUNT TO WALL**  
NO SCALE

AVAILABLE IN FLAT CUT OUT ALUMINUM IN 10", 12", AND 24".  
 ALUMINUM THICKNESS IS .050" FINISHED GREEN PTF 552 USE 1/4" TEMPLATE AROUND LETTERS FINISHED EDGEBALL WHITE WHEN MOUNTED ON DARK SURFACE.

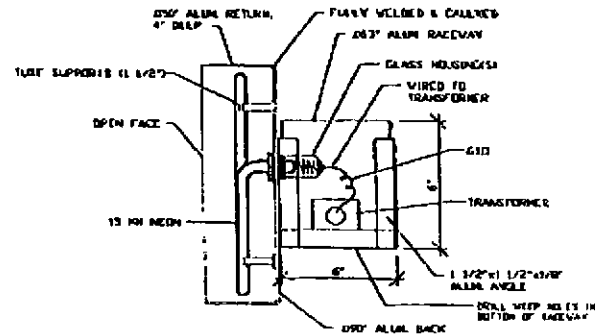
**SPECIFICATIONS:**

- STANDARD SIZE IS 14" UPPER CASE READ AVAILABLE WITH 10" OR 14" UPPER CASE.
- ALSO AVAILABLE AS NON-ILLUMINATED FLAT CUT OUT LETTERS.
- INTERIOR OF LETTERS TO BE PAINTED EDGEBALL WHITE.
- RACEWAY PAINTED GREEN TO MATCH THE SIGN.
- FINISH TO BE ORANGE GREEN VOLVINE "GLASS" COATED.
- FACED IF REQUIRED TO BE POLYCAST GREEN SIGN RETURNING 200 ALUM. 4" DEEP.
- RETURN PAINTED GLOSS BLACK.
- FOR 12" W/C LETTER SPREAD IS: NEIGHBORHOOD 8'-6", GRILL & BAR 6'-2".
- FOR 10" W/C LETTER SPREAD IS: NEIGHBORHOOD 7'-3", GRILL & BAR 6'-10".

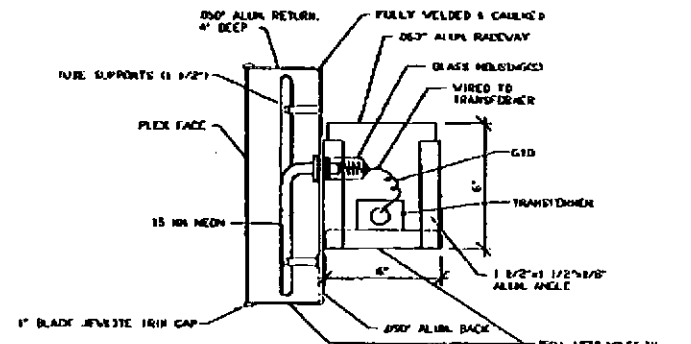
LETTERS NEIGHBORHOOD GRILL & BAR - ELECTRICAL REQUIREMENTS

SIGN WIDTH	SQUARE FOOTAGE	# TRANS (D/F)	# TRANS (S/F)	SIZE TRANS	AMPS (D/F)	AMPS (S/F)
10"	11A	2/A	0	1000	1/2	1
12"	12A	2/A	0	1000	1/2	1
14"	14A	2/A	0	1000	1/2	1

(14" high letters)



**SECTION - OPEN FACE DETAIL  
RACEWAY MOUNTED**  
NO SCALE



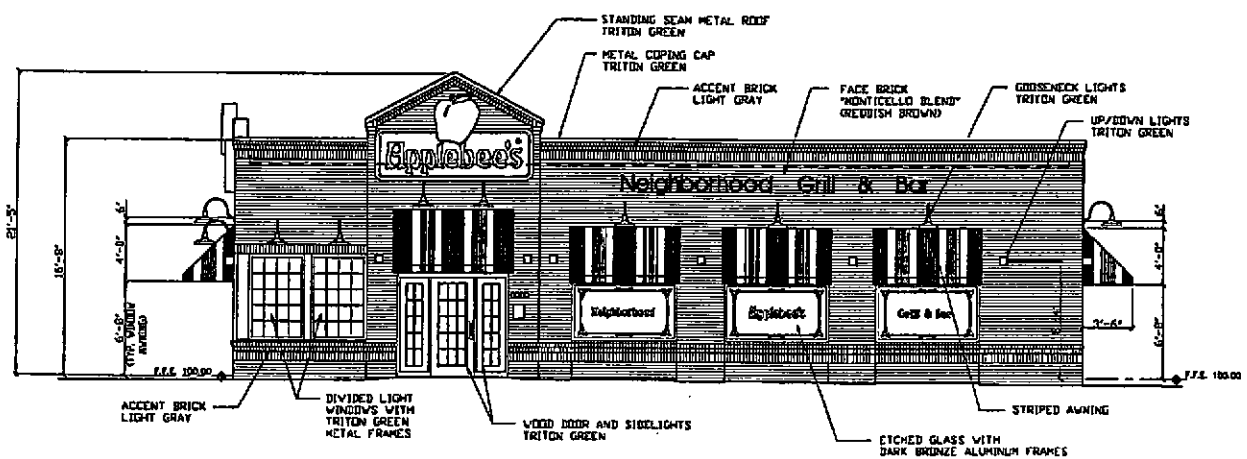
**SECTION - CLOSED FACE DETAIL  
RACEWAY MOUNTED**  
NO SCALE

**Applied's**  
 Neighborhood Grill & Bar

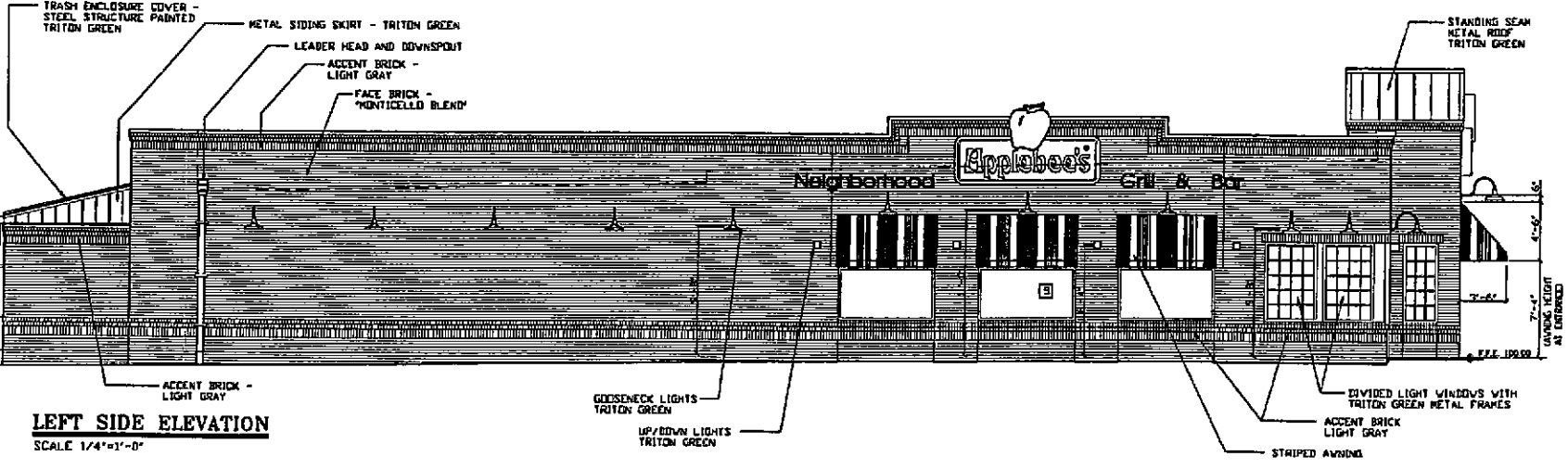
SGN 5

NOV. 1, 1996

NOTES

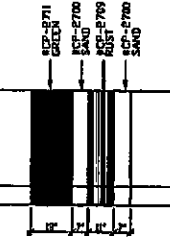


**FRONT ELEVATION**  
SCALE 1/4"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/4"=1'-0"

AWNING PATTERN



TREAT EDGE WITH FINISHING MATERIAL  
GREAT COLOR CCP-87000  
COLORS ARE "COASTLINE PLUS"

COLOR KEY

- ▲ REVERSBAY
- ▲ TRITON GREEN
- ▲ OLYMPIC 709



Applebee's Neighborhood Grill & Bar is a registered trademark of Applebee's International, Inc. All other trademarks are the property of their respective owners. © 1997 Applebee's International, Inc.





July 8, 1997

Donald E. Nelson  
First Bank National Association  
2800 East Lake Street, Lake 002  
Minneapolis, MN 55406

RE: Case 10329AB-97

Dear Mr. Nelson:

At its regular meeting of July 7, 1997, the City Council adopted an ordinance approving a rezoning from Central Business Planned Development CB(PD) to Central Business CB for the property at 9537 Lyndale Avenue (Case 10329A-97).

Also, at its regular meeting of July 7, 1997, the City Council approved a Preliminary Plat of Oxboro Heath 3rd Addition for the properties at 9537, 9605, 9615, 9619, 9633 and 9645 Lyndale Avenue and 9608 Grafield Avenue (Case 10329B-97) subject to the following conditions:

- 1) Plat be filed with the County prior to the issuance of any building permits for proposed Lots 1 and 2;
- 2) Dedicate those areas along Garfield and Lyndale Avenues that are currently under permanent street easement as rights-of-way for the respective streets;
- 3) Common driveway agreement between proposed Lots 1 and 2 be provided as approved by the Traffic Engineer, and proof of filing be provided to the Manager of Building and Inspection;
- 4) Erosion control measures be in place prior to issuance of grading permits;
- 5) Alterations to utilities be at the developer's expense;
- 6) Five foot drainage and utility easements be provided along both sides of the common line between Lots 1 and 2 and existing drainage/utility/sidewalk/bikeway easements along all street frontages be retained as approved by the City Engineer; and
- 7) No park dedication be required.

Should you have any questions regarding this action, please contact Galen Doyle, Associate Planner at (612) 948-8924.

Sincerely,



Clark Ameson  
Planning Manager

cc: Gary Fischer, Applebee's

planning\p\lxmit97\10329a97.doc



July 8, 1997

Gary Fischer  
Applebee's  
4551 West 107th Street, Suite 100  
Overland Park, KS 66207

RE: Case 10329C-97

Dear Mr. Fischer:

At its regular meeting of July 7, 1997 the City Council approved the conditional use permit and final site plan and building plans for a restaurant at 9537, 9605, 9615, 9619 and 9621 Lyndale Avenue and 9608 Garfield Avenue, subject to the following conditions being satisfied prior to the issuance of any grading or building permits:

- 1) Exterior building materials be approved by the Planning Manager;
- 2) Building plans shall identify trash and recyclable material collection and storage area provided within the building as approved by the Fire Marshal and the Planning Manager;
- 3) Grading, drainage, utility and erosion control plans be approved by the City Engineer;
- 4) Connection charges be satisfied;
- 5) A SAC questionnaire be completed and submitted to the Department of Public Works and SAC fees satisfied;
- 6) Access, circulation and parking plans be approved by the City Traffic Engineer;
- 7) Erosion control measures be in place prior to issuance of grading permits;
- 8) Common driveway agreement be provided as approved by the Traffic Engineer, and proof of filing be provided to the *Manager of Building and Inspection*;
- 9) Dedicate those areas along Garfield and Lyndale Avenues that are currently under permanent street easement as rights-of-way for the respective streets;
- 10) Review and approval by nine Mile Creek Watershed District;

and subject to the following additional conditions of approval:

- 11) Alterations to utilities be at the developer's expense;
- 12) All pickup and drop-off occur on site and off of public streets;
- 13) All loading and unloading occur on site and off of public streets;
- 14) Existing approved streetscapes along Garfield and Lyndale Avenues shall be maintained;

Mr. Fischer  
Applebee's  
July 8, 1997  
Page Two

and subject to the following Code requirements:

- 1) Landscape plan be approved by the Planning Manager (Sec 19.52);
- 2) All rooftop equipment be fully screened (Sec. 19.52.01);
- 3) Poured-in-place concrete curbs be provided on the perimeter of parking lots and traffic islands (Sec 19.64);
- 4) Property be platted in accordance with the requirements of Chapter 16 of the City Code (Sec. 16.03);
- 5) Building be provided with an automatic fire sprinkler system as approved by the Fire Marshal (Mn Bldg. Code 3802; Uniform Fire Code Ch. 10.306);
- 6) Fire lanes be posted as approved by the Fire Marshal (Sec. 8.73);
- 7) Utility plan showing location of existing and proposed water main and fire hydrant locations be approved by the Fire Marshal and Utilities Engineer (Sec. 6.20, Uniform Fire Code Ch. 10.301-C);
- 8) Food service plans be approved by the Environmental Services Division (Sec. 14.360);
- 9) Parking lot and site security lighting shall satisfy the requirements of Section 19.54 of the City Code; and
- 10) Signage be in conformance with the requirements of Chapter 19, Article X of the City Code: No deviations from the Code permitted by Section 19.38.01 are approved in this development plan.

Should you have any questions regarding this action, please contact Galen Doyle, Associate Planner at (612) 948-8924.

Sincerely,



Clark Arneson  
Planning Manager

cc: Donald E. Nelson, First Bank National Association

planning\p\submit97\10329c97.doc

10329C

97



April 23, 2005

Ms. Jennifer Johnson  
Lawrence Sign  
945 Pierce Butler Route  
St. Paul, MN 55104

RE: Case 10329A-05

Dear Ms. Johnson:

On April 22, 2005, the revised final site plan and building plans for an LED light band for Applebee's Neighborhood Grill and Bar at 9601 Lyndale Avenue was administratively approved, subject to the following condition:

- 1) All wiring and conduit be internal to the wall; no surface mounted electrical conduit or equipment shall be visible.

Should you have any questions regarding this action, please contact me at (952) 563-8922.

Sincerely,

Bob Hawbaker  
Manager of Planning and  
Economic Development

cc: Ron Herman  
Apple American Limited Partnership of Minnesota  
4551 West 107<sup>th</sup> Street  
Overland Park, KS 66207

Planning\xmit05\10329A-05.doc

10329A

05



June 21, 2012

City of Bloomington, MN  
ATTN: Planning, Zoning, Building Department

RE: Applebee's Neighborhood Grill & Bar  
9601 Lyndale Avenue, Bloomington, MN 55420

Dear Madam or Sir;

The undersigned represents the legal owner and landlord of the referenced property. This letter will serve as approval by the owner / landlord for the tenant's proposed improvements to the existing Applebee's. The tenant shall be responsible for any applicable permits.

