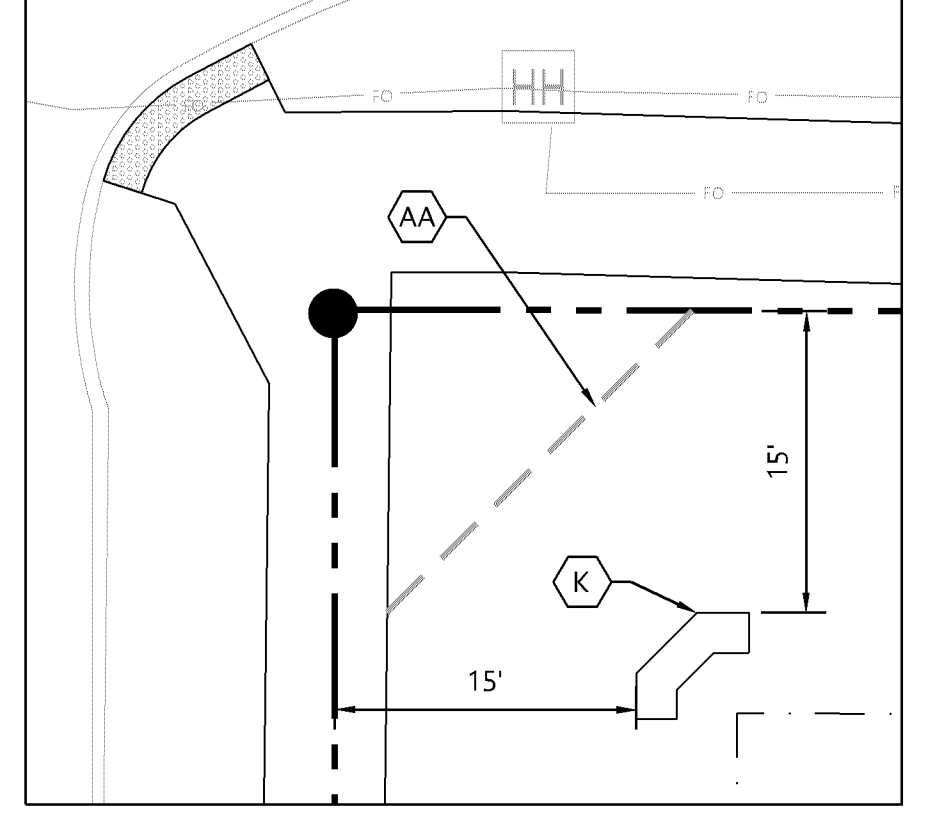
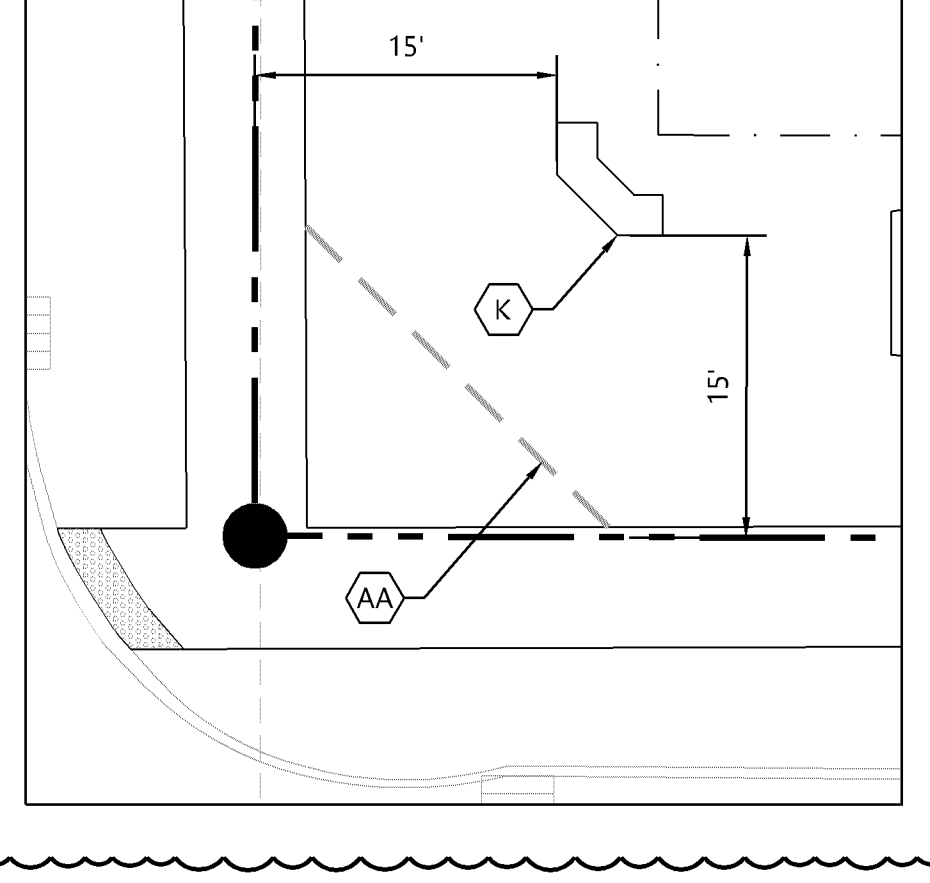


