

# 8200 Humboldt Ave

8200 Humboldt Ave • Washington, MI 48090  
677-7478/79  
427-965



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## PROJECT TEAM

### DEVELOPMENT

Endeavor Development  
1 2nd Street North, Suite 102  
Fargo, ND 58102  
Contact: Brian Bachman (701) 212-8110

### ARCHITECT

Haas Wilson Architects  
1301 American Blvd C, Suite 100  
Bloomington, MN 55425  
(612) 879-6000

### CIVIL / LANDSCAPE

Westwood  
12701 Whitewater Drive, Suite #300  
Minnetonka, MN 55343  
(952) 937-5150

## SITE METRICS

PARCEL ID 0402724310032

ADDRESS 8200 HUMBOLDT AVE S  
BLOOMINGTON, MN 55431

PARCEL AREA 119567 SQ.FT. (2.745 ACRES)





Existing Aerial View - Southeast



Proposed Aerial View - Southeast



Existing Aerial View - South

Existing Street View - Irving Ave & B2nd St



Existing Street View - Irving Ave & B3rd St



Existing Street View - Humboldt Ave & B2nd St



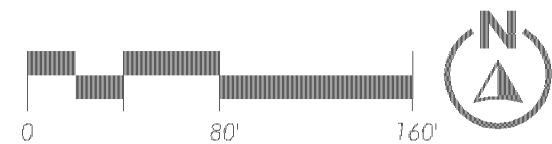
Existing Street View - Humboldt Ave & B3rd St



**SITE PLAN KEY**

- 1 BUILDING ENTRANCE
- 2 GARAGE ENTRANCE
- 3 COURTYARD AMENITY
- 4 ROOFTOP DECK
- 5 STORMWATER RETENTION (BELOW GRADE)
- 6 POCKET PARK

1 SD Site Plan - SITE PLAN  
1" = 80'-0"

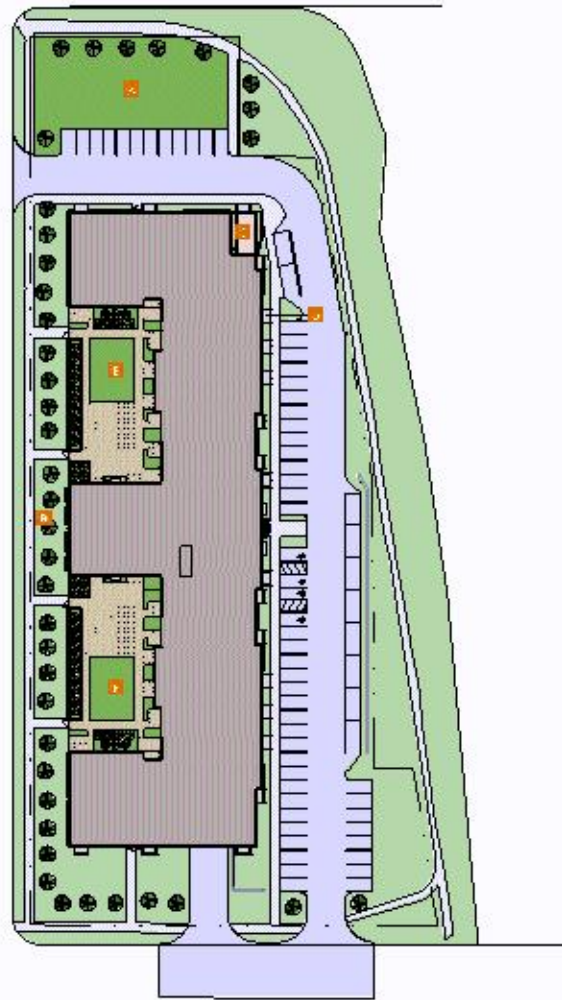


WEST BOND STREET

**OPEN SPACE KEY**

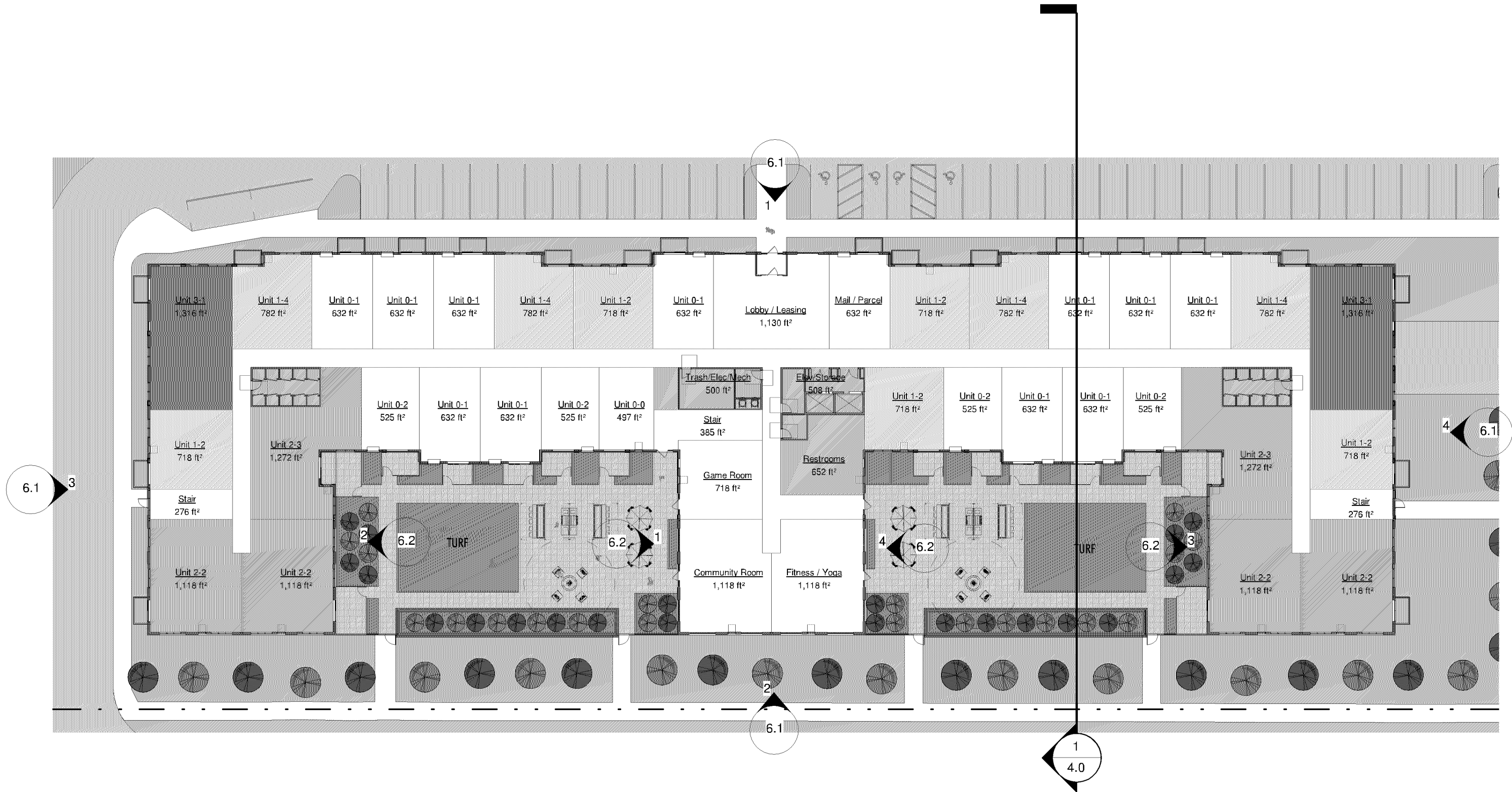
- A** ROCKY PARK - 8,740 SF
- B** SWING & BIRD COURT - 16,381 SF
- C** ROOF TOP DECK - 760 SF
- D** PATIO DECK - 110' X 150' = 16,450 SF
- E** NORTH COURTYARD - 6,429 SF
- F** SOUTH COURTYARD - 6,429 SF