The improvements may include the following:

- 1) Replacing existing fabric awnings with new style awnings.
- 2) Replacing the existing awning over the front door with an eyebrow.
- 3) Installing a new roof structure over the existing roof structure.

Sincerely,

A handwritten signature in cursive script that reads "Patrick J. Eulberg".

Patrick J. Eulberg  
Senior Vice President, Real Estate

cc: K. Milush, Apple American Group LLC

10329B

12



July 12, 2012

Mr. Jason Schmidt  
City of Bloomington  
1800 W. Old Shakopee Road  
Bloomington, MN 55431

RE: Applebee's Neighborhood Grill & Bar, 9601 Lyndale Avenue, Bloomington, MN

Dear Jason:

Enclosed is a set of plans for the renovation of the Applebee's Neighborhood Grill and Bar at the location shown above. Apple American Group LLC self performs all of our remodels, meaning that we act as the General Contractor. We have hired Hilton Signs to produce and install the awnings, signage, eyebrow awning above the door for our exterior renovation. We will also hire a subcontractor to install a stone veneer over the brick at the entrance to our building. I have also included a photo of a recently renovated building so you can see the effect the stone creates to our building.

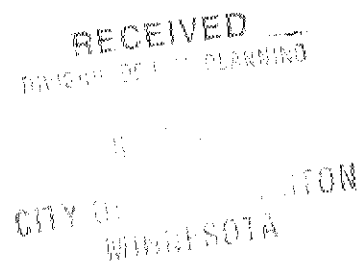
We will also be installing new exterior sconces to the building, a cut sheet is attached. These lights have shields in the top, so light is directed down only.

If you have any questions, please don't hesitate to contact me. Thank you.

Sincerely,

Kim Milush  
Senior Project Coordinator, Real Estate

Encl.





1112 S. WASHINGTON ST. STE 110  
NAPLIVILLE, IL 60540  
630.577.5723  
WWW.FTHOSWORKSHOP.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name: Emily M. Jorgensen  
Signature: *Emily M. Jorgensen*  
Date of 2012 License # 1073

# Applebee's

Neighborhood Grill & Bar

9601 LYNDALE AVENUE SOUTH  
BLOOMINGTON, MN 55420



9601 LYNDALE AVE SOUTH  
BLOOMINGTON, MN

### GENERAL NOTES

- IT IS THE INTENT OF THE ARCHITECT THAT THE CONTRACT DOCUMENTS INCLUDING ARCH. CIVIL, STRUCTURAL, MEP, EQUIPMENT AND THE SPECIFICATIONS BE CROSS REFERENCED TO OBTAIN THE INFORMATION NECESSARY TO CONSTRUCT THIS PROJECT IN AN ORDERLY AND TIMELY MANNER.
- FOR THE PURPOSE OF THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS ABBREVIATION "E.O." (BY OWNER) SHALL MEAN ITEM PROVIDED BY OWNER, INSTALLED BY CONTRACTOR AS PART OF THE WORK OF THIS CONTRACT. THE ABBREVIATION "N.I.C." (NOT IN CONTRACT) SHALL MEAN ITEM PROVIDED AND INSTALLED BY OWNER UNDER A SEPARATE CONTRACT.
- GEN. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE CONTRACT DOCUMENTS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
- GEN. CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING SCHEDULE AND SEQUENCING OF THE WORK.
- THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND GENERAL TYPE OF CONSTRUCTION DESIRED. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN THE HIGHEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS AND SHALL IMMEDIATELY NOTIFY OWNER OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION.
- GEN. CONTRACTOR SHALL VERIFY AND COORDINATE ALL ABOVE GROUND DIMENSIONS OF UTILITIES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- GEN. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PERFORMING ANY AND ALL WORK RELATED TO DEMOLITION OF EXISTING UTILITIES AND IMPLEMENTATION OF NEW UTILITIES NECESSARY FOR THE PROPER OPERATION OF THE PROJECT.

### CODE DATA

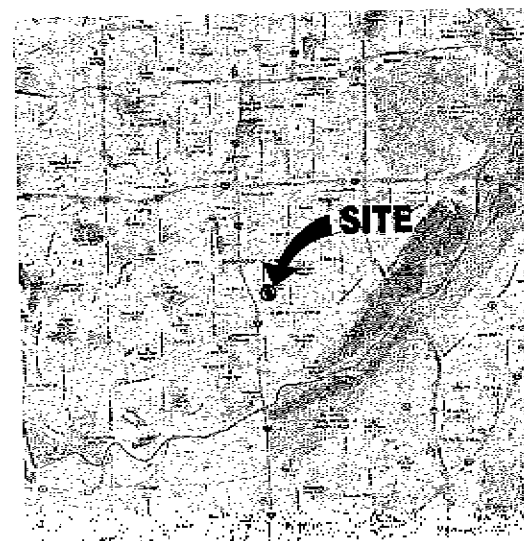
CODE LIST  
W/ STATE AMENDMENTS

- 2007 MINNESOTA STATE BUILDING CODE
- 2006 INTERNATIONAL BUILDING CODE
- 2008 NATIONAL ELECTRICAL CODE
- 2007 COMMERCIAL ENERGY CODE
- 2007 MINNESOTA ACCESSIBLE CODE
- 2006 INTERNATIONAL MECHANICAL CODE
- 2007 MINNESOTA PLUMBING CODE
- 2007 MINNESOTA FIRE CODE
- 2006 INTERNATIONAL FIRE CODE

USE & OCCUPANCY CLASSIFICATION  
A-2 ASSEMBLY (EXISTING, NO CHANGE)

TYPE OF CONSTRUCTION  
III (EXISTING, NO CHANGE)

### LOCATION MAP



### SHEET INDEX

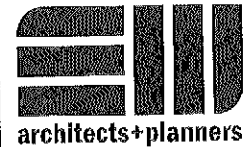
- T100 GENERAL NOTES, LOCATION MAP & CODE DATA
- E100 DEMO EXTERIOR ELEVATIONS
- A200 EXTERIOR ELEVATIONS
- A400 FLOOR FINISH PLAN, NOTES & DETAILS
- A500 REFLECTED CEILING PLAN, NOTES & DETAILS
- A600 BAR, HOSTESS & SERVER STAND DETAILS

NO.	DATE	COMMENT
1	07/11/2012	ISSUED FOR FILING

TITLE SHEET

OWNER	SMN	DATE	12011.01
DESIGNER	SMN	DATE	
CONTRACT	SMN	DATE	07/11/2012
SCALE			

10329B 12 T100



1112 S. WASHINGTON ST. STE 110  
NAPERVILLE, IL 60540  
630.527.8725  
WWW.ETHOSWORKSHOP.COM

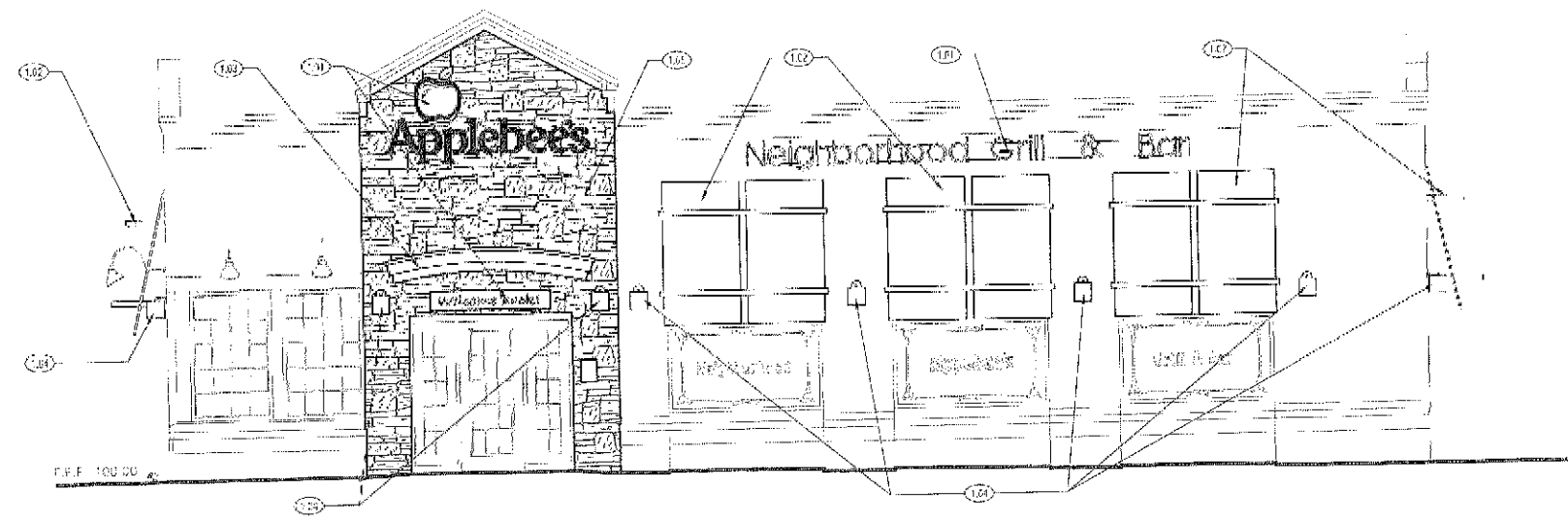
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Illinois.

Print Name: Sean M. Nordin  
Signature: *Sean M. Nordin*  
Date: 07/11/2012 License #: 18718

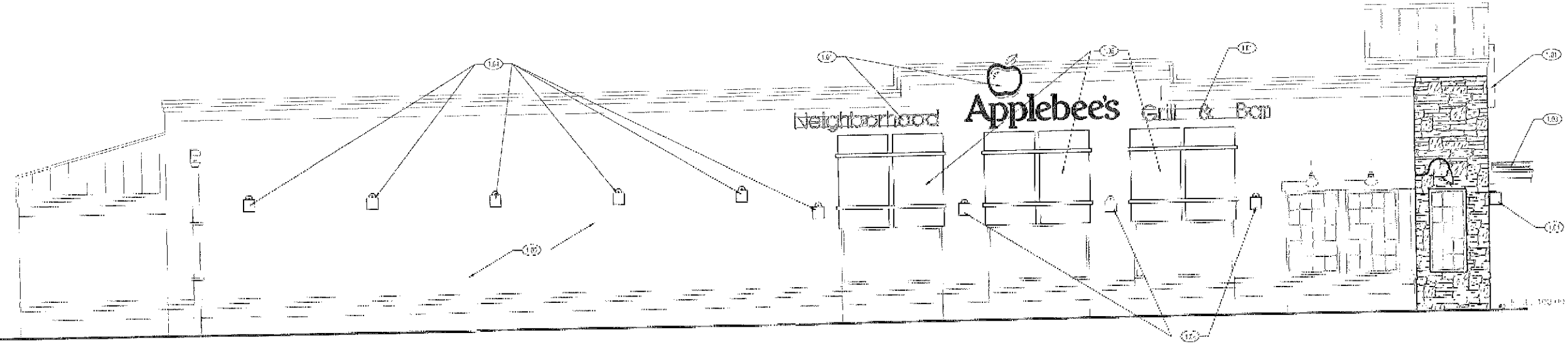
- REVISIONS
- 1.01 EXTERIOR ELEVATIONS SHOWN FOR REFERENCE ONLY (R12)
  - 1.02 EXTERIOR ELEVATIONS SHOWN FOR REFERENCE ONLY (R12)
  - 1.03 EXTERIOR ELEVATIONS SHOWN FOR REFERENCE ONLY (R12)
  - 1.04 WALLS SHALL BE CONCRETE BLOCK WITH STUCCO
  - 1.05 SIGNAGE SHALL BE CONCRETE BLOCK WITH STUCCO
  - 1.06 SIGNAGE SHALL BE CONCRETE BLOCK WITH STUCCO

NOTES

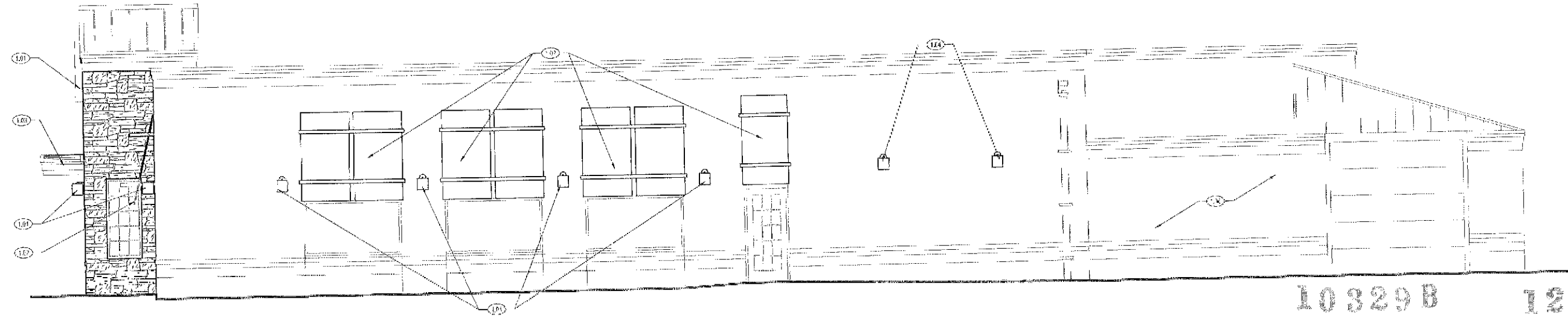
1. THIS DRAWING IS FOR REFERENCE ONLY. ANY ADDITIONAL CHANGES WILL BE MADE BY THE ARCHITECT'S OFFICE. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR ALL CHANGES TO THIS DRAWING. ALL CHANGES SHALL BE MADE IN WRITING AND SHALL BE APPROVED BY THE ARCHITECT'S OFFICE. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S PERMISSION.



