

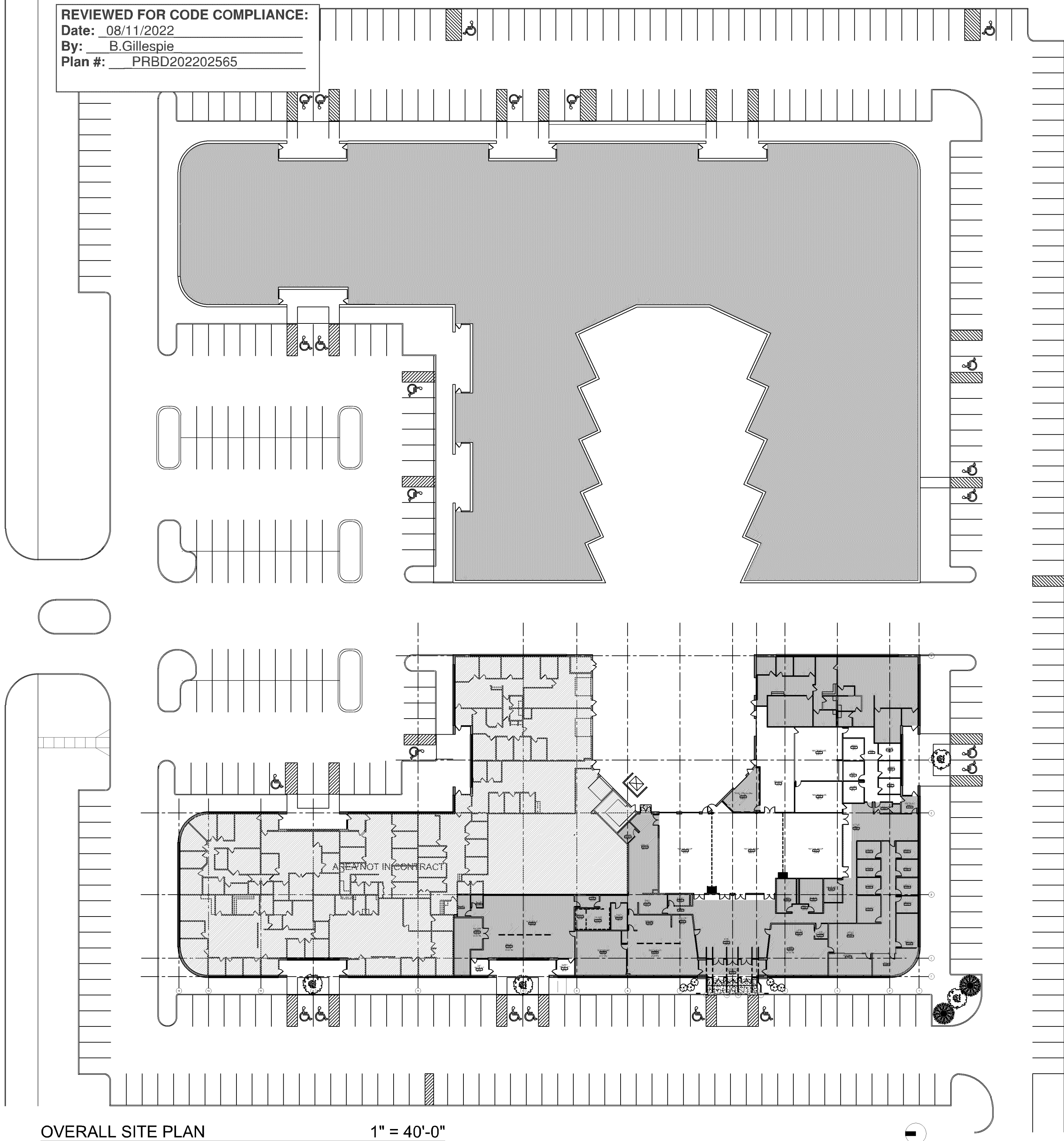
[illegible]