US INTERSTATE HWY NO. 35W

SIGN LOCATION - NORTHWEST



SIGN LOCATION - SOUTHWEST



APPROVED - ZONING REVIEW
 M. Centinario
 09/28/2022

SITE LEGEND

EXISTING	PROPOSED	
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	SETBACK LINE
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	CURB AND GUTTER
[Symbol]	[Symbol]	TIP-OUT CURB AND GUTTER
[Symbol]	[Symbol]	POND NORMAL WATER LEVEL
[Symbol]	[Symbol]	RETAINING WALL
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	CONCRETE PAVEMENT
[Symbol]	[Symbol]	CONCRETE SIDEWALK
[Symbol]	[Symbol]	HEAVY DUTY BITUMINOUS PAVEMENT
[Symbol]	[Symbol]	NORMAL DUTY BITUMINOUS PAVEMENT
[Symbol]	[Symbol]	NUMBER OF PARKING STALLS
[Symbol]	[Symbol]	TRANSFORMER
[Symbol]	[Symbol]	SITE LIGHTING
[Symbol]	[Symbol]	TRAFFIC SIGN
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	BOLLARD / POST

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, JANUARY 18TH, 2021.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMP, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	B-1 NEIGHBORHOOD OFFICE
PROPOSED ZONING:	RM-50
PARCEL DESCRIPTION:	LOT 1, BLOCK 1, INLAND PARK
PROPERTY AREA:	119,567 SF (2.745 AC)
PERVIOUS SURFACE:	33,547 SF (28.1%)
IMPERVIOUS SURFACE(RATIO):	86,020 SF (71.9%)
BUILDING GROSS SIZE:	198,890 SF
BUILDING SETBACK PER CODE:	40'=ALONG ROW (VARIANCE APPROVED TO REDUCE SETBACK) 10'-0.25' PER FOOT OVER 30' HEIGHT=SIDE 30'=REAR
PARKING SETBACK:	20'
PARKING SPACE/DRIVE AISLE:	9' WIDE X 18' LONG, 24' AISLE
PARKING RATIO REQUIREMENT:	CITY OF BLOOMINGTON 245 SPACES REQUIRED
PARKING PROVIDED:	157 (GARAGE) + 67 (SURFACE) = 224 SPACES