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



2 LEFT ELEVATION  
SCALE: 1/4"=1'-0"



3 RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

**Applebee's**  
Neighborhood Grill & Bar  
9601 LYNDALE AVE SOUTH  
BLOOMINGTON, MN

DATE	07/11/2012	ISSUED FOR FILING
BY	SMN	
CHECKED BY	SMN	
DATE	07/11/2012	
EXTERIOR ELEVATIONS		
DATE	SMN	12011.01
CHECKED BY	SMN	
DATE	SMN	07/11/2012
A200		

10329B 12

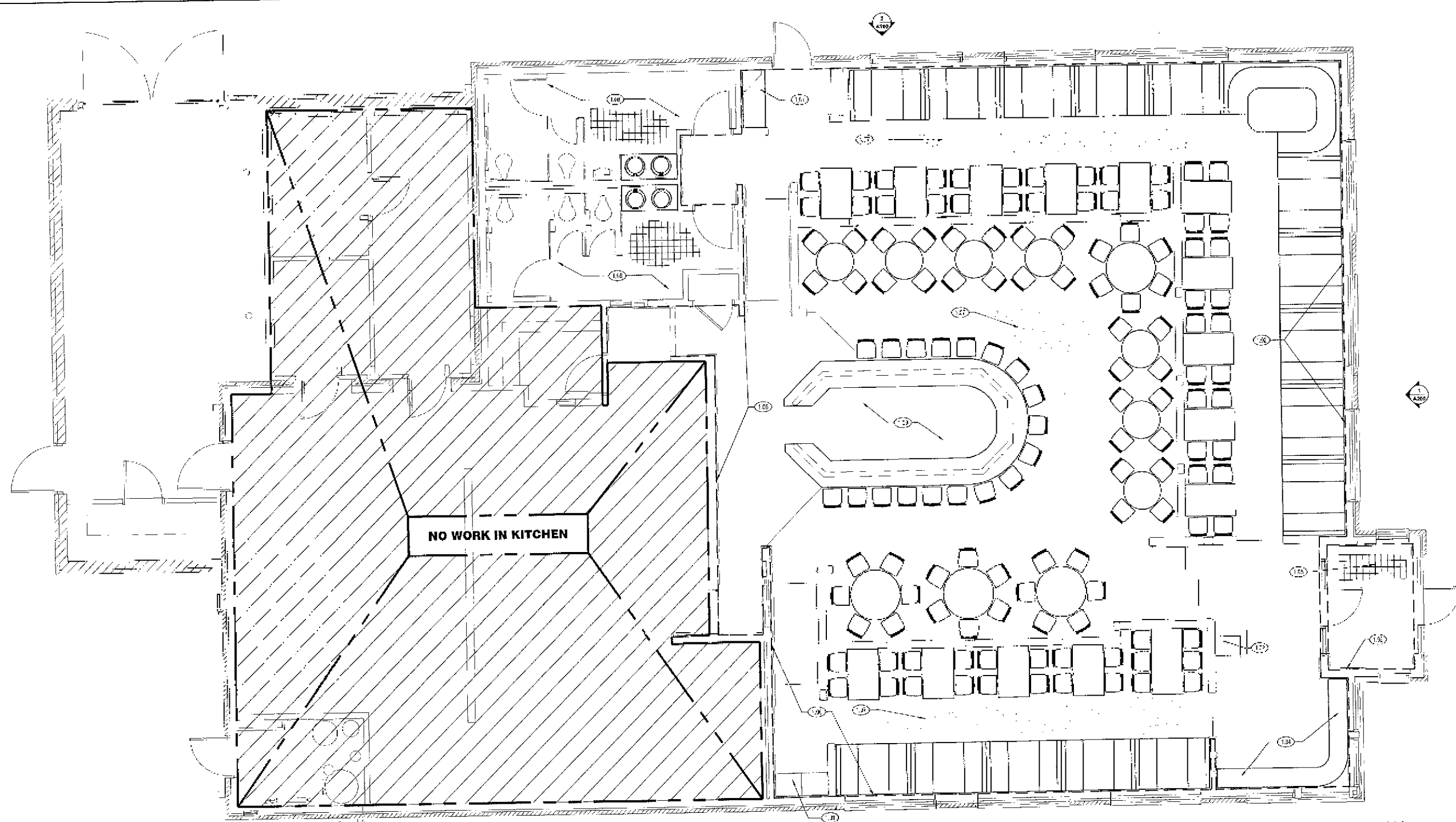




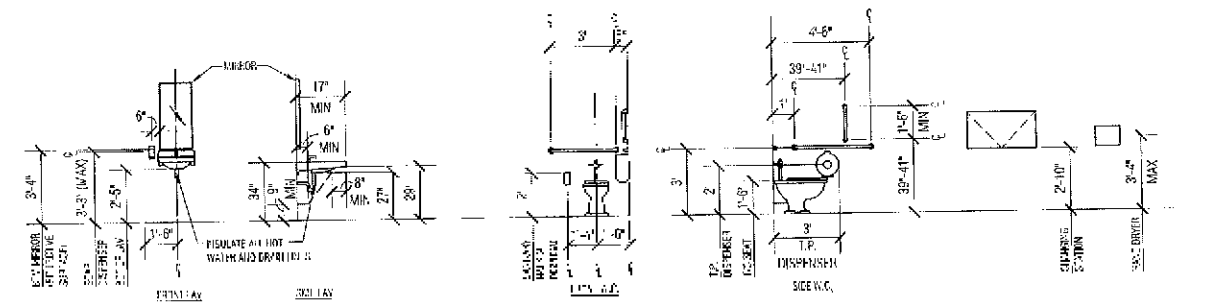


I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Missouri.

File Name: 2011.07.11  
 Signature: [Signature]  
 License: 2011.2012 License # 19718



1 PROPOSED FLOOR PLAN  
 SCALE: 1/4"=1'-0"



2 TYP. ADA DETAILS  
 SCALE: 1/4"=1'-0"

- NOTES:**
1. VERIFY SCOPE OF WORK WITH OWNER FROM TO SIGN IN EXIST. COND.
  2. SEATING COUNT TO REMAIN UNCHANGED 3. T.H. ALL SEATING, CHAIRS AND BAR STOOLS ARE TO BE REPLACED WITH 18" X 20" SEATING, CHAIRS AND BAR STOOLS.
  3. REMOVE & DISPOSE OF OLD ARCHITECTURE.
  4. REPLACE ALL BLINDS WITH ROLLER SHADDES.

- REVISED:**
- 1.04 RE-FINISH EXISTING STAIRS: SEE SCHEDULE
  - 1.06 FINISH HOSTESS STATION: SEE SCHEDULE
  - 1.08 REMOVE ALL EXISTING WALL COVERS & INSIDE WALLS IN VESTIBULE WITH VENEER WALL COVERS
  - 1.09 VENEER WALL COVERS
  - 1.10 VENEER WALL COVERS
  - 1.11 VENEER WALL COVERS
  - 1.12 VENEER WALL COVERS
  - 1.13 VENEER WALL COVERS
  - 1.14 VENEER WALL COVERS
  - 1.15 VENEER WALL COVERS
  - 1.16 VENEER WALL COVERS
  - 1.17 VENEER WALL COVERS
  - 1.18 VENEER WALL COVERS
  - 1.19 VENEER WALL COVERS
  - 1.20 VENEER WALL COVERS
  - 1.21 VENEER WALL COVERS
  - 1.22 VENEER WALL COVERS

NO.	DATE	REVISIONS
1	07/11/2012	ISSUED FOR BIDDING

FLOOR FINISH PLAN,  
 NOTES & DETAILS

DESIGNER	SMN	DATE	12/01/10
PROJECT	SMN	DATE	07/11/2012
SCALE	SMN	DATE	07/11/2012

A400

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Illinois.

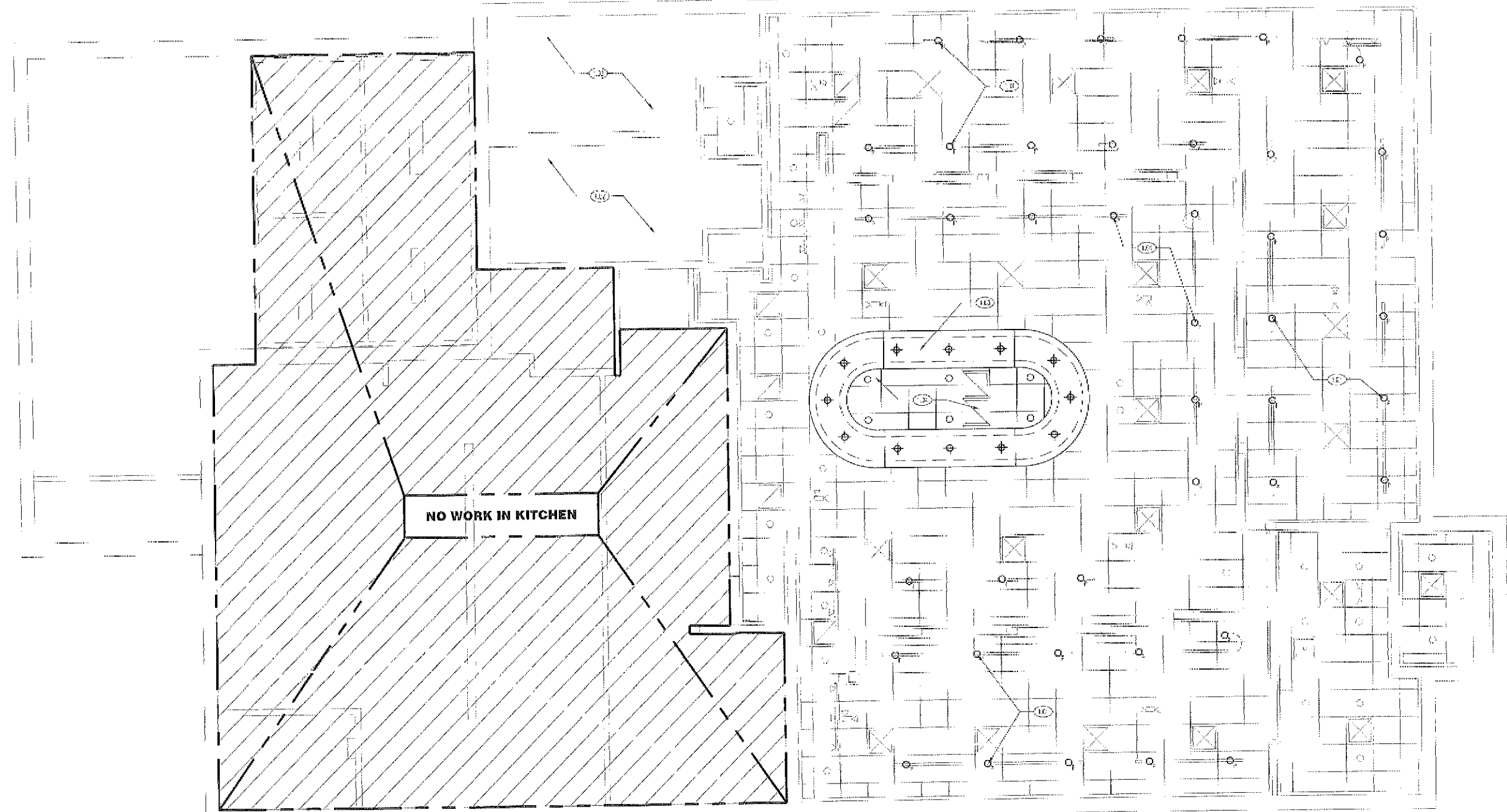
File Name: Applebee's  
Drawing: Reflected Ceiling  
Date: 07/11/2012 Version: 01

NO.	DATE	DESCRIPTION
1	07/11/2012	ISSUED FOR FILING

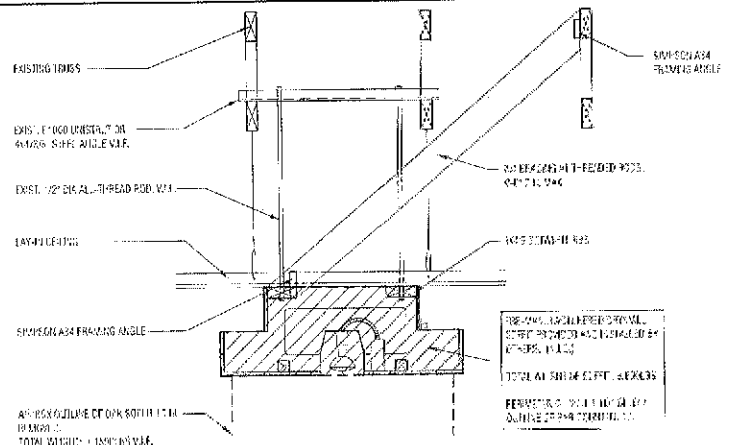
REFLECTED CEILING  
PLAN, NOTES & DETAILS

DESIGNER	SMN	DATE	12/01/01
CHECKER	SMN	DATE	
DATE	SMN	DATE	07/11/2012

A500



**1** PROPOSED REFLECTED CLG PLAN  
SCALE: 1/4"=1'-0"



**2** CLOUD SOFFIT  
SCALE: 1/2"=1'-0"

- NOTES:
1. EXISTING TRIMS TO BE RELOCATED TO NEW LOCATION. RE-INSTALL TRIMS TO NEW LOCATION WITH NEW SPACERS AND NEW TRIM.
  2. EXISTING TRIMS TO BE RELOCATED TO NEW LOCATION. RE-INSTALL TRIMS TO NEW LOCATION WITH NEW SPACERS AND NEW TRIM.
  3. EXISTING TRIMS TO BE RELOCATED TO NEW LOCATION. RE-INSTALL TRIMS TO NEW LOCATION WITH NEW SPACERS AND NEW TRIM.
  4. EXISTING TRIMS TO BE RELOCATED TO NEW LOCATION. RE-INSTALL TRIMS TO NEW LOCATION WITH NEW SPACERS AND NEW TRIM.

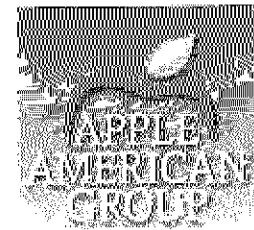
10329B 12



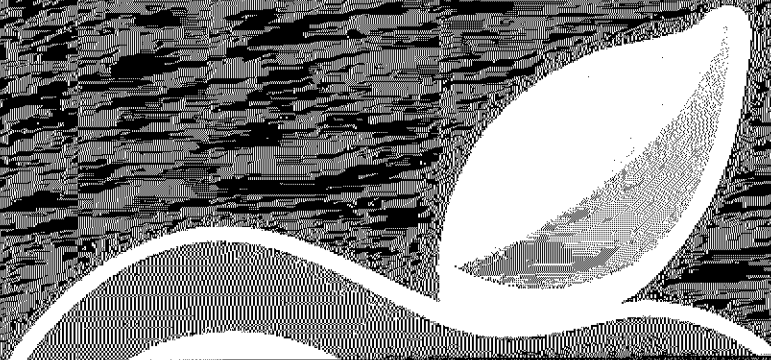


# Applebee's

There's No Place Like The Neighborhood.