TOTAL OPEN SPACE PROVIDED = 57,034 SF

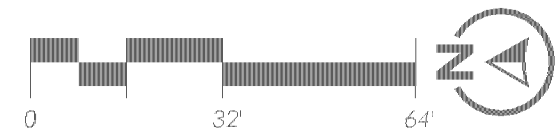


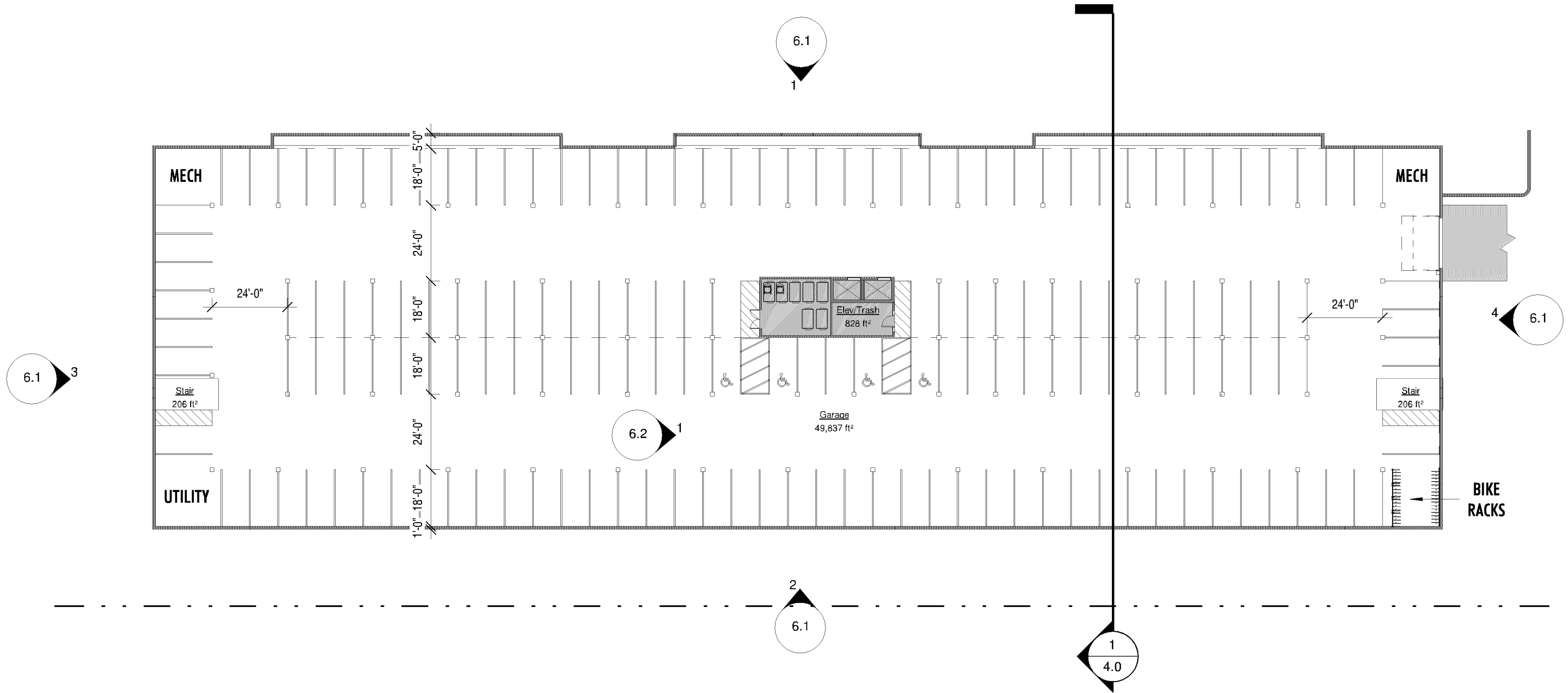
① SD Site Plan - Open Space Diagram  
1" = 80'-0"



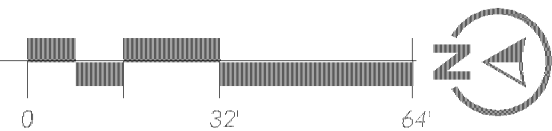


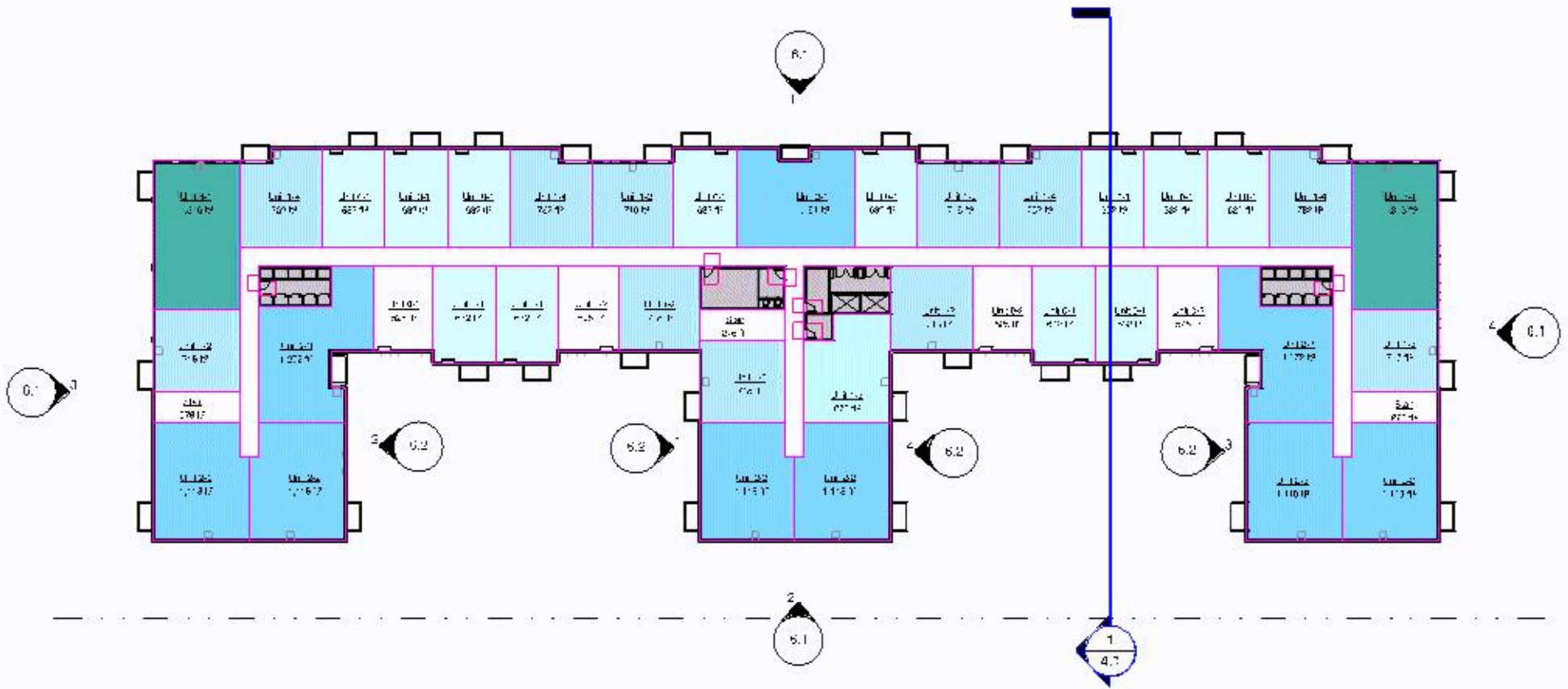
① Level 1  
1/32" = 1'-0"