1 SITE NOTES & DETAILS (SI-0XX)

- B612 CURB AND GUTTER
- FLUSH CURB AND GUTTER
- PRIVATE CONCRETE SIDEWALK
- PUBLIC PEDESTRIAN CURB RAMP
- PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- TRAFFIC ARROW
- SIGN POST INSTALLATION
- HANDICAP ACCESSIBLE PARKING
- PAVEMENT SECTIONS
- CONCRETE CURB AT SIDEWALK
- MODULAR BLOCK RETAINING WALL
- CONCRETE STAIRS
- COMMERCIAL DRIVE ENTRANCE (SEE CITY DETAILS)
- CURB & GUTTER REMOVAL AND REPLACEMENT (SEE CITY DETAILS)
- PUBLIC CONCRETE SIDEWALKS (SEE CITY DETAILS)

A SITE KEYNOTES

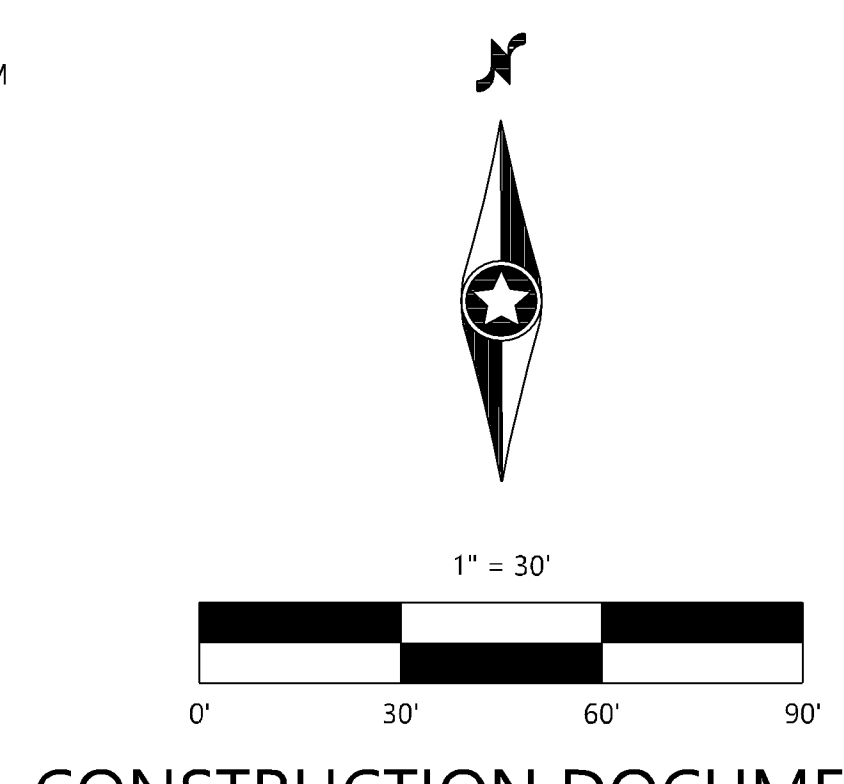
- MATCH EX. PAVEMENT W/ SAWCUT
- 18" X 10" CONCRETE PAD & BIKE RACKS (SEE ARCH PLANS FOR DETAIL)
- PROPOSED TRANSFORMER PAD
- PLANTED AREA (SEE LANDSCAPE PLAN)
- SITE LIGHT (SEE LIGHTING PLAN)
- BOLLARD LIGHT (SEE LIGHTING PLAN)
- STAIRS AND RAILING DETAIL (SEE ARCH AND STRUCTURAL)
- REMOVE AND REPLACE PAVEMENT AND CURB IN-KIND PER CITY/MNDOT SPECIFICATIONS, FOR UTILITY CONNECTION OR DISCONNECTION.
- RETAINING WALL (SEE ARCH AND STRUCTURAL)
- MONUMENT SIGN (SEE ARCH)
- PLAZA AMENITY AREAS (SEE ARCH AND LANDSCAPE PLANS)
- 4" ORNAMENTAL FENCE AT TOP OF WALL PER OWNER/ARCH SPECS
- 15' SIGHT TRIANGLE

S1-S2 SIGN LEGEND

REFERENCE	SIZE	MNDOT DESIGNATION
S.1	30" X 30"	R1-1
S.2	12" X 18"	R7-8M

CITY NOTES

- ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING AND STORAGE OF EQUIPMENT AND MATERIALS MUST BE ON-SITE. USE OF PUBLIC STREETS FOR PRIVATE CONSTRUCTION PARKING, LOADING/UNLOADING, AND STORAGE WILL NOT BE ALLOWED.