9601 LYNDALE AVENUE  
LYNDALE, MN 55420  
12-16721



105298



**HILTONDISPLAYS**

## Code Research

Location: 9601 Lyndale Ave  
Lyndale, MN 55420

## General Information

Contact Name: Julie Farnum  
Phone Number: 952-885-4738  
Address: 1800 West Old Shakespe Rd  
City, State, Zip: Bloomington, MN 55421  
Jurisdictional Authority: City of Bloomington  
Zoning Classification: S2  
Parcel ID: 1502724230070  
Best Time to Contact:  
Notes:

## Free Standing Signs

Number Allowed: 1  
Square Footage: 75  
Max Height: 32  
Setback Requirement: 5' side or rear, 20' in front  
Wind Speed: 90  
Reface Requirement: yes  
Engineer Seal Required: no  
Notes:

## Wall Signs

Number Allowed: any  
Square Footage: based on wall area; city code 19.110 see "primary" and "secondary" elevations  
How is Square Footage calculated - Smallest Rectangle/smallest rectangle  
Engineer Seal Required: no  
Notes:

## Awnings

Number Allowed: any  
Square Footage: 100  
Max Height: none  
Max Projection: none  
Clearance Minimum: none  
Engineer Seal Required: no  
Notes:

Signs on awnings must be 4 inches or less when on the same wall as another sign and must be in the lower 40% of the awning  
awnings require building plan approval  
logos and graphics on awnings both count as signs

## General Requirements:

Site Plan Required: Scaled or Satellite? scaled  
Elevation Drawings Required? yes  
Other Agency Requirements: building plan approval for awning  
Average Time for Approval: 1 week  
Permit Fees: \$2.75/sq ft - \$50 minimum  
Is there an Existing Variance for any signage? no  
Variance Procedure: subjective pricing - could be \$225. Tit is an administrative variance of \$910 for a standard variance  
Variance Fee: subjective pricing - could be \$225. Tit is an administrative variance of \$910 for a standard variance  
Variance Schedule - Where to Find? no set schedule - due by Wednesdays  
ARD, HRB, DRB, Other review process required? no  
Notes:  
Border - Neon or Led Allowed? yes

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING METHODS AND ILLUSTRATIONS, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

JOB NUMBER	JOB NAME: APPLEBEE'S	DATE: 5-24-12
	LOCATION: 9601 LYNDALE AVE., LYNDALE, MN	REV. DATE: 6-4-12 BS/6-20-12 BS
	CUSTOMER CONTACT:	REV. DATE:
	SALESMAN: JAMES BENNINGTON	SCALE: NTS
DESIGNER: LARRY WALDO		FILE: 2012/APPLEBEE/LYNDALE/M2-1672/MJBS/DA_LEMN

**HILTON DISPLAYS**  
www.hiltondisplays.com

www.hiltondisplays.com

125 Main St. Greenville, SC 29607  
Phone: (864) 233-8401  
Fax: (864) 233-8402

1052915

12

## Schmidt, Jason

---

**From:** Christie Pruitt [cpruit@hiltondisplays.com]  
**Sent:** Monday, July 02, 2012 9:52 AM  
**To:** Schmidt, Jason  
**Subject:** RE: Applebee's, Lindale

Jason Below is the information for the lighting on the eyebrow. Also the sq footage for NGB on E13 is the same as E05. Also I need to make sure we don't need to apply for any other building related permits for the Roof cap? Applebee's will not have the roof cap on their plans because this is something we are installing.

Christie Pruitt  
Project Manager  
Hilton Displays Inc  
125 Hillside Drive  
Greenville, SC 29607  
Phone: 864-233-0401  
Cell: 864-884-1269  
Fax: 864-242-2204

---

**From:** Christie Pruitt  
**Sent:** Friday, June 29, 2012 5:10 PM  
**To:** 'Schmidt, Jason'  
**Subject:** RE: Applebee's, Lindale

Yes I will send it on Monday. They are the same size as the ones on the front elevation. Also the added specs for the lighting on the eyebrow which is  
The fixture type is: HALO LIGHTING / PART# H27-RT FIXTURE  
HALO LIGHTING / PART# 70P LENS  
60W A19 MEDIUM BASE BULBS

Christie Pruitt  
Project Manager  
Hilton Displays Inc  
125 Hillside Drive  
Greenville, SC 29607  
Phone: 864-233-0401  
Cell: 864-884-1269  
Fax: 864-242-2204

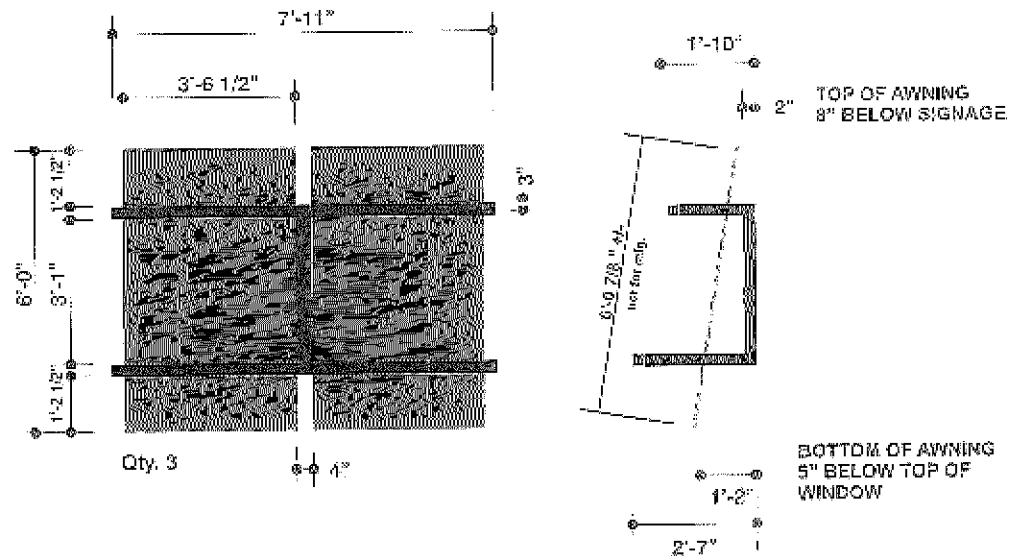
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**From:** Schmidt, Jason [mailto:JSchmidt@ci.bloomington.mn.us]  
**Sent:** Friday, June 29, 2012 5:04 PM  
**To:** Christie Pruitt  
**Subject:** RE: Applebee's, Lindale

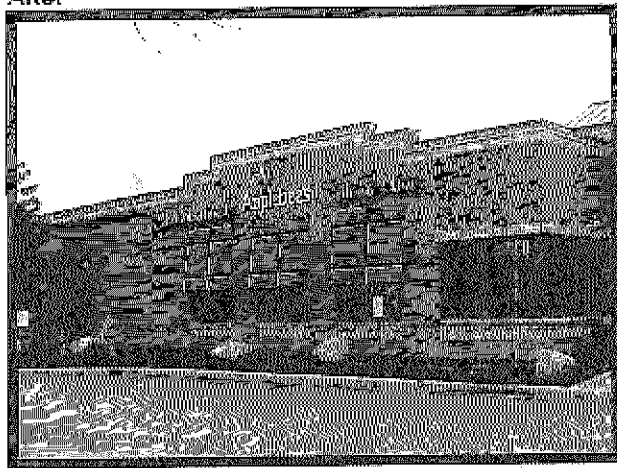
Christie,

Sheet L13 does not have the square footage of the existing "Neighborhood Grill & Bar" sign. Could you please send me an updated sheet with that calculation.

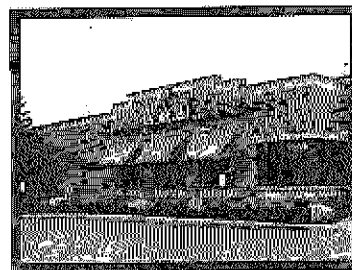
Remove existing awnings and replace with new awnings. Install new awning with the top of awning 8" below sign and bottom of awning to be 5" below top of window. Finish all sides to match TigerDrylac 3000, with a 16/0030 matte clear coat. Three inch, LED lit, frames are painted satin black.



After



Before



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATE, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

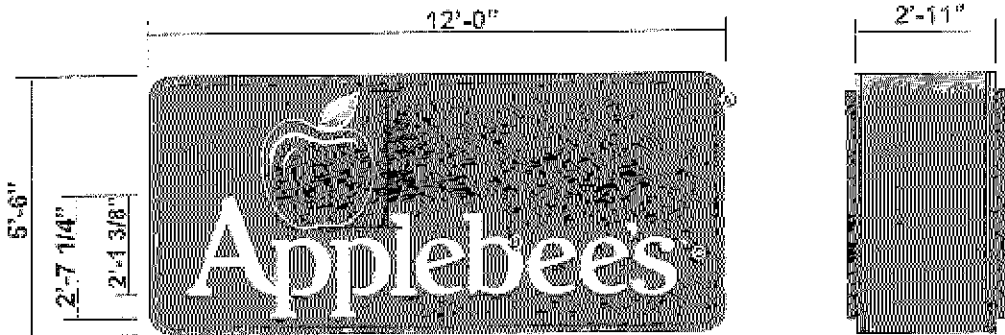
JOB INFO	JOB NAME: APPLEBEE'S	DATE: 5-24-12
	LOCATION: 9691 LYNDALE AVE., LYNDALE, MN	REV. DATE: 6-4-12 BS/6-20-12 BS
	CUSTOMER CONTACT:	REV. DATE:
	SALESMAN: JAMES BENNINGTON	SCALE: NTS
	DESIGNER: LARRY WALDO	FILE: 2012/APPLEBEE'S/LYNDALE, MN/12-16727A35/LYNDALE.MN

**HILTON DISPLAYS**  
 www.hiltondisplays.com  
 126 HBSide Dr. Greenville, SC 29607  
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 (864) 352-9132  
 Fax: (864) 242-2204

703798

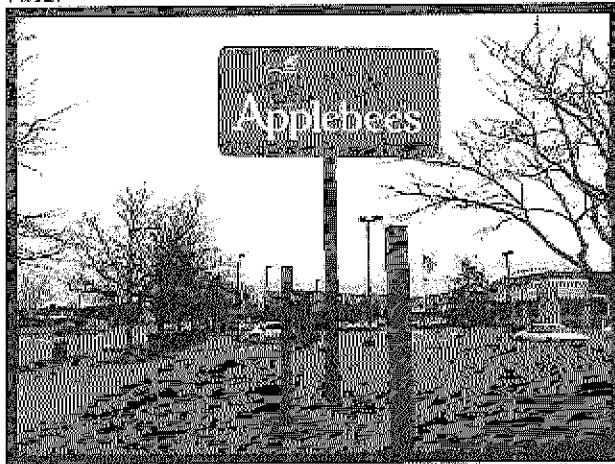


12  
1  
62901

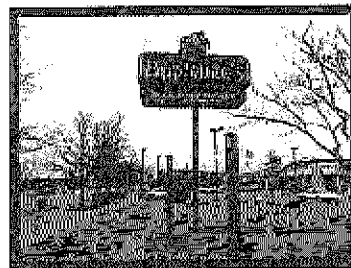


EXISTING STEEL 8"

After



Before



- (A) -Aluminum constructed formed cabinet painted Urban Bronze  
 -Aluminum frame face painted Urban Bronze  
 -Aluminum recessed face painted PMS 483 C Red  
 -White LED lighting for halo effect with 3/16 White Lexan lens
- (B) -Aluminum pre-finished 5x Bronze coil returns  
 -3/16" White acrylic faces  
 -1" Duranodic Bronze trim caps  
 -White LED illumination
- (C) -Opaque White "SM" 1st surface
- (D) -Paint pole Urbane Bronze

	3M 3630-73 DK RED
	BRACHL 630 DARK RED
	DIGITALLY PRINTED
	7328 WHITE ACRYLIC
	313 DARK BRONZE RETURNS
	313 DARK BRONZE JEWELRY



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

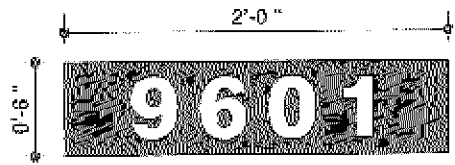
JOB INFO	JOB NAME: APPLEBEE'S	DATE: 5-24-12
	LOCATION: 9801 LYNDALE AVE. LYNDALE, MN	REV. DATE: 6-4-12 BS/6-20-12 BS
	CUSTOMER CONTACT:	REV. DATE:
	SALESMAN: JAMES BENNINGTON	SCALE: NTS
	DESIGNER: LARRY WALDO	FILE: 2512/APPLE5836/LYNDALE/12-1672/1A391/LYNDALE.VN

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CREATING SIGNAGE FOR GREAT COMPANIES


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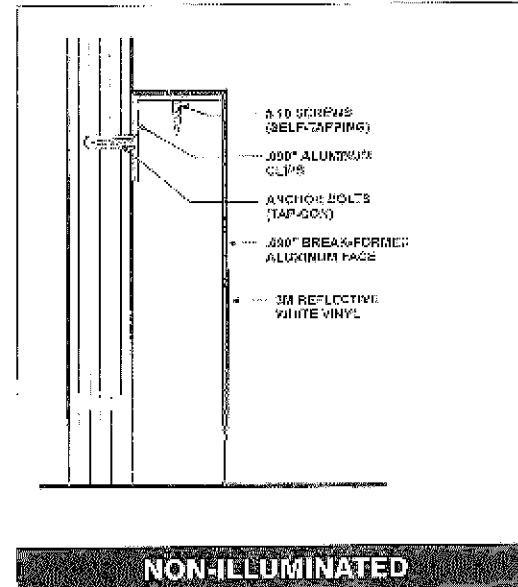
120 Waterside Dr.  
 Greenville, SC 29607