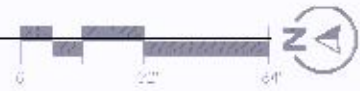


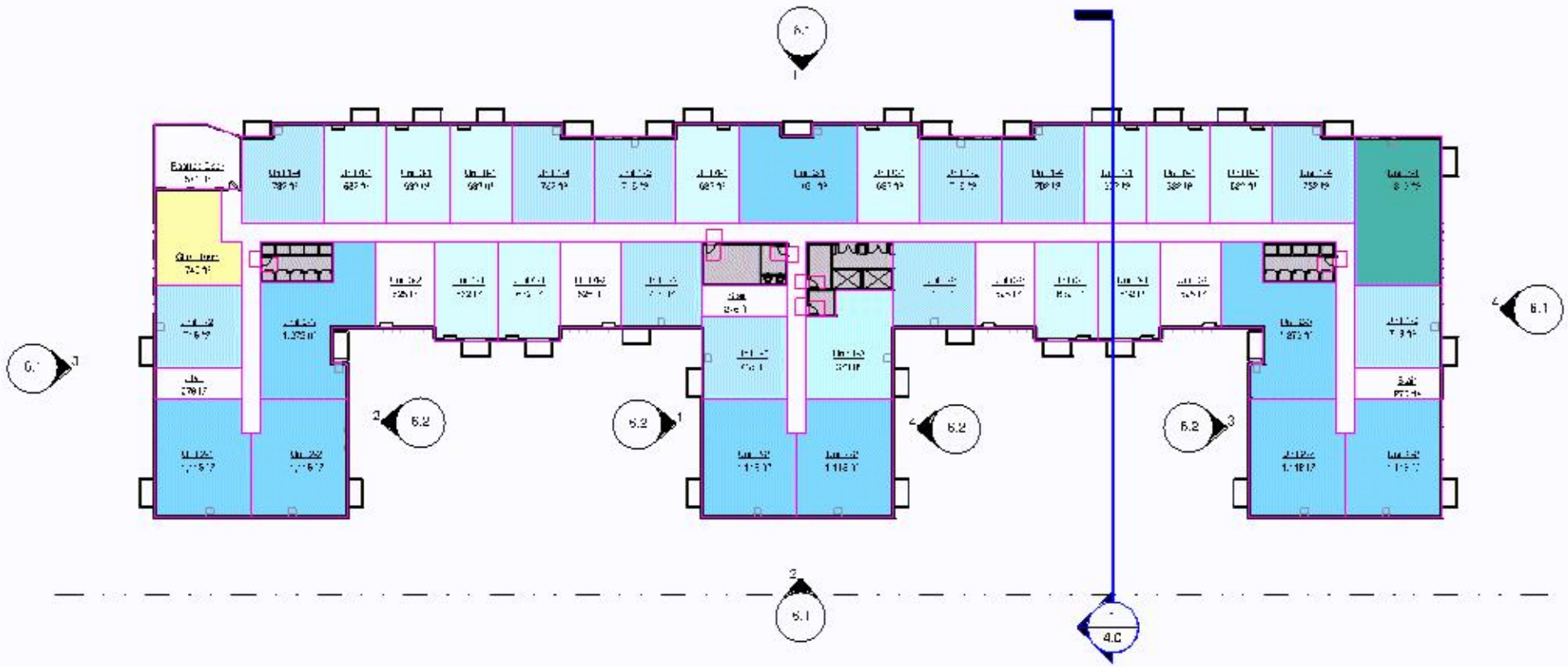
1 Level -1  
1/32" = 1'-0"





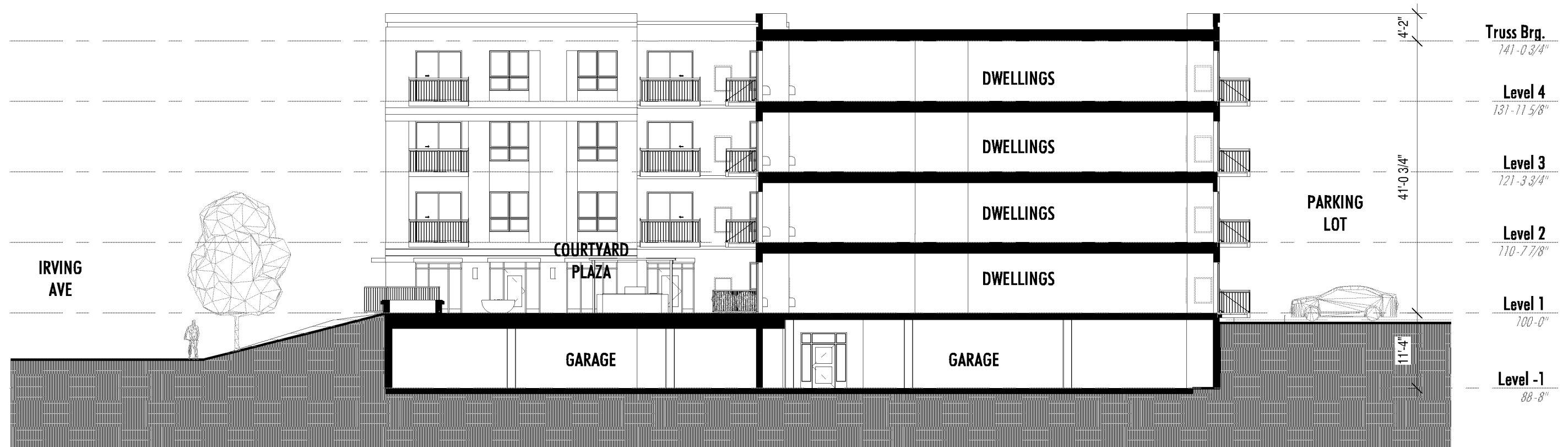
① Level 2  
1/32" = 1'-0"





① Level 4  
1/32" = 1'-0"