PL202100257
 PL2021-257

ISSUED:	04/08/2022
CHECKED:	05/23/2022
DESIGNED:	06/09/2022
DRAWN:	07/11/2022
SCALE:	HORIZONTAL SCALE: 1" = 30'
	VERTICAL SCALE: 1" = 3'

PREPARED FOR:	ENCLAVE DEVELOPMENT
	1 2ND STREET NORTH, SUITE 102
	FARGO, ND 58102

PROJECT NO.:	42797
DATE:	07/11/2022
REVISION NO.:	42797

ENCLAVE DEVELOPMENT 8200
 HUMBOLDT
 BLOOMINGTON, MN

ENCLAVE DEVELOPMENT 8200
 HUMBOLDT
 BLOOMINGTON, MN

Westwood
 Professional Services, Inc.
 15555 Highway 101, Suite 200
 Minneapolis, MN 55443
 Phone: (612) 917-5122
 Fax: (612) 917-5120
 www.westwoodps.com

CIVIL SITE PLAN

SHEET NUMBER:

C2.0

DATE: 07/11/2022

PROJECT NUMBER: 0030774.00

ENCLAVE DEVELOPMENT 8200 HUMBOLDT

WEST 82ND STREET

APPROVED - ZONING REVIEW
M. Centinario
09/28/2022

GRADING LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		INDEX CONTOUR
		INTERNAL CONTOUR
		CLUB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERTFLOW
		SOIL BORING LOCATION

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK OR APPROVED EQUIV. IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED	04/08/2022
CHECKED	05/23/2022
DRAWN	06/09/2022
ISSUED FOR PERMITS	07/11/2022
CITY COMMENTS	
ADDITIONAL CITY COMMENTS	
DATE	
SCALE	
SCALE	