(864) 253-0801  
 (800) 363-8132  
 Fax (864) 242-2204



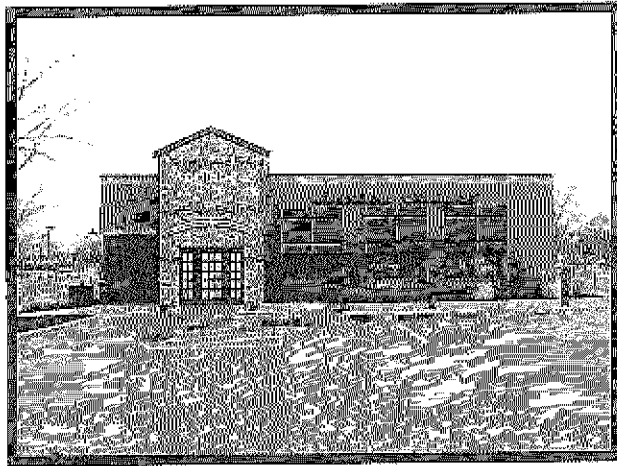
QTY. 1

-  3M REFLECTIVE WHITE VINYL
-  313 DARK BRONZE

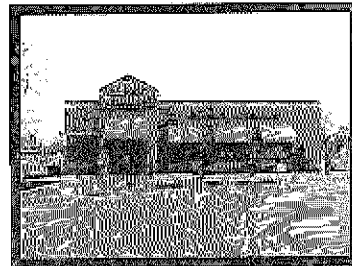


NON-ILLUMINATED

After



Before



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN FINISHING DEVICES AND SUBSTRATE, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

JOB NAME: APPLEBEE'S	DATE: 6-24-12
LOCATION: 5601 LYNDALE AVE., LYNDALE, MN	REV. DATE: 6-4-12 BS/6-20-12 DS
CUSTOMER CONTACT:	REV. DATE:
SALESMAN: JAMES BENNINGTON	SCALE: NTS
DESIGNER: LARRY WALDO	FILE: 2012/APPLEBEE5/LYNDALE/MN/2-672/DAB5_LYNDALE.MN



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125 Hillside Dr.  
Greenville, SC 29607  
(864) 293-0407  
(800) 353-9132  
Fax: (864) 242-2204

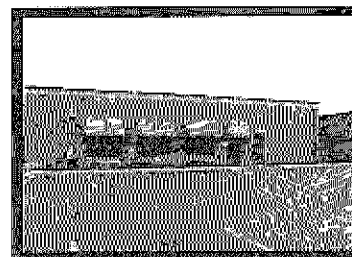
103298 19

Remove only

After



Before



10129B 12



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

JOB INFO

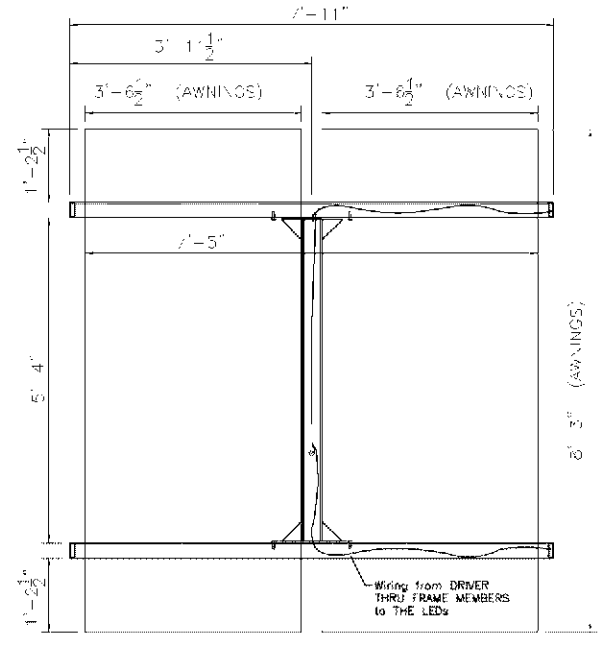
JOB NAME: APPLEBEE'S	DATE: 5-24-12
LOCATION: 9601 LYNDALE AVE., LYNDALE, MN	REV. DATE: 6-20-12 BS
CUSTOMER CONTACT:	REV. DATE:
SALESMAN: JAMES BENNINGTON	SCALE: NTS
DESIGNER: LARRY WALDO	FILE: 2012/APPLEBEES-LYNDALE/MN/12-677/JABS-LYNDALE.MN

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 Great Signs for Great Businesses

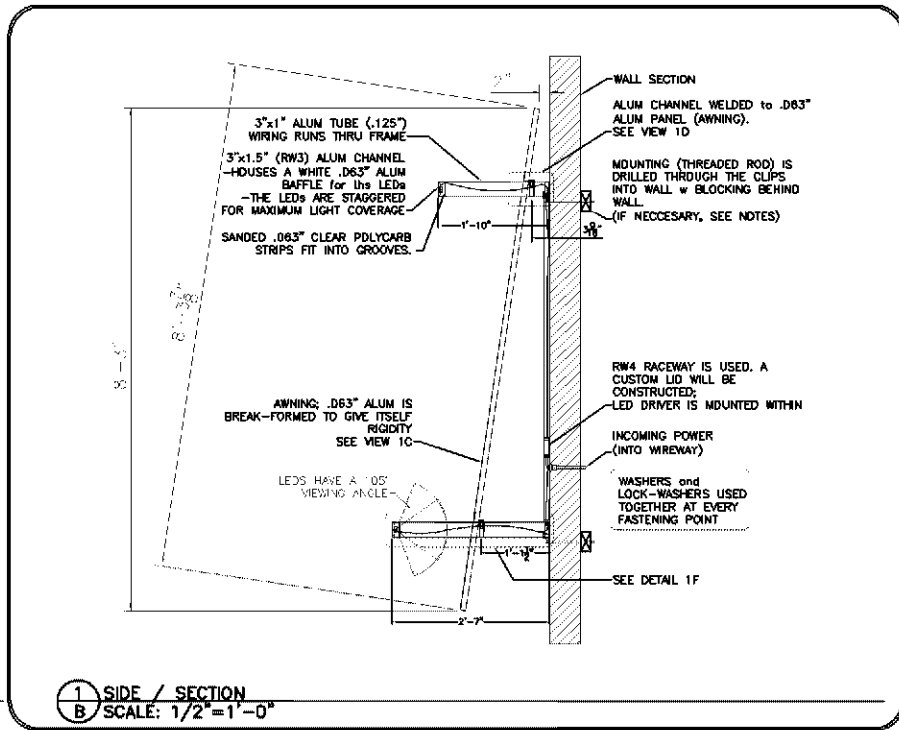
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125 Hillside Dr.  
 Greenville, SC 29607

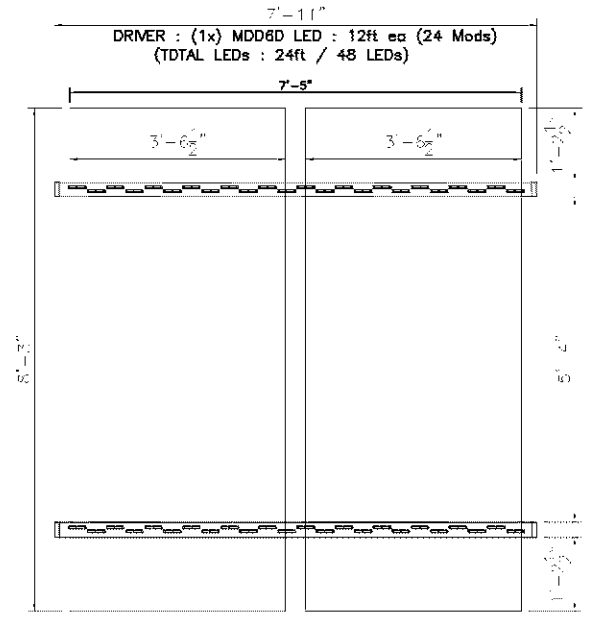
(864) 233-0401  
 (800) 353-9132  
 Fax: (864) 842-2204



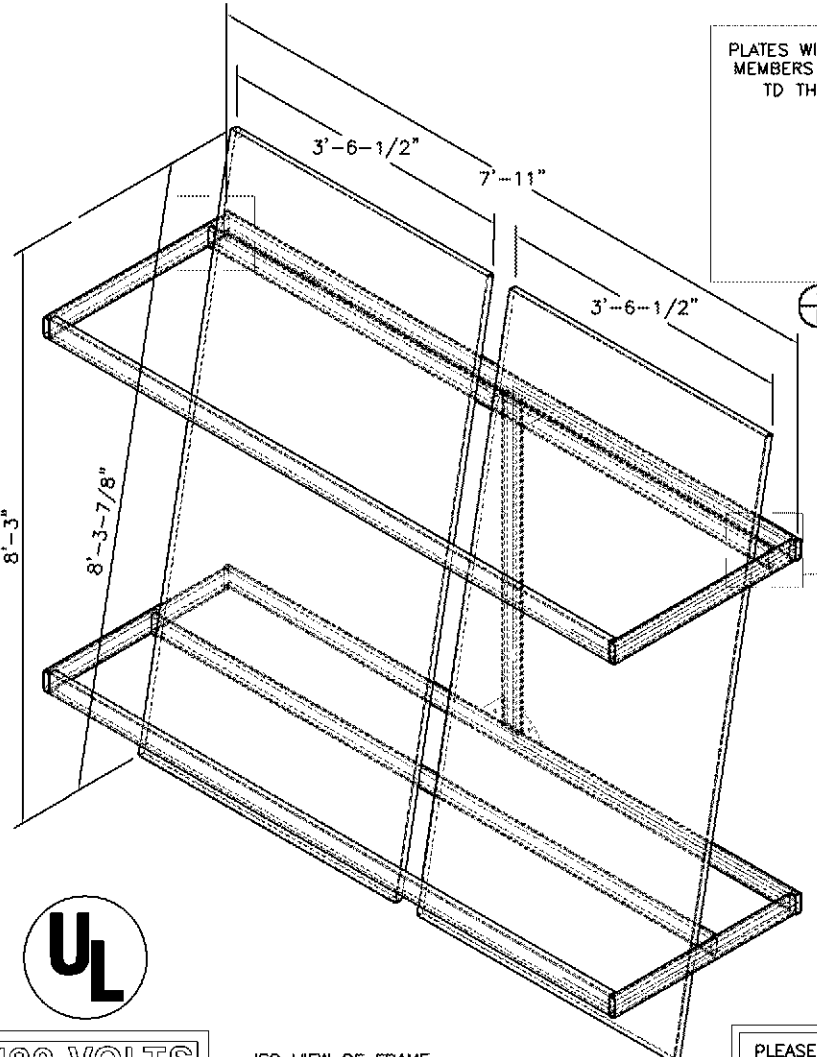
1 FRONT VIEW  
A SCALE: 1/2" = 1'-0"



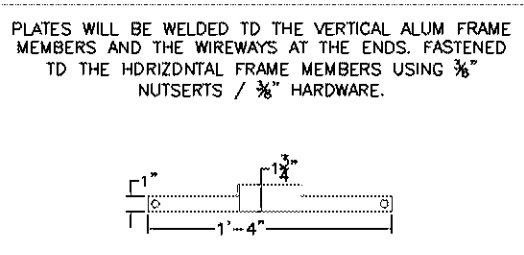
1 SIDE / SECTION  
B SCALE: 1/2" = 1'-0"



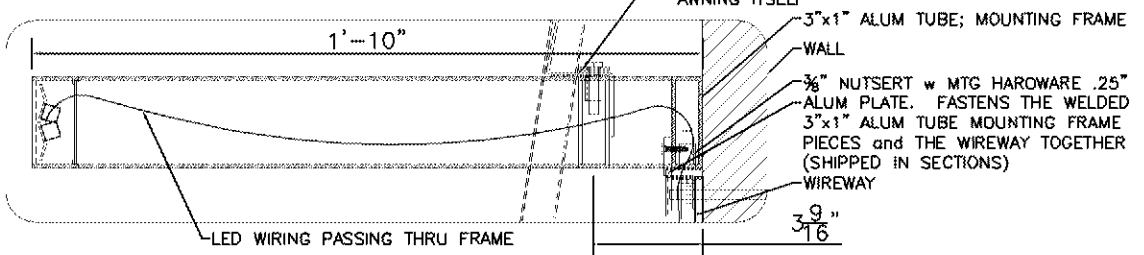
1 DEVELOPED PANELS  
C SCALE: 1/2" = 1'-0"



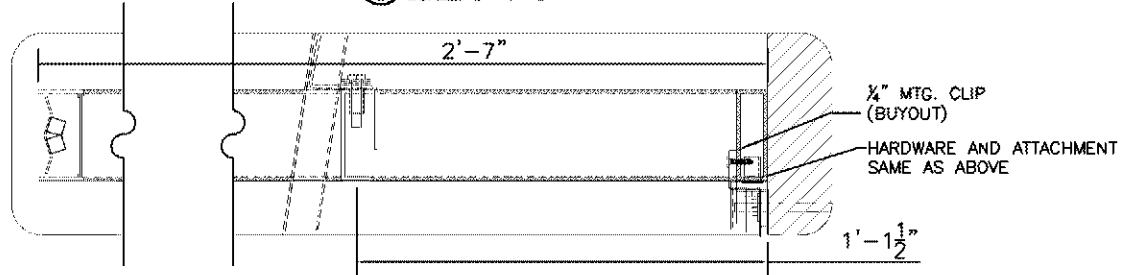
ISO VIEW OF FRAME (INCLUDING GENERAL LAYOUT OF WIRING)



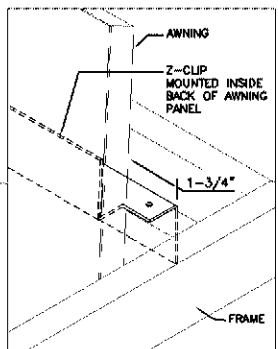
1 PLATES  
E SCALE: 1-1/2" = 1'-0"



1 TOP BAR SECTION  
D SCALE: 3" = 1'-0"



1 BOTTOM BAR SECTION  
F SCALE: 3" = 1'-0"



CORNER TREATMENTS FOR "Z" CLIPS (TYP.) EACH END "TOP FRAME ONLY"

NOTES:

GENERAL DESCRIPTION	EXTERNALLY ILLUMINATED AWNINGS (LED)
COLORS	AWNING : PAINT Red TO MATCH TIGER DRYLAC 3000 w/ 16/D300 MATTE CLEAR COAT FRAME (ALL) : PAINT SATIN BLACK VINYL GRAPHICS: DK. RED, 3M #3630-73
LIGHTING	SloanLED Value Line PLUS LONG-White (105° VIEWING ANGLE) SEE WIRING DIAGRAMS FOR LAYOUTS and COUNTS
POWER SUPPLY	SLOAN MOD 60 LED DRIVERS TOTAL AWNING AMPERAGE 0.80 AMPS
WIRING	UL APPROVED
CIRCUITS	(1x) 1 CIRCUIT (A MINIMUM OF 2DAMP CIRCUITS REQUIRED)
MOUNTING	MOUNTING METHOD: USE MOST APPROPRIATE UPON WALL INSPECTION - TOGGLE BOLTS W/ HOLLOW CORE PLWOOD BACKING - EPOXY SCREEN -HEADED RODS W/SOLID CONCRETE -IF-NO BOLTS W/ WOOD BLOCKING  THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIDNAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SLOAN VL PLUS LONG-SERIES LED (WHITE)			
AWNING	TOP	BOTTOM	TOTALS
MDD6D LED DRIVER	MDD6D		(1) MDD6D
# OF LEDS	12 FT. (24 LEDS)	12 FT. (24 LEDS)	24 FT. (48 LEDS)
AMPERAGE	1.0 Amps		1.0 Amps
CIRCUITS REQ			(1)25A REQ.