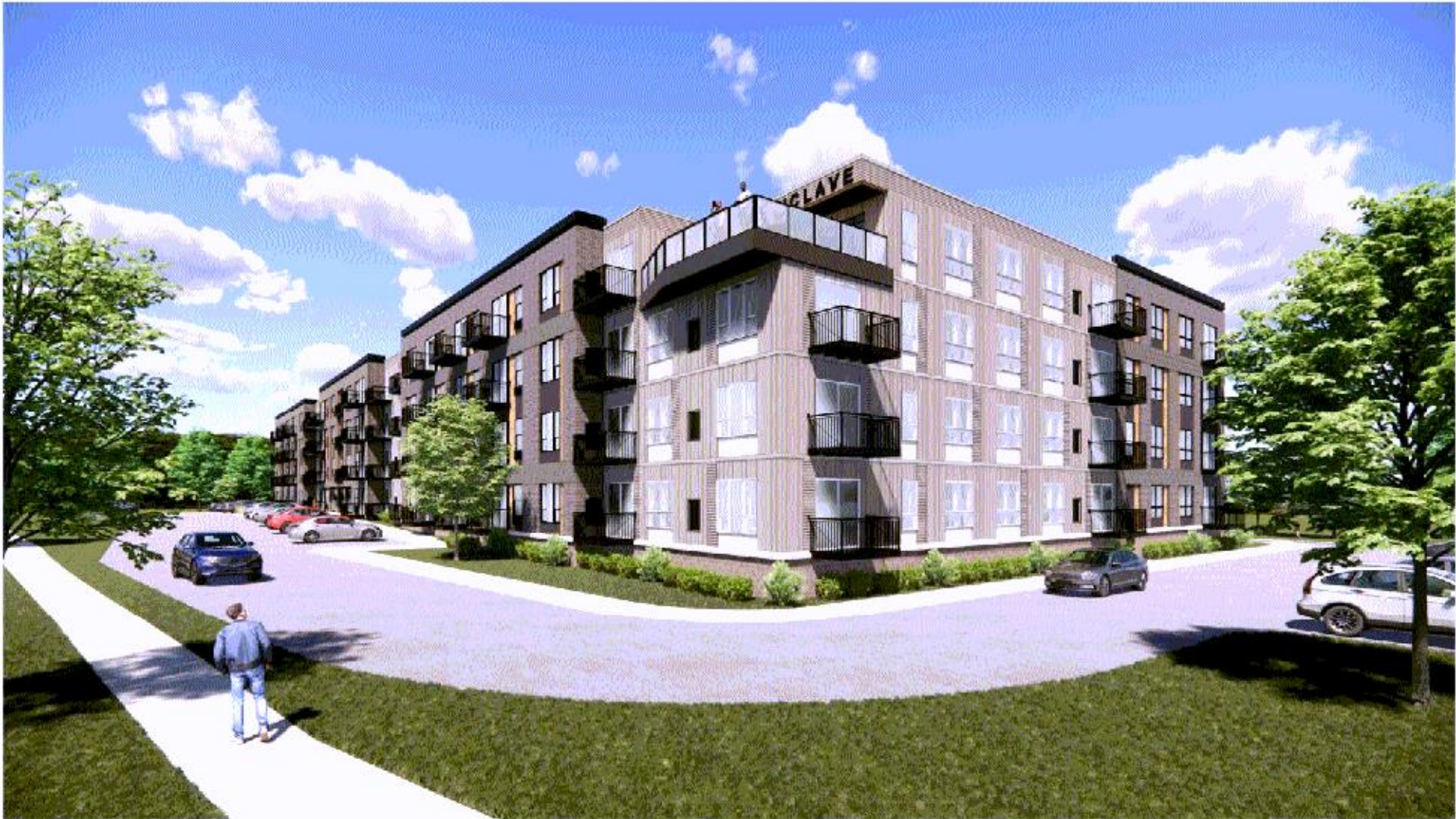




1 Building Section  
1/16" = 1'-0"



CONCEPTUAL RENDERING - NORTHWEST VIEW (IRVING AVE)



CONCEPTUAL RENDERING - NORTHEAST VIEW



CONCEPTUAL RENDERING - EAST ENTRY VIEW





CONCEPTUAL RENDERING - SOUTHWEST VIEW (IRVING AND 83RD)