PREPARED FOR:
ENCLAVE DEVELOPMENT
1 2ND STREET NORTH, SUITE 102
FARGO, ND 58102

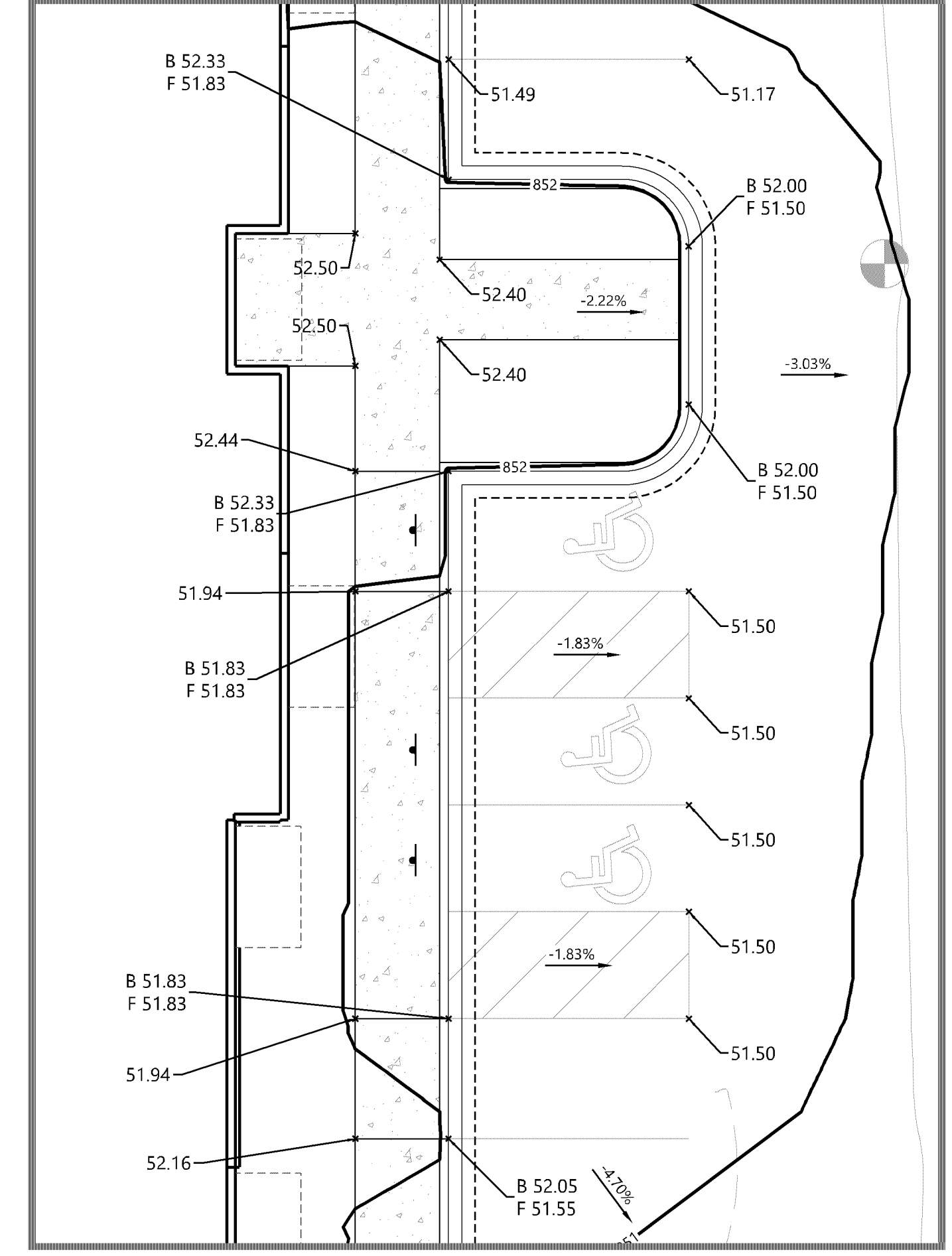
DESIGNED BY:
SHARVYN S. AHRENS
DATE: 07/17/2022, REVISION NO. 42797

ENCLAVE DEVELOPMENT 8200
HUMBOLDT
BLOOMINGTON, MN

Westwood
Professional Services, Inc.
1825 13th Street, Suite 200
Fargo, ND 58103
701.785.9100
www.westwoodps.com