PLEASE NOTE:  
QTY OF (3) 8'-3" X 7'-11" AWNINGS W/SHADOW VINYL & (1) WITH COLOR VINYL NEEDED FOR THIS LOCATION



120 VOLTS

THE VOLTAGE TO THIS SIGN MUST BE 120(± 1-1/2) VOLTS MEASURED AT THE JUNCTION BOX NEAREST THE SIGN OR LETTERS.  
ANY DEVIATION FROM THESE LIMITS MAY CAUSE SERIOUS DAMAGE TO THE TRANSFORMER AND WILL VOID OUR WARRANTY.

THIS DESIGN IS THE ORIGINAL AND UNPUBLISHED WORK OF HILTON DISPLAYS AND MAY NOT BE REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN CONSENT FROM AN AUTHORIZED OFFICER OF THE COMPANY. THE RIGHTS TO THIS DESIGN ARE AVAILABLE FOR PURCHASE.

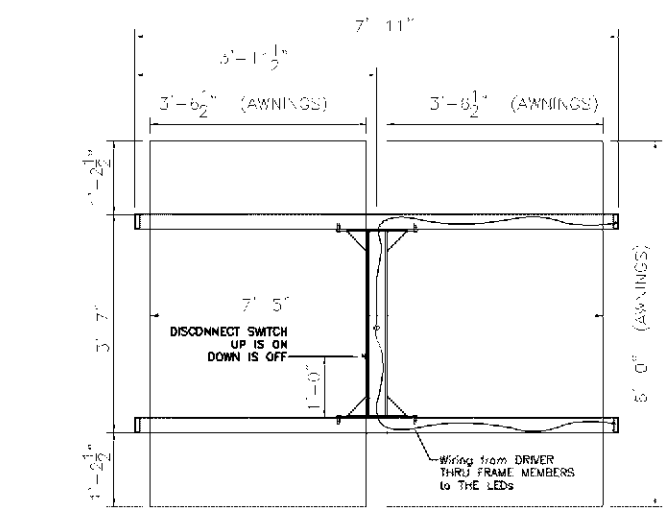
**HILTON DISPLAYS**  
GREAT SIGNS FOR GREAT COMPANIES

© COPYRIGHT 2012 HILTON DISPLAYS  
125 HILLSIDE DR.  
GREENVILLE, SC 29607  
PH.# 864-233-0401 FAX# 864-242-2204

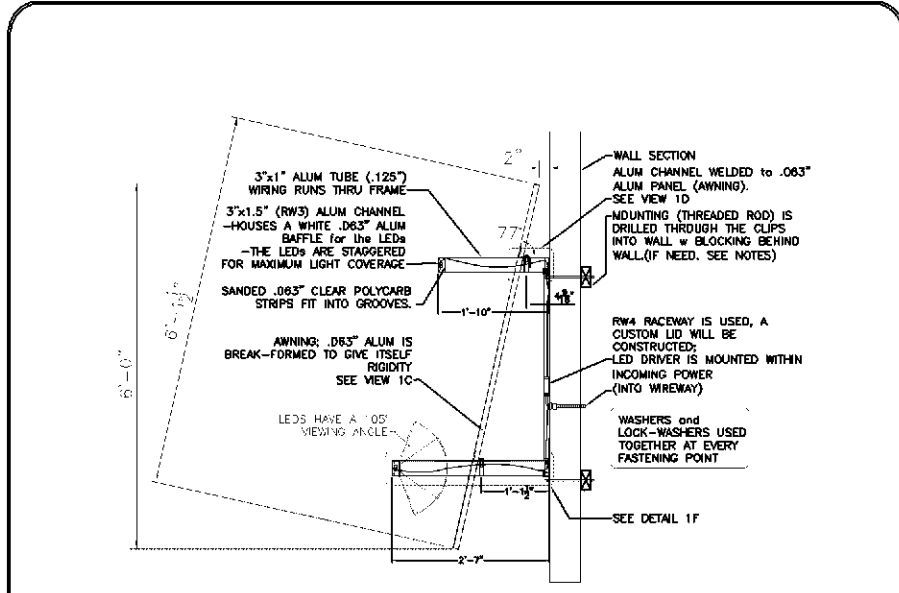
PROJECT NAME: APPLEBEE'S  
LOCATION: 9601 LYNDALE AVENUE  
LYNDALE, MN 55420  
DESCRIPTION: AWNING, 7'-11" x 8'-3" DOUBLE PANEL  
DRAWING# 104651

REVISIONS:  
- UPGRADE TO MOD 60 DRIVERS

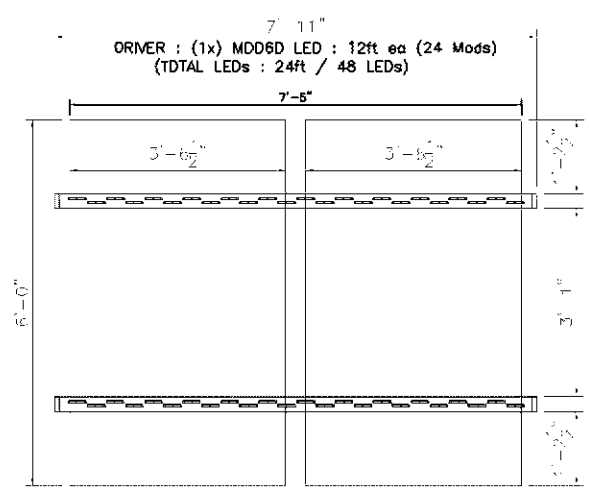
SALESMAN: HOUSE/PRUITT  
DRAWN BY: R.GREGORY/CMF  
WORK ORDER# 12-16721/8,9  
PART # E09 E10 E11  
DATE: 7/12/12  
1 OF 1



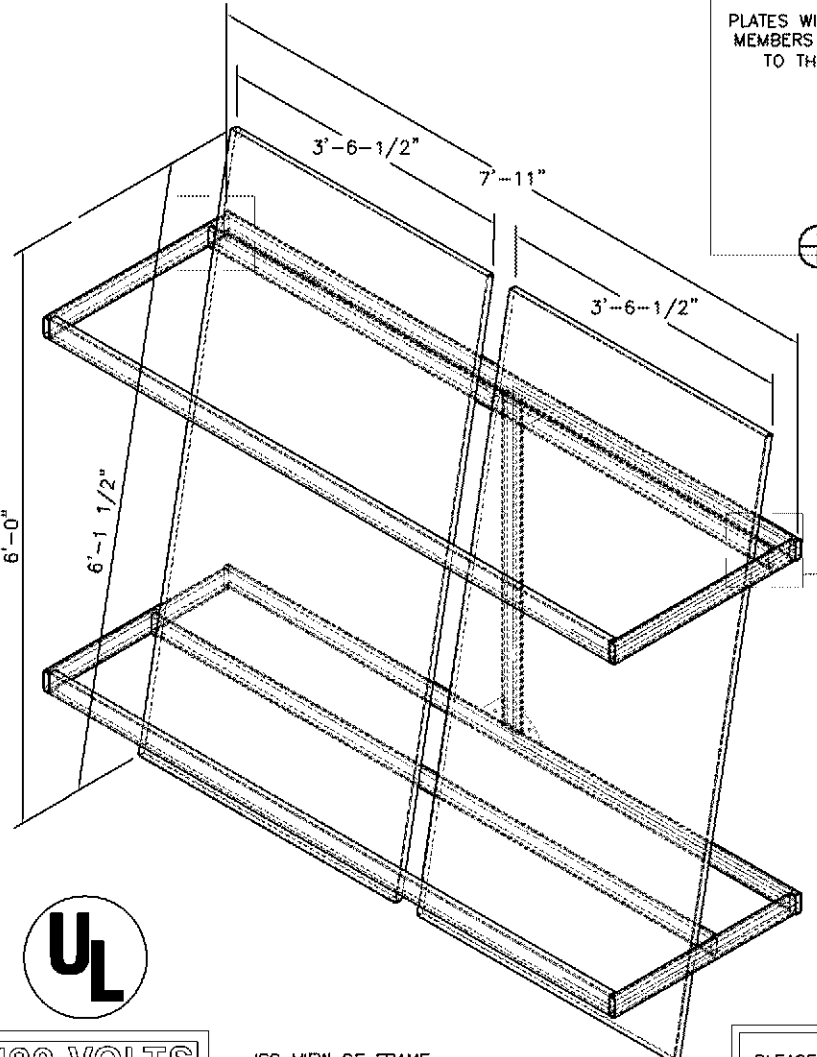
1 FRONT VIEW  
A SCALE: 1/2"=1'-0"



1 SIDE / SECTION  
B SCALE: 1/2"=1'-0"

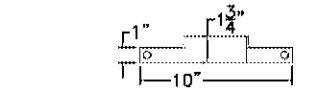


1 DEVELOPED PANELS  
C SCALE: 1/2"=1'-0"

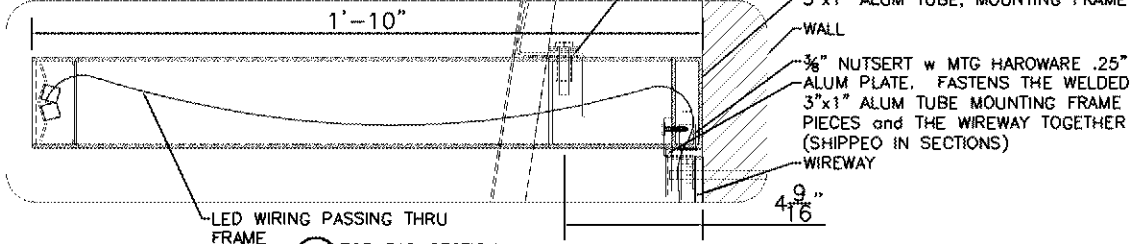


ISO VIEW OF FRAME  
(INCLUDING GENERAL LAYOUT OF WIRING)

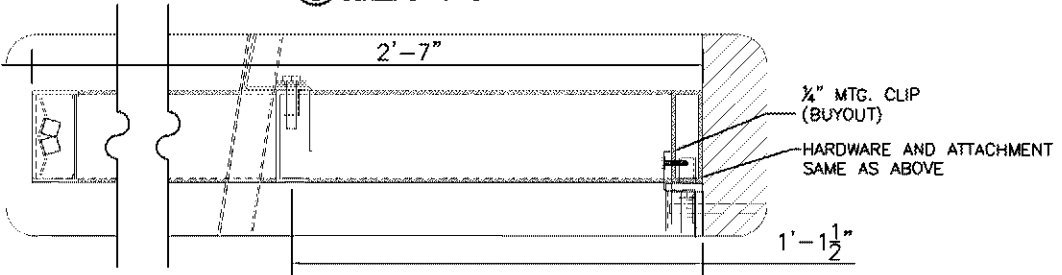
PLATES WILL BE WELDED TO THE VERTICAL ALUM FRAME MEMBERS AND THE WIREWAYS AT THE ENDS. FASTENED TO THE HORIZONTAL FRAME MEMBERS USING 3/8" NUTSERTS / 3/8" HARDWARE.



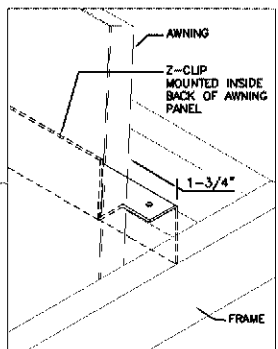
1 PLATES  
E SCALE: 1-1/2"=1'-0"



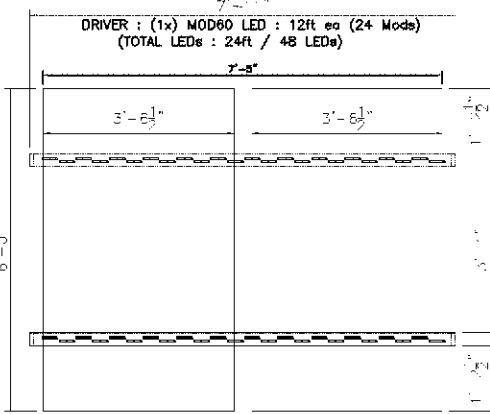
1 TOP BAR SECTION  
D SCALE: 3"=1'-0"



1 BOTTOM BAR SECTION  
F SCALE: 3"=1'-0"



CORNER TREATMENTS FOR "Z" CLIPS (TYP.) EACH END "TOP FRAME ONLY"



SLOAN VL PLUS LONG-SERIES LED (W/WHITE)			
	TOP	BOTTOM	TOTALS
1"30-50 LED DRIVER		400-60	(1)1000-50
# OF LEDS	12 FT. (24 LEDS)	12 FT. (24 LEDS)	24 FT. (48 LEDS)
AMPERAGE	1.0 Amps		1.0 Amps
CIRCUIT BREAKING			(1)20A REC.