CONCEPTUAL RENDERING - COURTYARD VIEW





1 Exterior Elevation - East (I-35W)  
1" = 30'-0"



2 Exterior Elevation - West (Irving Ave)  
1" = 30'-0"



3 Exterior Elevation - North  
1" = 30'-0"



4 Exterior Elevation - South (83rd Street)  
1" = 30'-0"



1 Exterior Elevation - North Courtyard (North Facade)  
 1/16" = 1'-0"



2 Exterior Elevation - North Courtyard (South Facade)  
 1/16" = 1'-0"

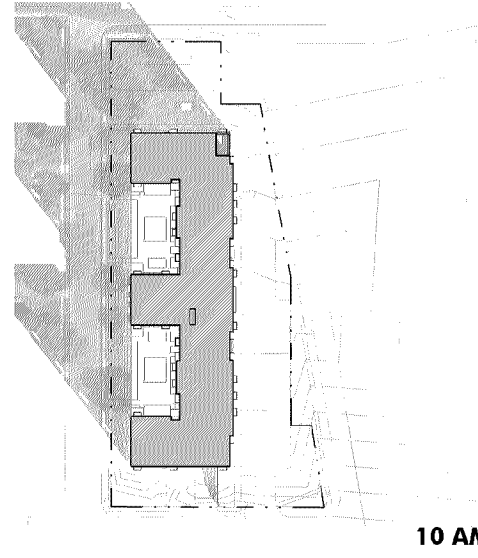


3 Exterior Elevation - South Courtyard (North Facade)  
 1/16" = 1'-0"

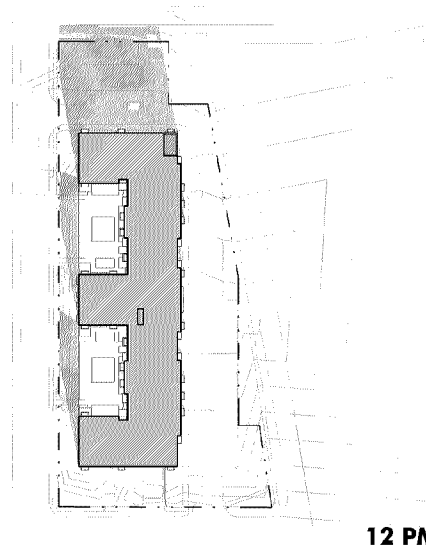


4 Exterior Elevation - South Courtyard (South Facade)  
 1/16" = 1'-0"

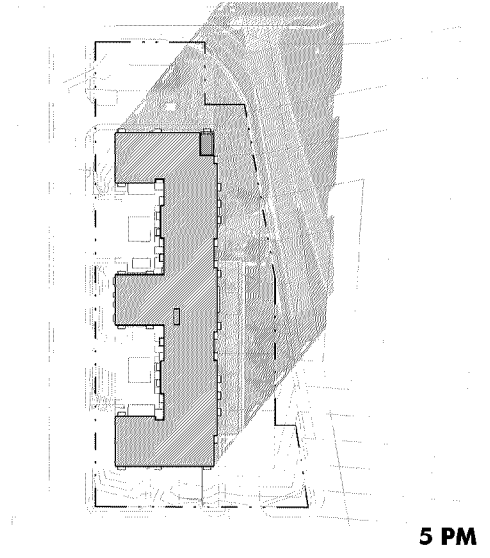
**WINTER SOLSTICE**  
DECEMBER 21



10 AM

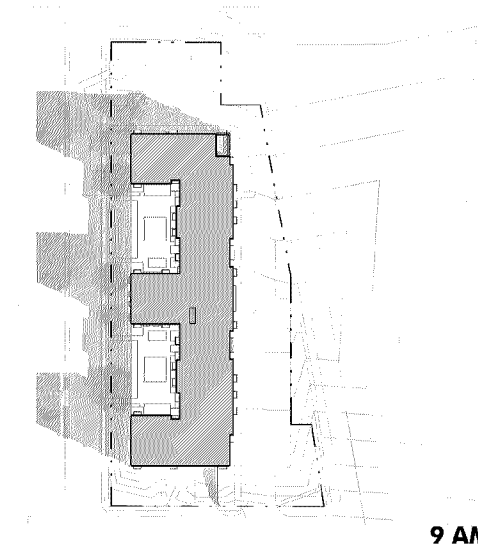


12 PM

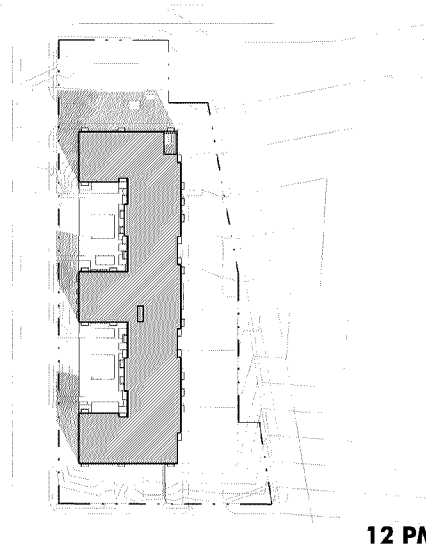


5 PM

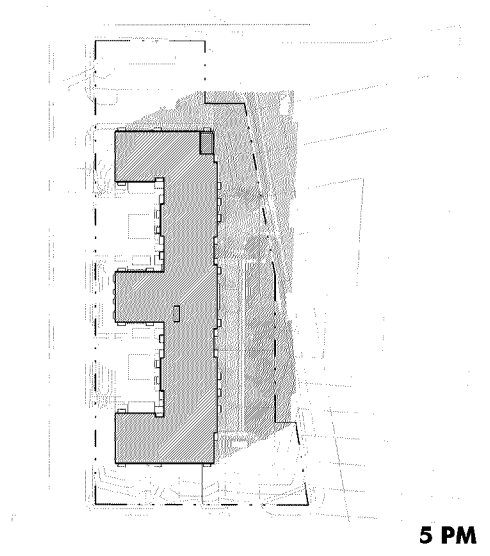