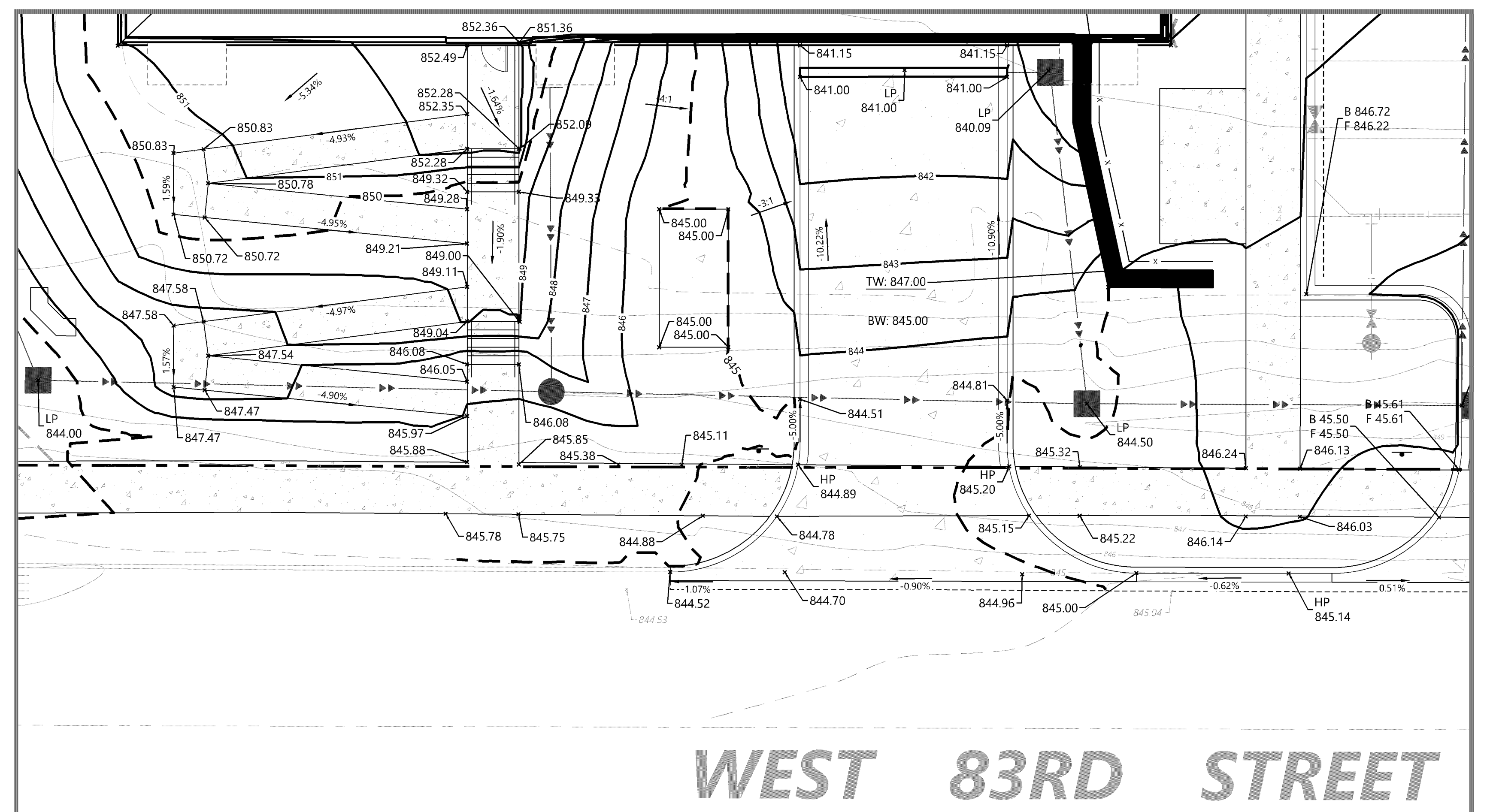
GRADING PLAN

SHEET NUMBER:
C3.0
DATE: 07/11/2022
PROJECT NUMBER: 0030774.00



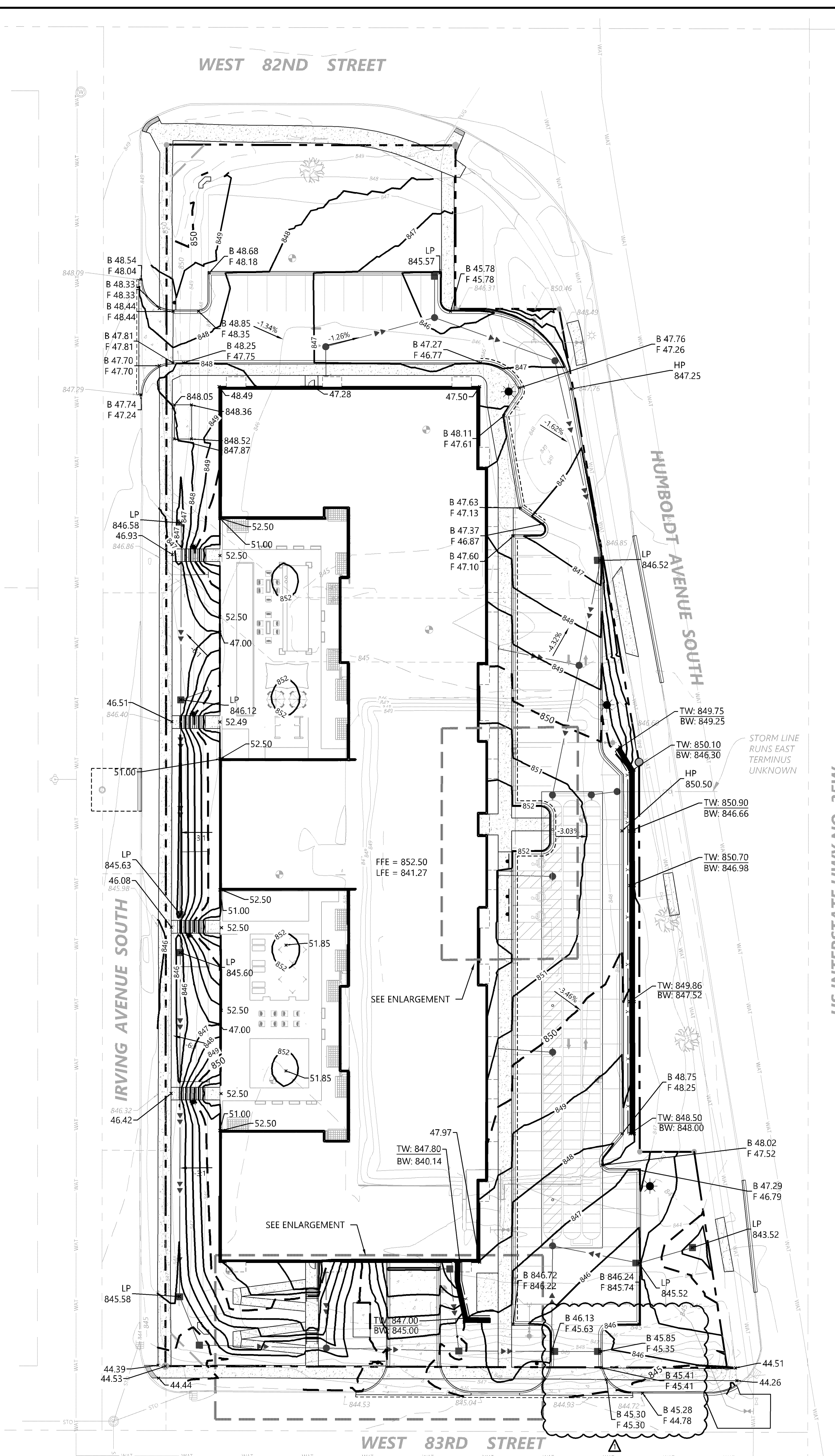
ADA PARKING AREA
ENLARGED GRADING PLAN

10 SCALE

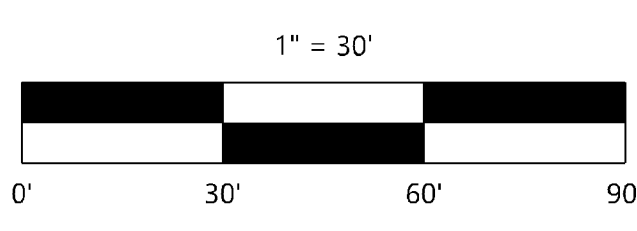


GARAGE ENTRANCE DRIVEWAY AREA
ENLARGED GRADING PLAN

10 SCALE



US INTERSTATE HWY NO. 35W



PL202100257
PL2021-257

CONSTRUCTION DOCUMENTS

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