NOTES:

GENERAL DESCRIPTION	EXTERNALLY ILLUMINATED AWNINGS (LED)
COLORS	AWNING : PAINT Red TO MATCH TIGER ORYLAC 3000 w/ 16/D300 MATTE CLEAR COAT FRAME (ALL) : PAINT SATIN BLACK VINYL GRAPHICS: DK. RED, 3M #3630-73
LIGHTING	SloanLED Value Line PLUS LONG-White (105° VIEWING ANGLE) SEE WIRING DIAGRAMS FOR LAYOUTS and COUNTS
POWER SUPPLY	SLOAN MOD 6D LED DRIVERS TOTAL AWNING AMPERAGE 0.80 AMPS
WIRING	UL APPROVED
CIRCUITS	(1x) 1 CIRCUIT (A MINIMUM OF 2DAMP CIRCUITS REQUIRED)
MOUNTING	MOUNTING METHOD: USE MOST APPROPRIATE UPON WALL INSPECTION - TOGGLE BOLTS W/ HOLLOW CORE PL WOOD BACKING - EXPAN SCREEN - HEADED RODS W/SOLID CONCRETE - IF NO BOLTS W/ WOOD BLOCKING  THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



**120 VOLTS**  
THE VOLTAGE TO THIS SIGN MUST BE 120(± 1-1/2) VOLTS MEASURED AT THE JUNCTION BOX NEAREST THE SIGN OR LETTERS.  
ANY DEVIATION FROM THESE LIMITS MAY CAUSE SERIOUS DAMAGE TO THE TRANSFORMER AND WILL VOID OUR WARRANTY.

PLEASE NOTE:  
QTY OF (6) 6'-0" x 7'-11" AWNINGS W/VARIOUS VINYLs ARE NEEDED FOR THIS LOCATION

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**HILTON DISPLAYS**  
GREAT SIGNS FOR GREAT COMPANIES

PROJECT NAME: APPLEBEES  
LOCATION: 9601 LYNDALE AVE.  
LYNDALE, MN 55420  
DESCRIPTION: AWNING, 7'-11" w x 6'-0" h DOUBLE PANEL  
DRAWING# 104702

SALESMAN: HILTON  
DRAWN BY: FARR  
WORK ORDER# 12-16721/6&7  
DATE: 7/12/12  
PART # E06-08,E14-16  
1 OF 1

REVISIONS:

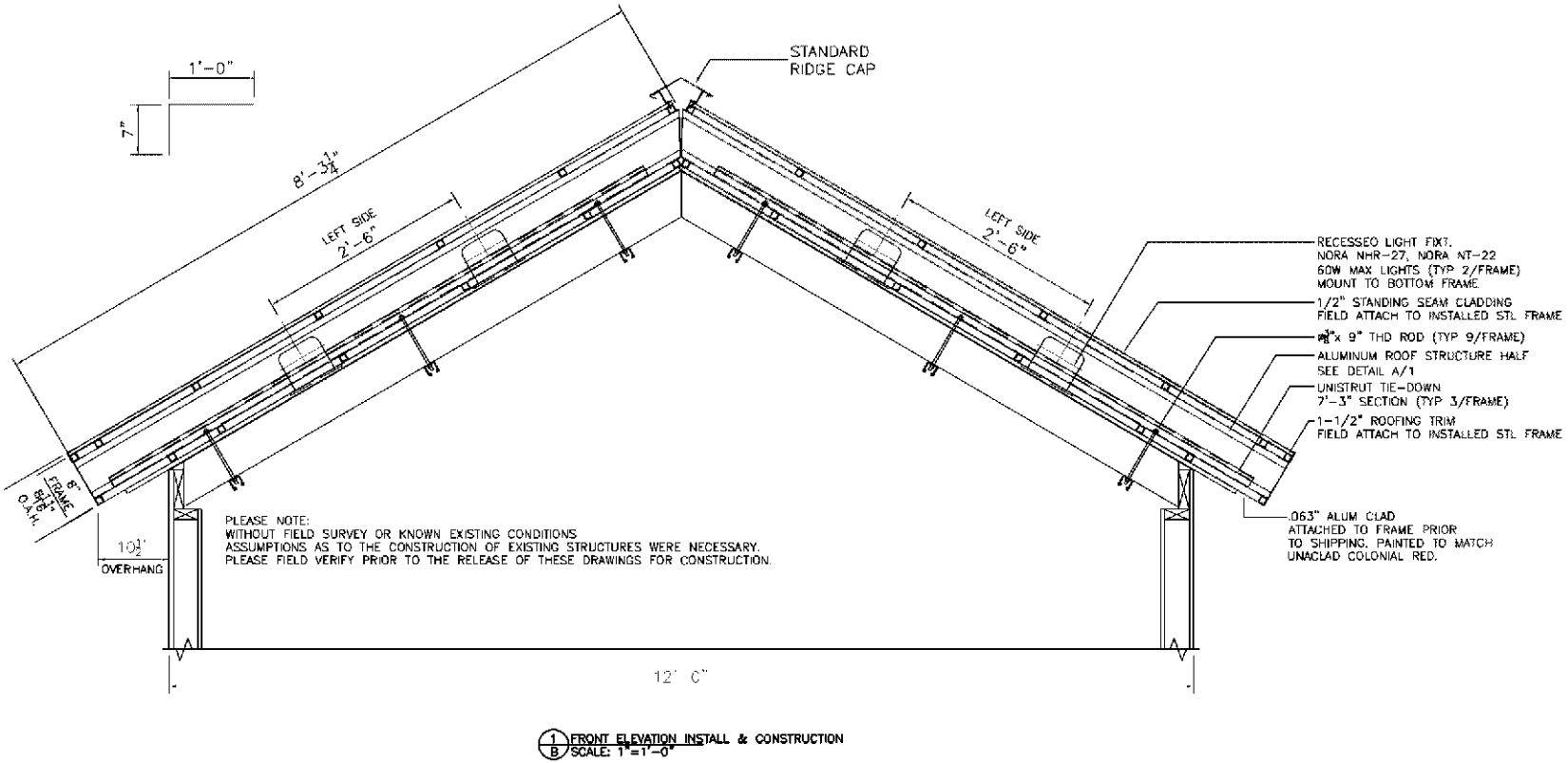
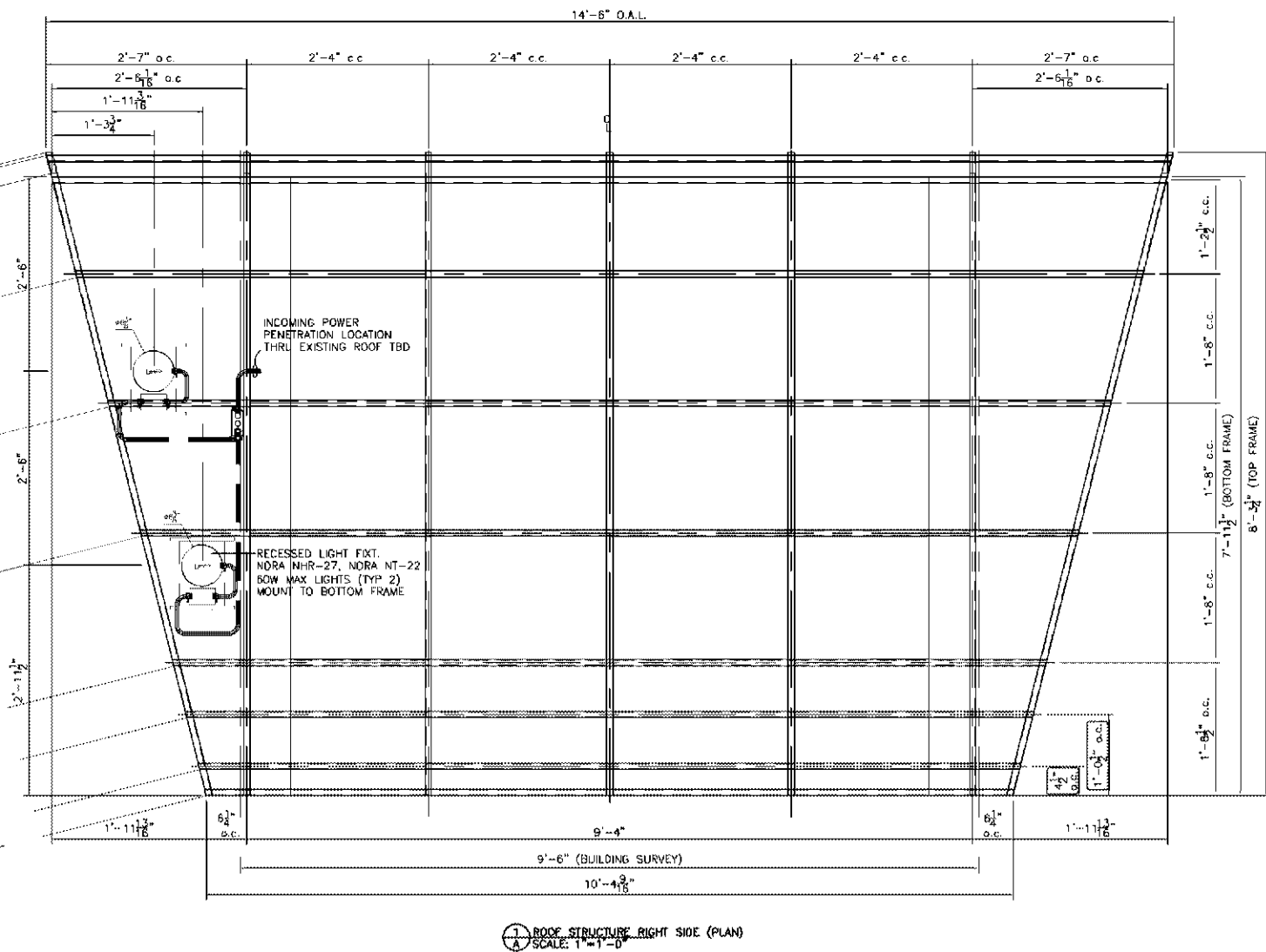
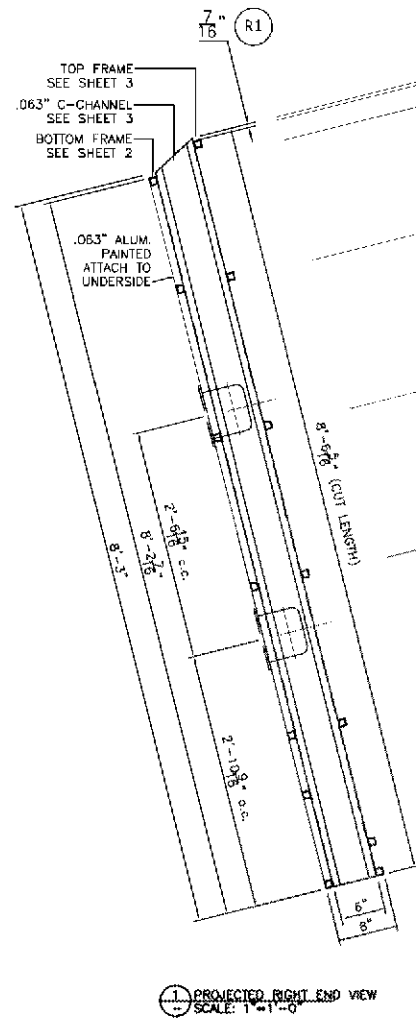
REVISIONS: -

REVISIONS: -

REVISIONS: -

10329B-12

THIS SIGN IS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

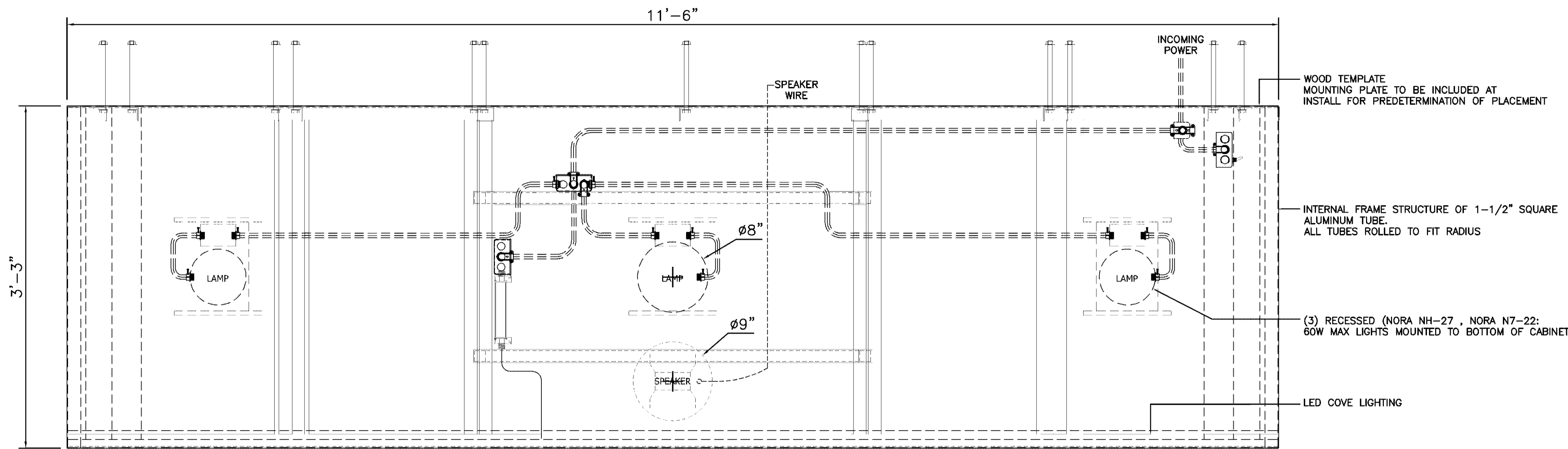


PROJECT NAME: APPLEBEE'S	CUSTOMER: APPLEBEE'S	REVISIONS:
LOCATION: 9801 E. WYDALE AVENUE LYNDALE, MN 55420	SALESMAN: HILTON/PRUITT	DATE: 7/12/12
DESCRIPTION: ROOF TOP STRUCTURE Drawing 104721	DRAWN BY: C. FARR	PART #: 12-16721/5
PH: 864-233-4401 FAX: 864-242-2314	WORK ORDER #	1 Df 1
<p>THIS DESIGN IS THE ORIGINAL AND UNPUBLISHED WORK OF HILTON DISPLAYS AND MAY NOT BE REPRODUCED, COPIED, OR EXHIBED IN ANY FASHION WITHOUT WRITTEN CONSENT FROM AN AUTHORIZED OFFICER OF THE COMPANY. THE RIGHTS TO THIS DESIGN ARE AVAILABLE FOR PURCHASE.</p> <p>THIS SIGN IS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN</p>		