**EQUINOX**  
MARCH/SEPTEMBER 20



9 AM

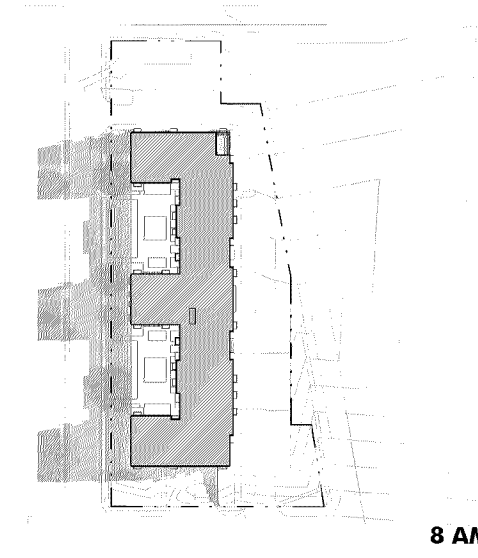


12 PM

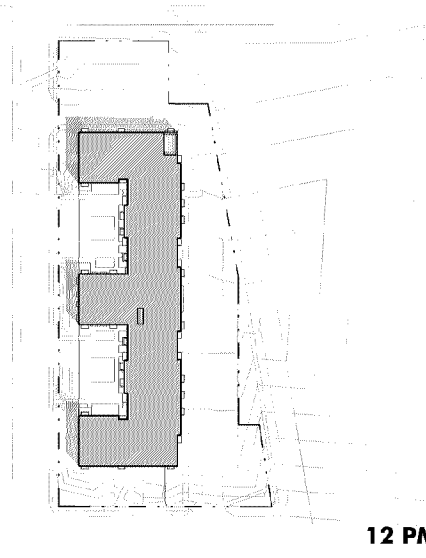


5 PM

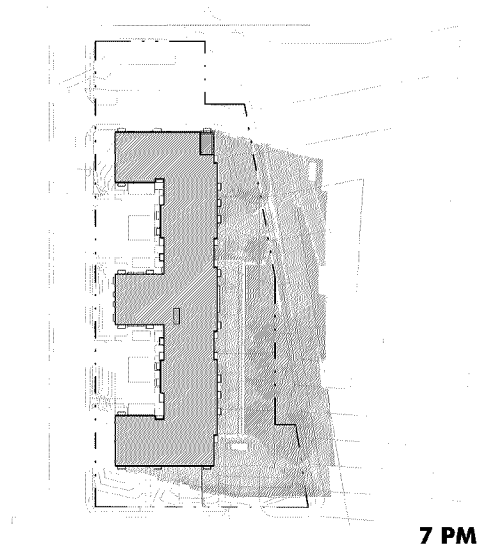
**SUMMER SOLSTICE**  
JUNE 21



8 AM



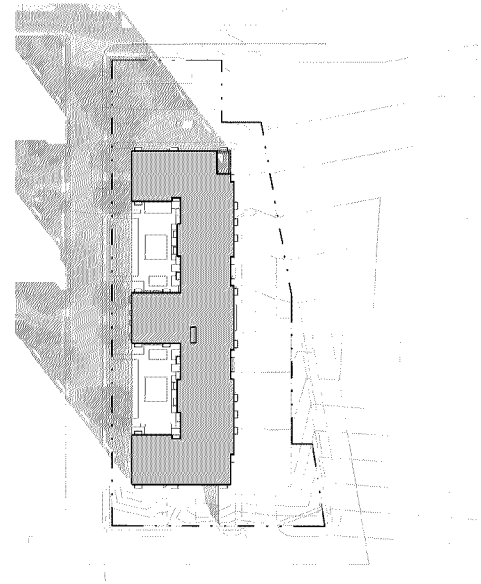
12 PM



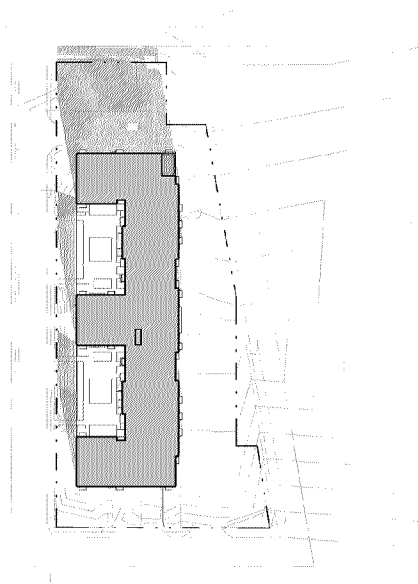
7 PM

**PROPOSED PROJECT**

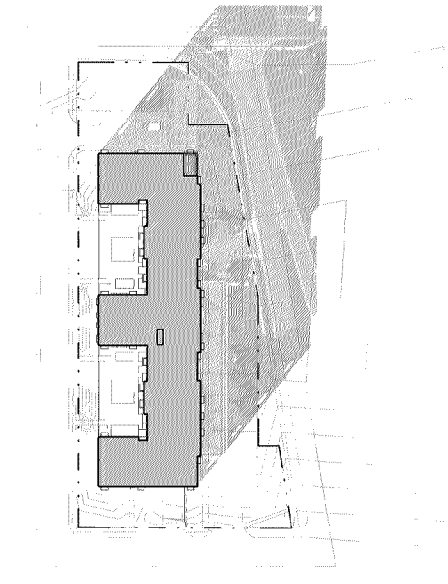
**December 21 - 10 AM**



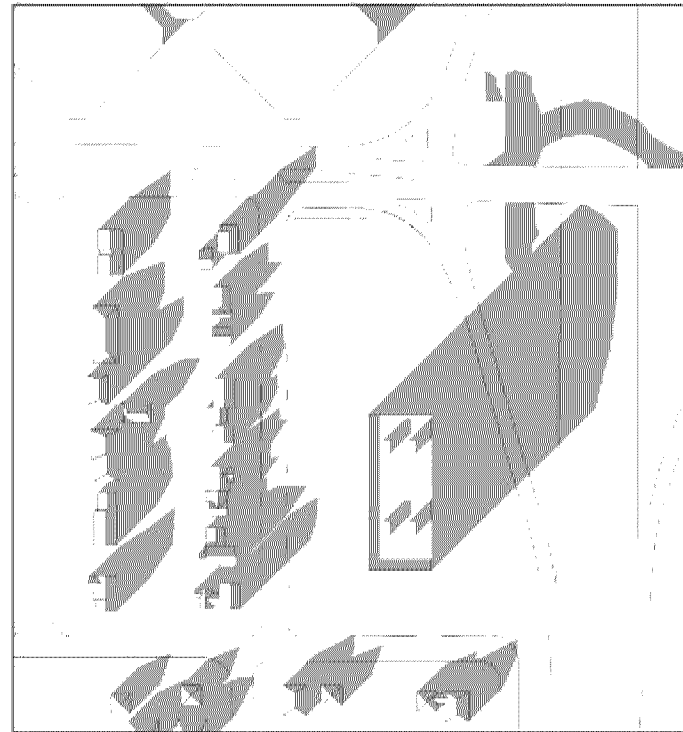
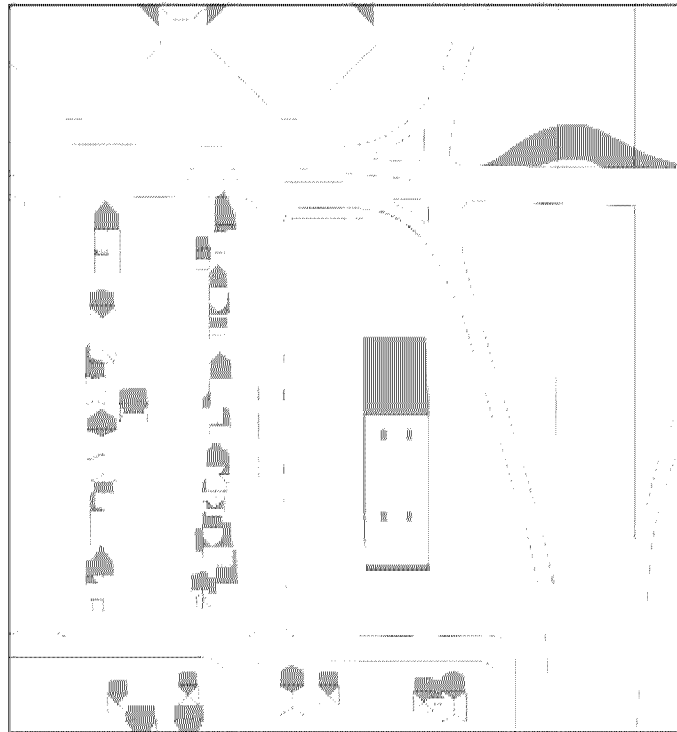
**December 21 - 12 PM**



**December 21 - 4 PM**

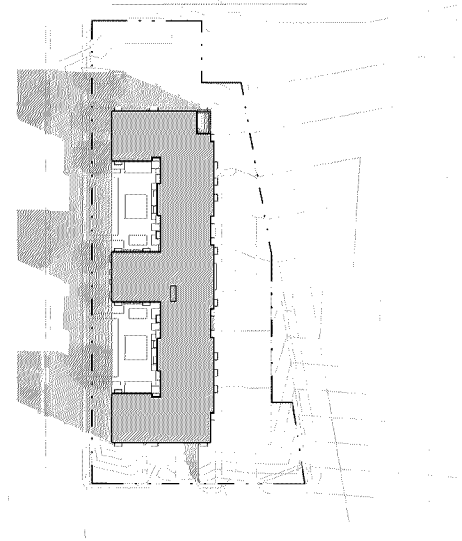


**EXISTING CONDITIONS**



**PROPOSED PROJECT**

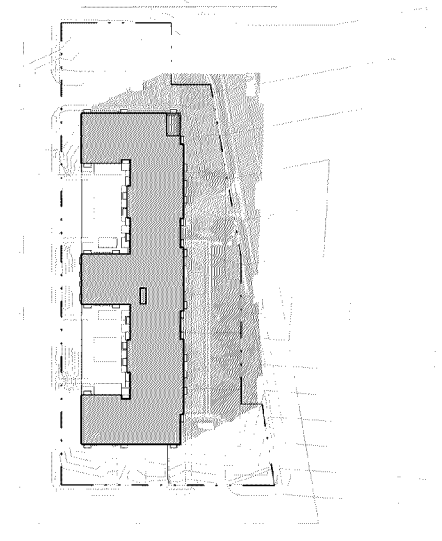
**MARCH/SEPTEMBER 21 - 9 AM**



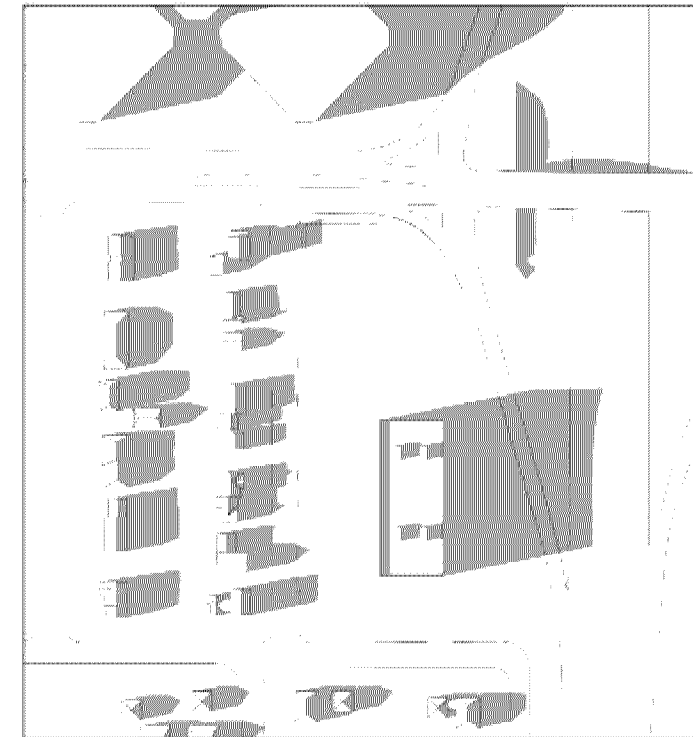
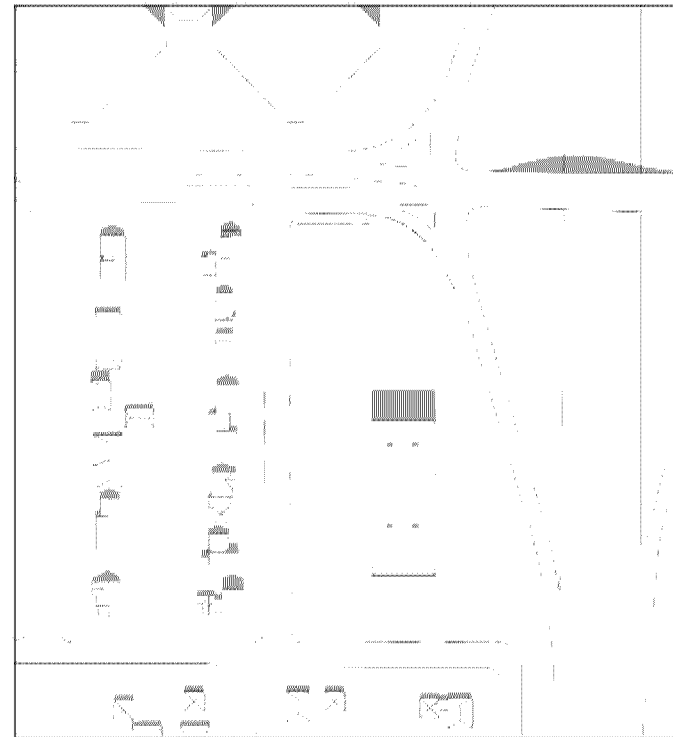
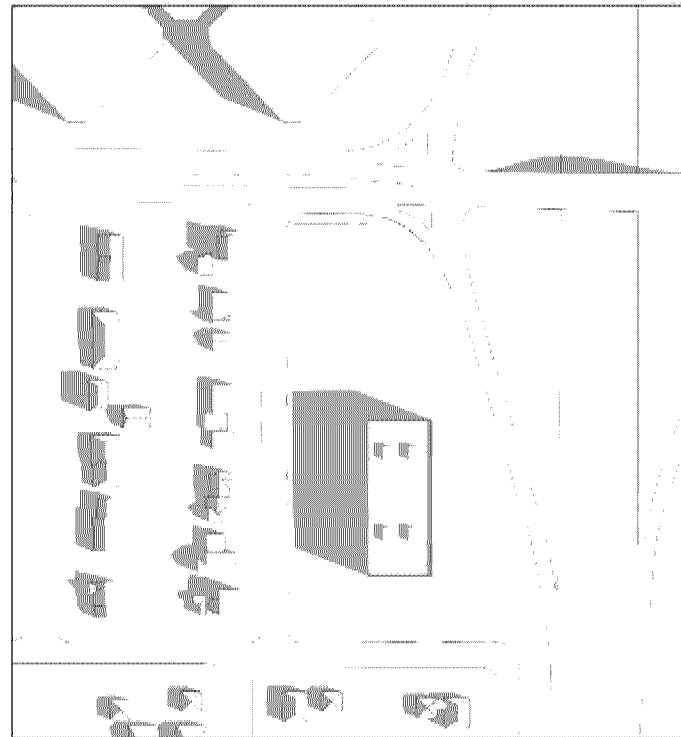
**MARCH/SEPTEMBER 21 - 12 PM**