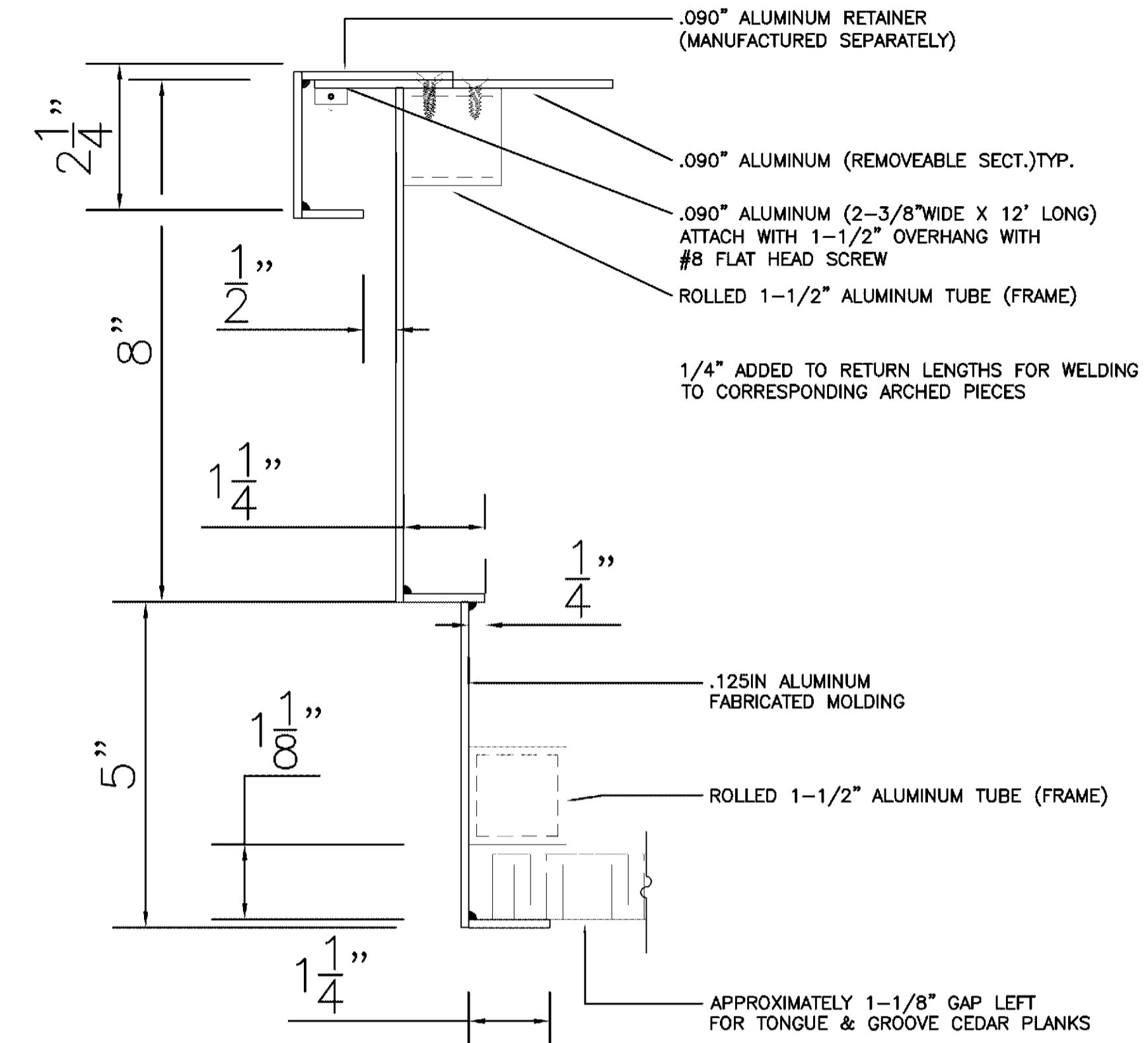
10329B-12



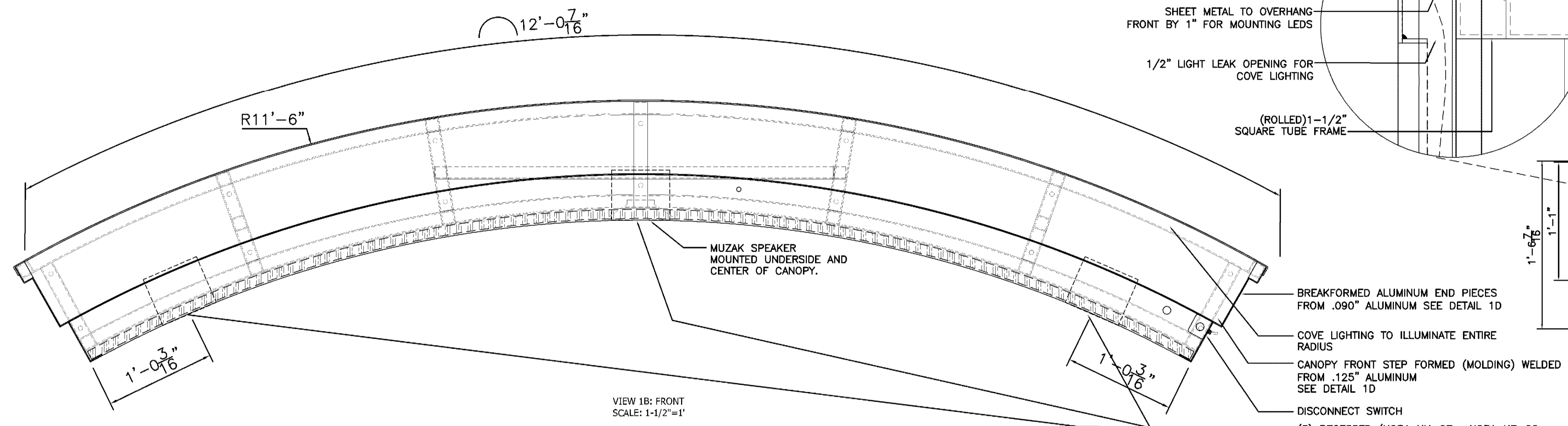
11'-6" EYEBROW CANOPY SIGN (APPLEBEE'S)



VIEW 1A: TOP SCALE: 1-1/2"=1'

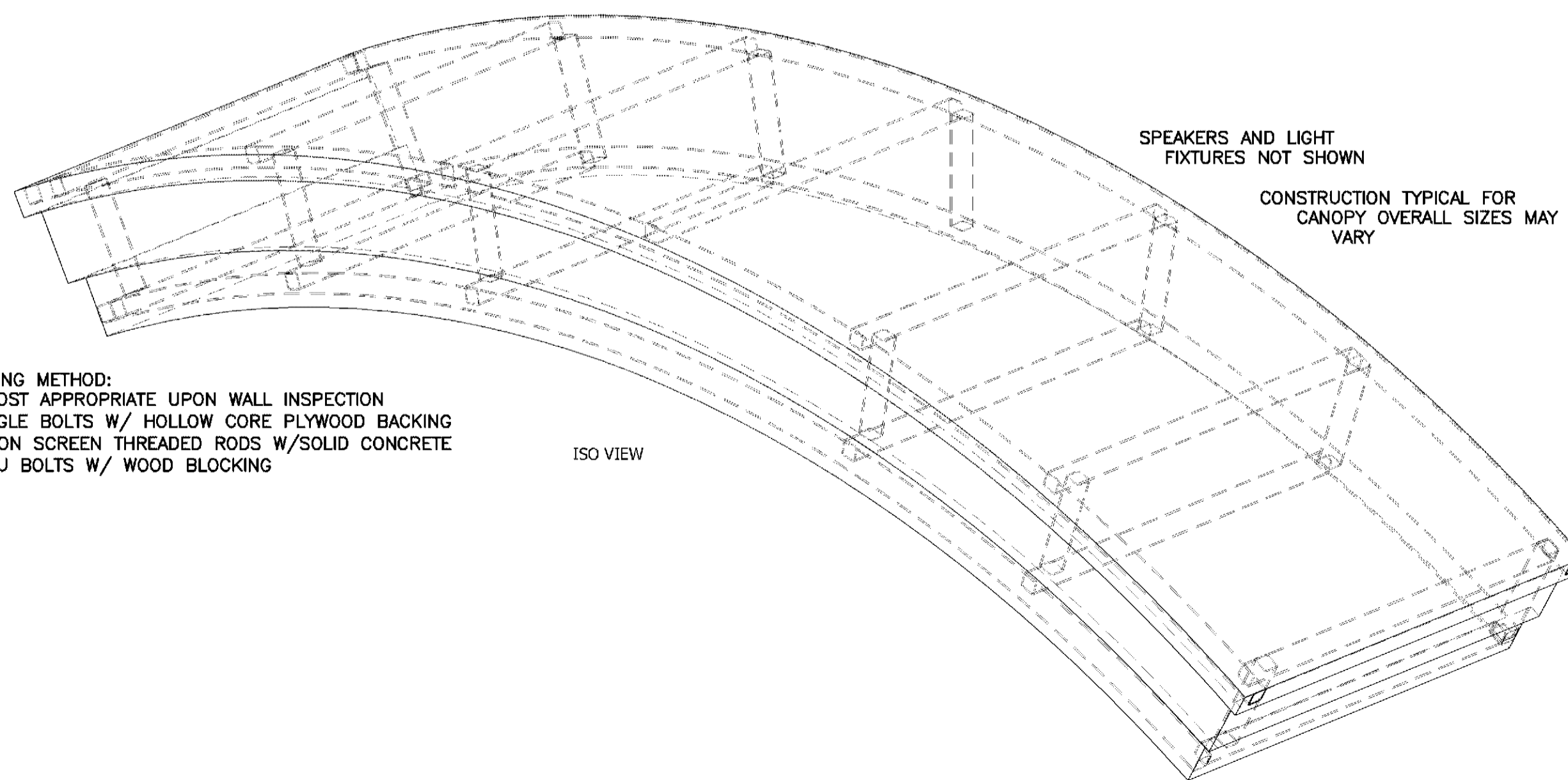


DETAIL 1D: MOLDING SCALE: NTS



VIEW 1B: FRONT SCALE: 1-1/2"=1'

VIEW 1C: END SCALE: 1-1/2"=1'



MOUNTING METHOD:  
 USE MOST APPROPRIATE UPON WALL INSPECTION  
 - TOGGLE BOLTS W/ HOLLOW CORE PLYWOOD BACKING  
 - EPON SCREEN THREADED RODS W/SOLID CONCRETE  
 - THRU BOLTS W/ WOOD BLOCKING

ISO VIEW

1/8" ALUMINUM MOLDING FOR FACE SIDE WELDED TO INTERNAL FRAME. FINISH SPRAYED SILVER METALLIC

INTERNAL ALUMINUM ANGLE AND TUBE, ALL WELDED FRAME.

TONGUE & GROOVE CEDAR WOOD CEILING, FINISHED W/ CLEAR SATIN POLY. SLATS TO BE GLUED TOGETHER ONCE IN PLACE (NO VISIBLE FASTENERS)

MOUNTING HARDWARE TBD BY WALL CONSTRUCTION.

TWO (3) RECESSED (NORA NH-27, NORA N7-22: 60W MAX) LIGHTS MOUNTED TO BOTTOM OF CANOPY.

PICK-UPS (EYE-HOOKS) TO UNSCREW AFTER INSTALLATION AND HOLES TO HAVE BEAD OF SILICONE INSIDE.

MUZAK SPEAKER TO BE MOUNTED IN CENTER POINT OF CANOPY.

DISCONNECT SWITCH TO BE MOUNTED OUTSIDE ON END OF CABINET.

SLOAN V-SERIES LED (red) / NORA LIGHT FIXTURES			
CANOPY LIGHTING	COVE LIGHT	NORA LIGHT FIXTURES	TOTALS
MOD-60 LED DRIVER/ LIGHT FIXTURE	MOD-60(1)	NORA NH-27, NORA N7-22 60W	(1) MOD-60 / 3 FIXTURES
# OF LED'S	12 FT.		24 LEDS
AMPERAGE	1.0 Amps.	.5 Amps ea.	2.5 Amps.
CIRCUIT(S) REQ.			(1) REQ.

**120 VOLTS**

THE VOLTAGE TO THIS SIGN MUST BE 120V ± 1(2) VOLTS MEASURED AT THE JUNCTION BOX NEAREST THE SIGN OR LETTERS.

ANY DEVIATION FROM THESE LIMITS MAY CAUSE SERIOUS DAMAGE TO THE TRANSFORMER AND WILL VOID OUR WARRANTY.

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PROJECT NAME: APPLEBEE'S  
 LOCATION: \_\_\_\_\_

CUSTOMER: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

SALESMAN: \_\_\_\_\_ DATE: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_ PART #: \_\_\_\_\_

WORK ORDER# \_\_\_\_\_

1 OF 1

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 GREENVILLE, SC 29607  
 PH.# 864-233-0401 FAX# 864-242-2244

10329B-12

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July 17, 2012

Inreit Properties, LLLP  
Attn: Brad Swanson  
216 S. Broadway, Suite 202  
Minot, ND 58701

**RE: Case 10329B-12, Applebee's - 9601 Lyndale Avenue**

Dear Mr. Swanson:

As set forth in the City Code Section 21.501.01(c)(1), I have approved a minor revision to Final Site Plans and Building Plans for modifications to the exterior building elevations at 9601 Lyndale Avenue subject to the following conditions:

- 1) Exterior building renovation of the awnings, eyebrow canopy, tower façade and tower roof shall be limited to those shown on the plans approved in Case 10329B-12; and
- 2) Exterior building materials for the renovation must be approved by the Planning Manager (Sec. 19.63.08).

And subject to the following Code requirements:

- 1) All signage shall be in conformance with the requirements of Article X, Sign Regulations, City Code;
- 2) All architectural lighting of building facades, signs, landscaping and other features shall be in conformance with Section 21.301.07(c)(4); and
- 3) All trash and recyclable material collection and storage shall be provided for inside the building (Sec 19.51).

Should you have any questions regarding this action, please contact Jason Schmidt, Planner at (952) 563-8922.

Sincerely,

Glen Markegard, AICP  
Planning Manager

cc: Hilton Displays  
Attn: Christie Pruitt  
125 Hillside Drive  
Greenville, SC 29607

**10329B 12**  
planning\Transmittal Letters\2012\10329B-12 AdmStaff.docx