**MARCH/SEPTEMBER 21 - 5 PM**

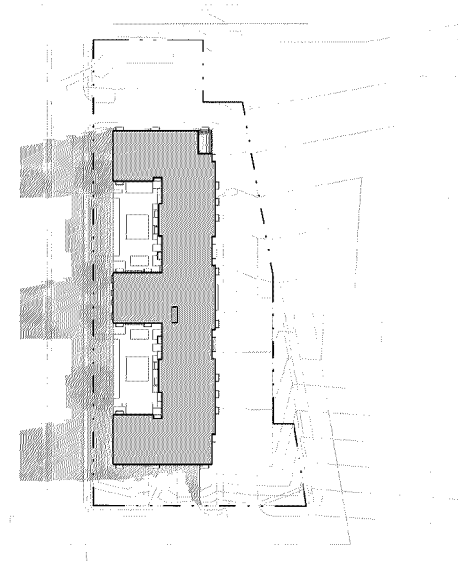


**EXISTING CONDITIONS**

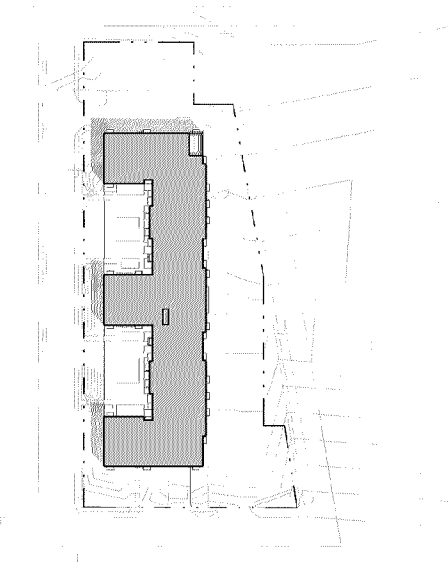


**PROPOSED PROJECT**

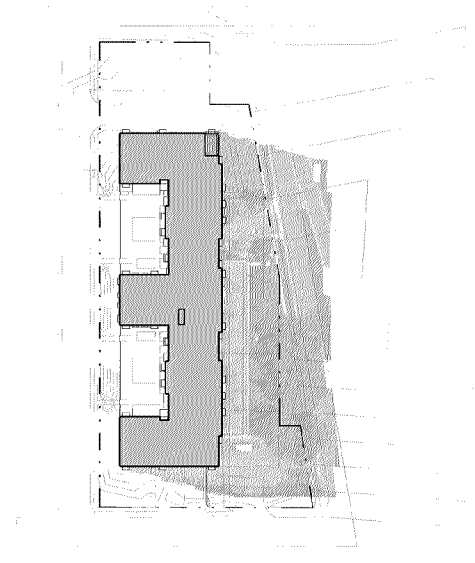
**JUNE 21 - 7 AM**



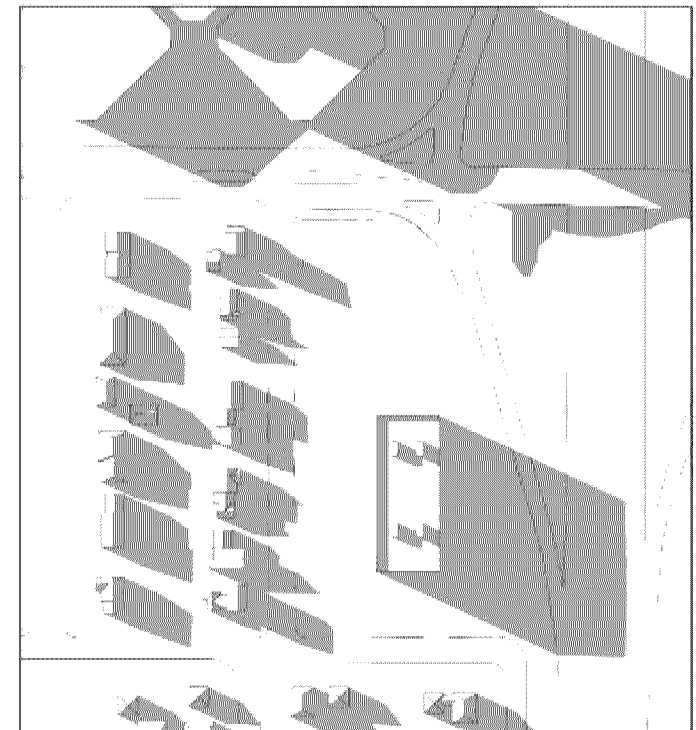
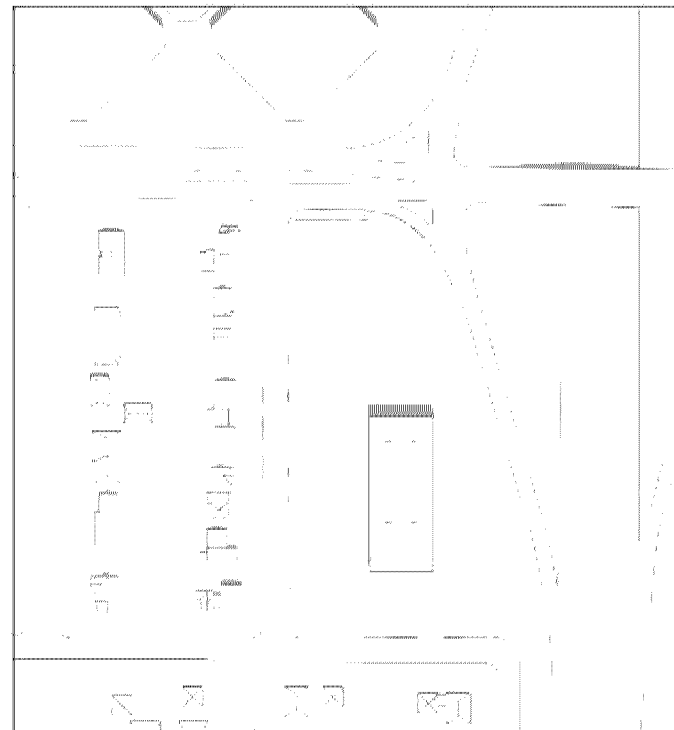
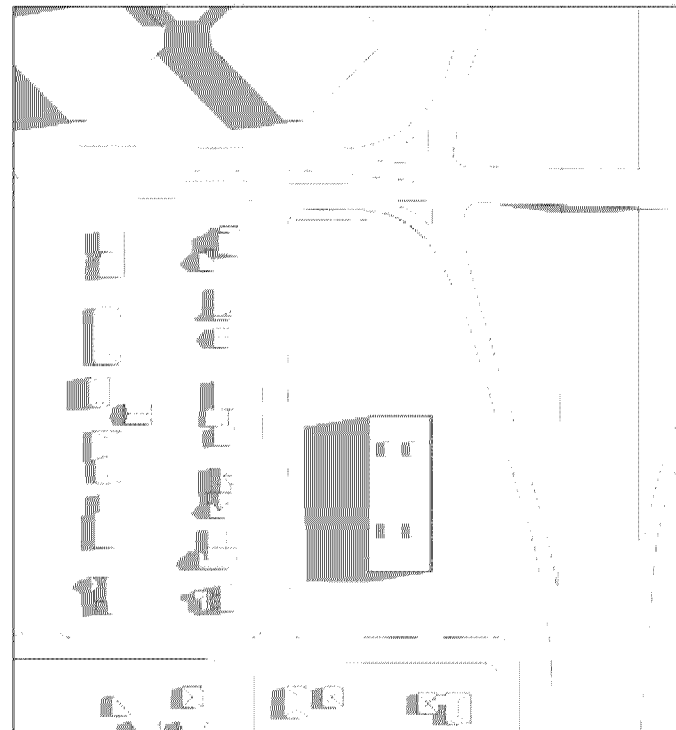
**JUNE 21 - 12 PM**



**JUNE 21 - 7 PM**



**EXISTING CONDITIONS**



# PLANNING METRICS

## Zoning

Current: B-1 Neighborhood Office  
Proposed: RM-50

## Height

Allowed: 4 Stories / 60 Feet  
Proposed: 4 Stories / 46 Feet

## Density

Allowed: 50 Units per Acre + 1 Bonus Dwelling Unit per 60% AMI unit up to 50% increase  
9% x 149 units = 14 units at 60% AMI + 50 units per acre = 64 units per acre  
Proposed: 149 Units / 2.745 Acres = 54.28 Units per Acre

## Lot Coverage

### Minimum Usable Open Space:

Allowed: 300 sq ft per dwelling unit x 149 units = 44,700 sq ft  
44,700 sq ft - 10% Affordable Housing Reduction = 40,230 sq ft usable open space required  
Proposed: Rooftop Deck - 455 sq ft  
Balconies - 123 total x 150 sq ft bonus area = 18,450sq ft  
Courtyards - 13,258 sq ft  
Lawn (along Irving & 83rd) - 16,131 sf  
Pocket Park - 8,740 sq ft  
57,034 SF

## Site Area:

Allowed : 80,000 sq ft minimum  
Proposed: 119,567 sq ft

## Massing & Setbacks

Allowed: 40' Along Streets / 30' Rear / 10' + 0.25' per foot over 30' height Side  
Proposed: 24' Front / 40' Rear Min. / 20' Side Min.

## Exterior Materials

Public Facing Facades - 85% Min Primary Materials (glass, stucco, stone, brick, concrete, metal)  
15% Max Secondary Materials (wood, metal, CFB)

## Vehicle Parking

Required:  
One bedroom - 1.8 spaces per dwelling unit x 109 units = 197 spaces  
Two bedroom - 2.2 spaces per dwelling unit x 33 units = 73 spaces  
Three bedroom - 2.6 spaces per dwelling unit x 7 units = 18 spaces  
288 resident spaces

Party Room - 1,118 sq ft Clubroom + 718 sq ft Game Room = 1,836 sq ft party room  
1845 sq ft / 100 square feet of party room per guest parking space = 18 guest parking spaces

288 resident spaces + 18 guest spaces = 306 total spaces required - 30% OHO parking reduction  
= 214 total parking spaces required

Proposed: Garage 157 spaces + Surface 67 spaces = 224 parking spaces

## Storage Space

Allowed: 1 storage locker (4' horizontal and 4' vertical or 175 cubic feet minimum) per unit x 149 units  
149 lockers - 50% affordable housing reduction = 75 storage lockers required  
Proposed: 80 storage lockers

| GROSS AREA - TOTAL |                         |
|--------------------|-------------------------|
| Level              | Area                    |
| Level 4            | 37,390 ft <sup>2</sup>  |
| Level 3            | 37,303 ft <sup>2</sup>  |
| Level 2            | 37,303 ft <sup>2</sup>  |
| Level 1            | 37,343 ft <sup>2</sup>  |
| Level -1           | 51,078 ft <sup>2</sup>  |
| Grand total        | 200,419 ft <sup>2</sup> |

## UNIT MIX - GROSS AREA

| Name                 | Count | Unit Gross Area       | Total Area              | %    |
|----------------------|-------|-----------------------|-------------------------|------|
|                      |       | Main Floor            |                         |      |
| <b>0 BR (Studio)</b> |       |                       |                         |      |
| Unit 0-0             | 1     | 497 ft <sup>2</sup>   | 497 ft <sup>2</sup>     | 1%   |
| Unit 0-2             | 16    | 525 ft <sup>2</sup>   | 8,395 ft <sup>2</sup>   | 11%  |
|                      | 17    |                       | 8,892 ft <sup>2</sup>   | 11%  |
| <b>1BR</b>           |       |                       |                         |      |
| Unit 1-2             | 26    | 718 ft <sup>2</sup>   | 18,668 ft <sup>2</sup>  | 17%  |
| Unit 1-4             | 16    | 782 ft <sup>2</sup>   | 12,512 ft <sup>2</sup>  | 11%  |
|                      | 42    |                       | 31,179 ft <sup>2</sup>  | 28%  |
| <b>1BR + Den</b>     |       |                       |                         |      |
| Unit 1-3             | 3     | 873 ft <sup>2</sup>   | 2,619 ft <sup>2</sup>   | 2%   |
|                      | 3     |                       | 2,619 ft <sup>2</sup>   | 2%   |
| <b>2BR</b>           |       |                       |                         |      |
| Unit 2-1             | 3     | 1,161 ft <sup>2</sup> | 3,484 ft <sup>2</sup>   | 2%   |
| Unit 2-2             | 22    | 1,118 ft <sup>2</sup> | 24,587 ft <sup>2</sup>  | 15%  |
| Unit 2-3             | 8     | 1,272 ft <sup>2</sup> | 10,179 ft <sup>2</sup>  | 5%   |
|                      | 33    |                       | 38,250 ft <sup>2</sup>  | 22%  |
| <b>3BR</b>           |       |                       |                         |      |
| Unit 3-1             | 7     | 1,316 ft <sup>2</sup> | 9,210 ft <sup>2</sup>   | 5%   |
|                      | 7     |                       | 9,210 ft <sup>2</sup>   | 5%   |
| <b>ALCOVE</b>        |       |                       |                         |      |
| Unit 0-1             | 47    | 632 ft <sup>2</sup>   | 29,718 ft <sup>2</sup>  | 32%  |
|                      | 47    |                       | 29,718 ft <sup>2</sup>  | 32%  |
| Grand total          | 149   |                       | 119,869 ft <sup>2</sup> | 100% |

## PARKING

| Level    | Type              | Count |
|----------|-------------------|-------|
| Level -1 | Parking - Garage  | 157   |
| Level 1  | Parking - Surface | 67    |
|          |                   | 224   |