OWNER AFRIQUE HOSPITALITY GROUP 1071 AMERICAN BLVD EAST #15A BLOOMINGTON, MN 55425 CONTACT: MUKTAR SHARIF	MECHANICAL LINDELL ENGINEERING 3411 KILMER LAKE NORTH PLYMOUTH, MN 55441 PHONE: 763.542.9163 CONTACT: DENARD HIGGS
ARCHITECT 292 DESIGN GROUP 3533 EAST LAKE STREET MINNEAPOLIS, MN 55406 PHONE: 612.767.3773 CONTACT: PAMELA ANDERSON, AIA	ELECTRICAL LINDELL ENGINEERING 3411 KILMER LAKE NORTH PLYMOUTH, MN 55441 PHONE: 763.542.9163 CONTACT: ED PASNO
	STRUCTURAL BKBM ENGINEERS 6120 EARLE BROWN DRIVE, STE 700 MINNEAPOLIS, MN 55430 CONTACT: CHARLIE ROOS, PE, SE

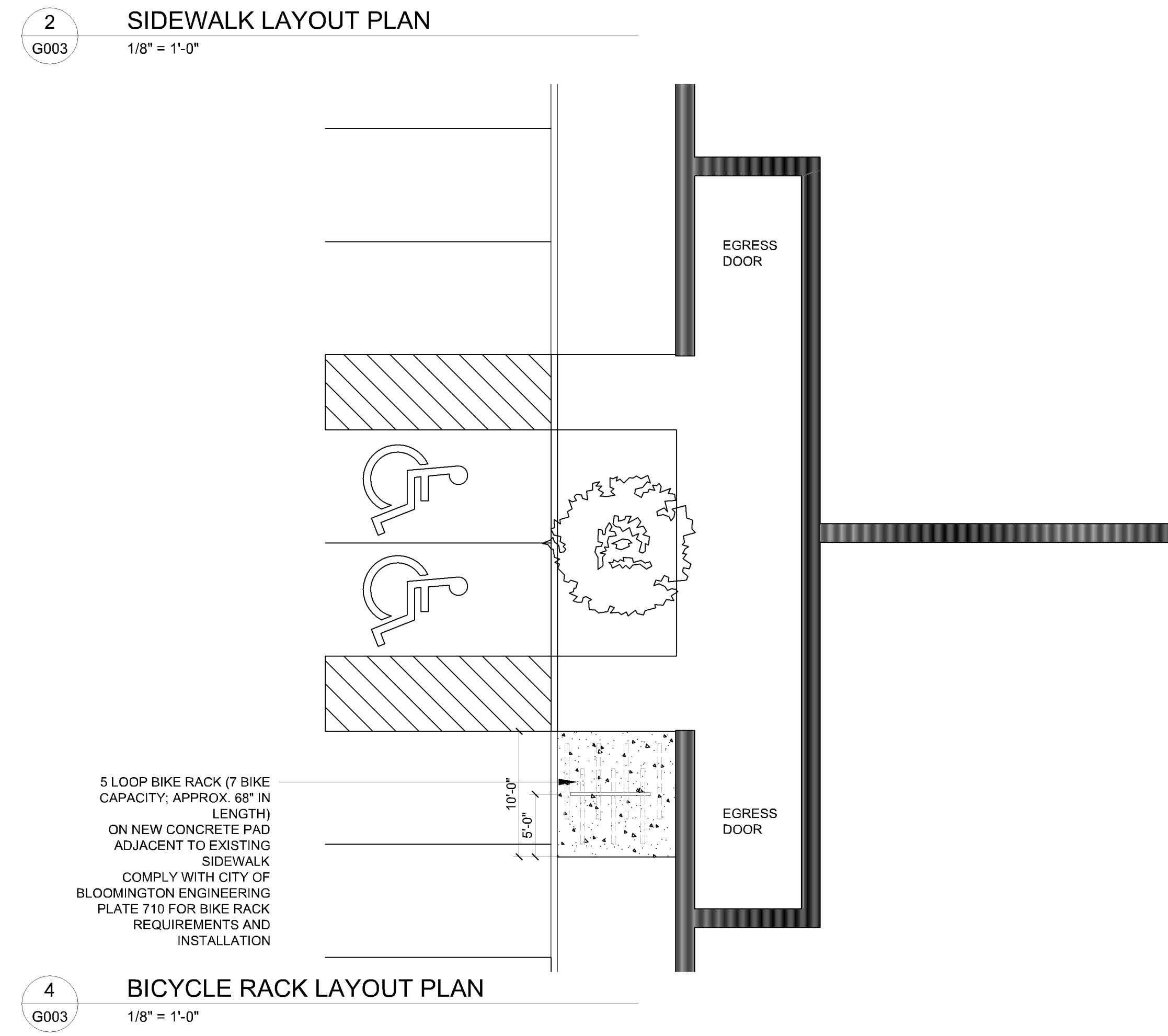
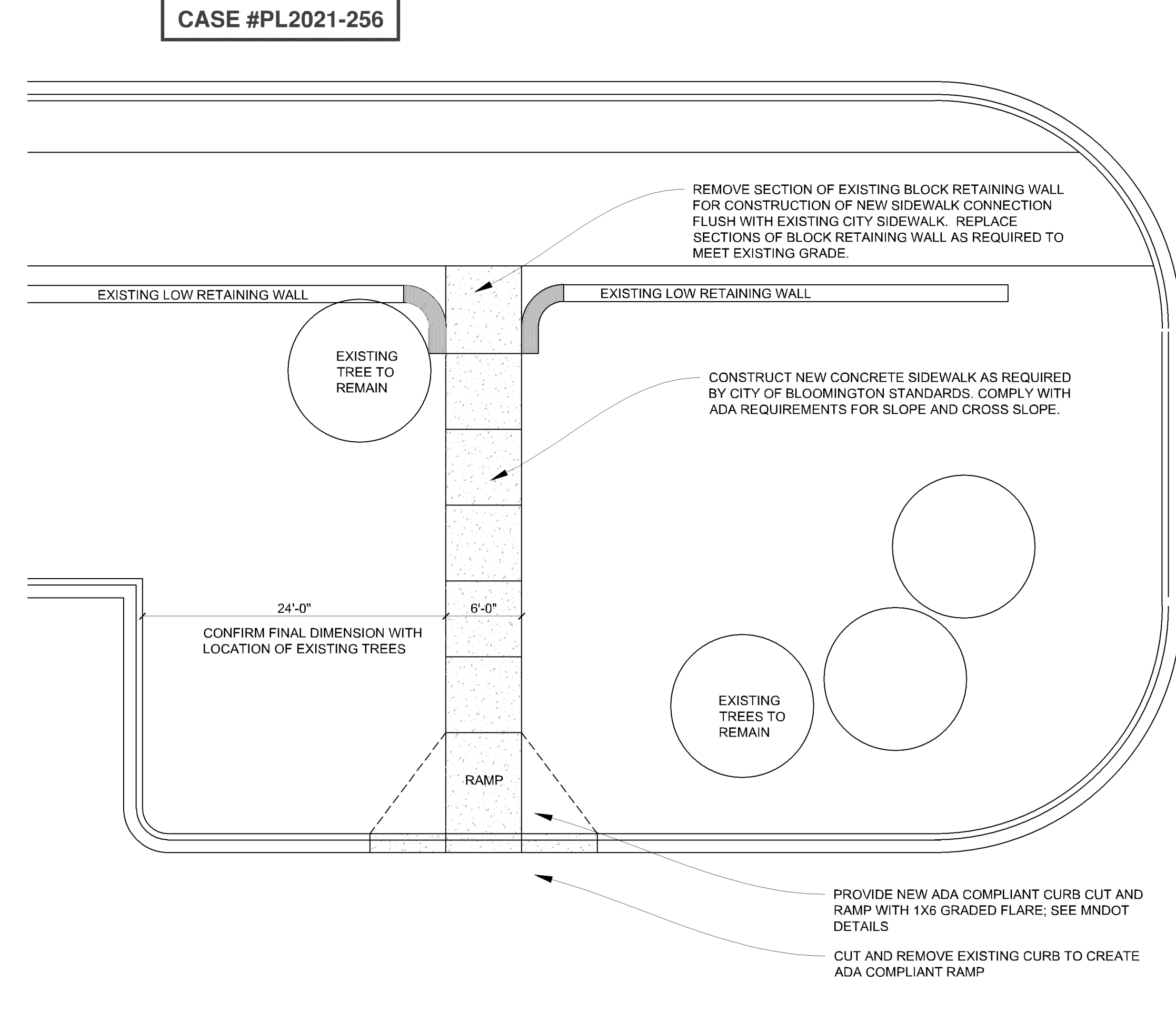
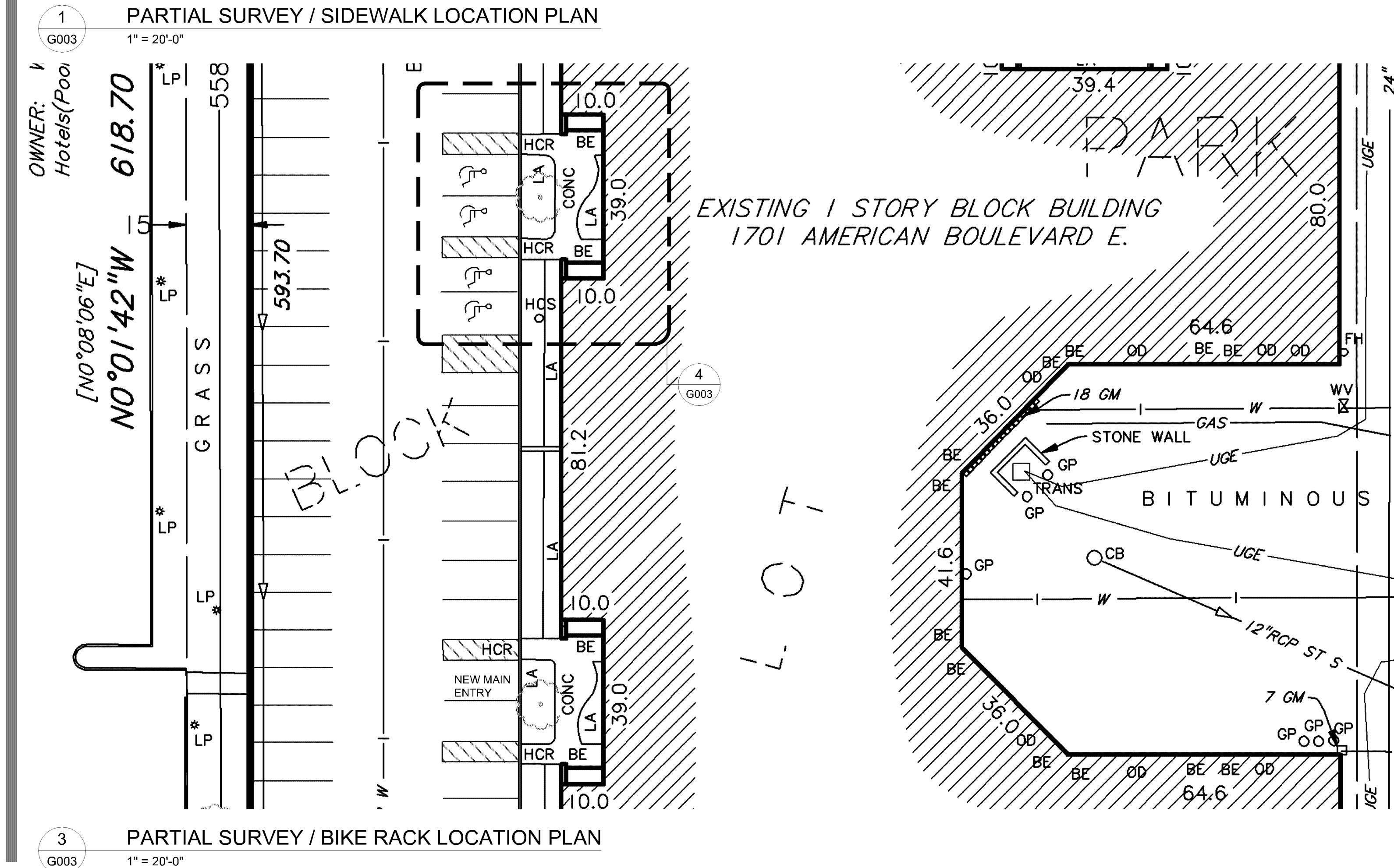
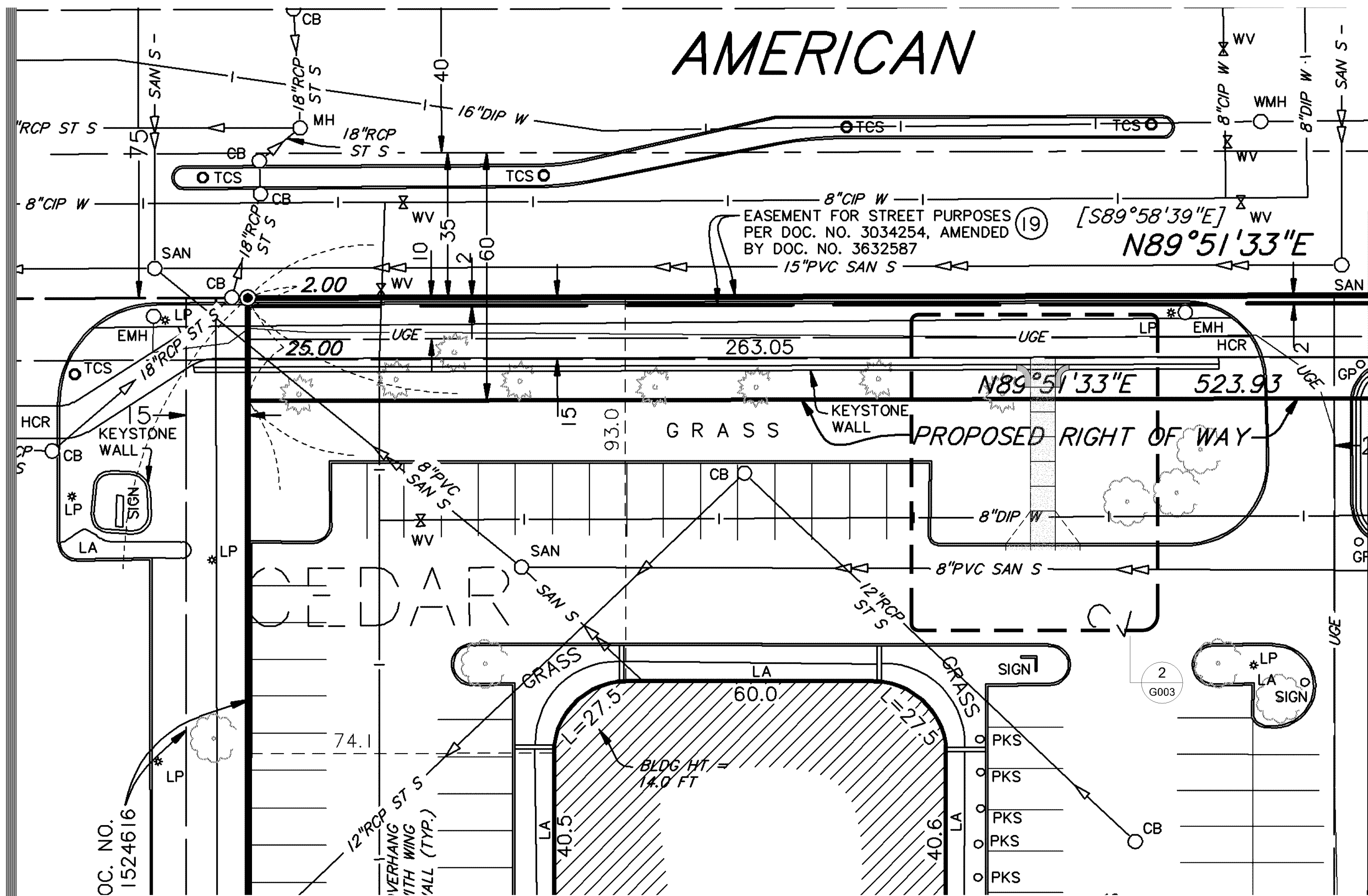
- A. THE CONTRACTOR SHALL ACCEPT THE PROJECT AS IT EXISTS. ALL EXISTING CONDITIONS, WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS, SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ITEM(S) OF WORK WHICH IS REASONABLY QUESTIONABLE WITHOUT CONSULTING THE ARCHITECT.
- B. ALL CONSTRUCTION SCHEDULING AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER PRIOR TO THE BEGINNING ANY WORK.
- C. ERECT TEMPORARY PARTITIONS/BARRIERS AS REQUIRED TO PREVENT CONTAMINATION OF ADJACENT AREAS THAT ARE, OR WILL BE, USED BY THE OWNER FROM DUST, DEBRIS AND EXCESSIVE NOISE.
- D. COORDINATE DEMOLITION ACTIVITIES WITH OWNER AND SUB-CONTRACTORS.

This plan must be maintained and accessible at the construction site for ALL inspections.

REVIEWED FOR CODE COMPLIANCE:
Date: 08/11/2022
By: B.Gillespie
Plan #: PRBD202202565


$$1'' = 40'-0''$$

© 292 Design Group (2022)



CASE #PL2021-256

2020 Design

292DESIGNGROUP
5533 E LAKE STREET MINNEAPOLIS, MINNESOTA 55406 612 767 3773

I hereby certify this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Minnesota


Pamela Bakken Anderson
Date: 06/08/2022 Reg. No: 21241

06.08.22

ISSUE DATE:
REVISIONS:

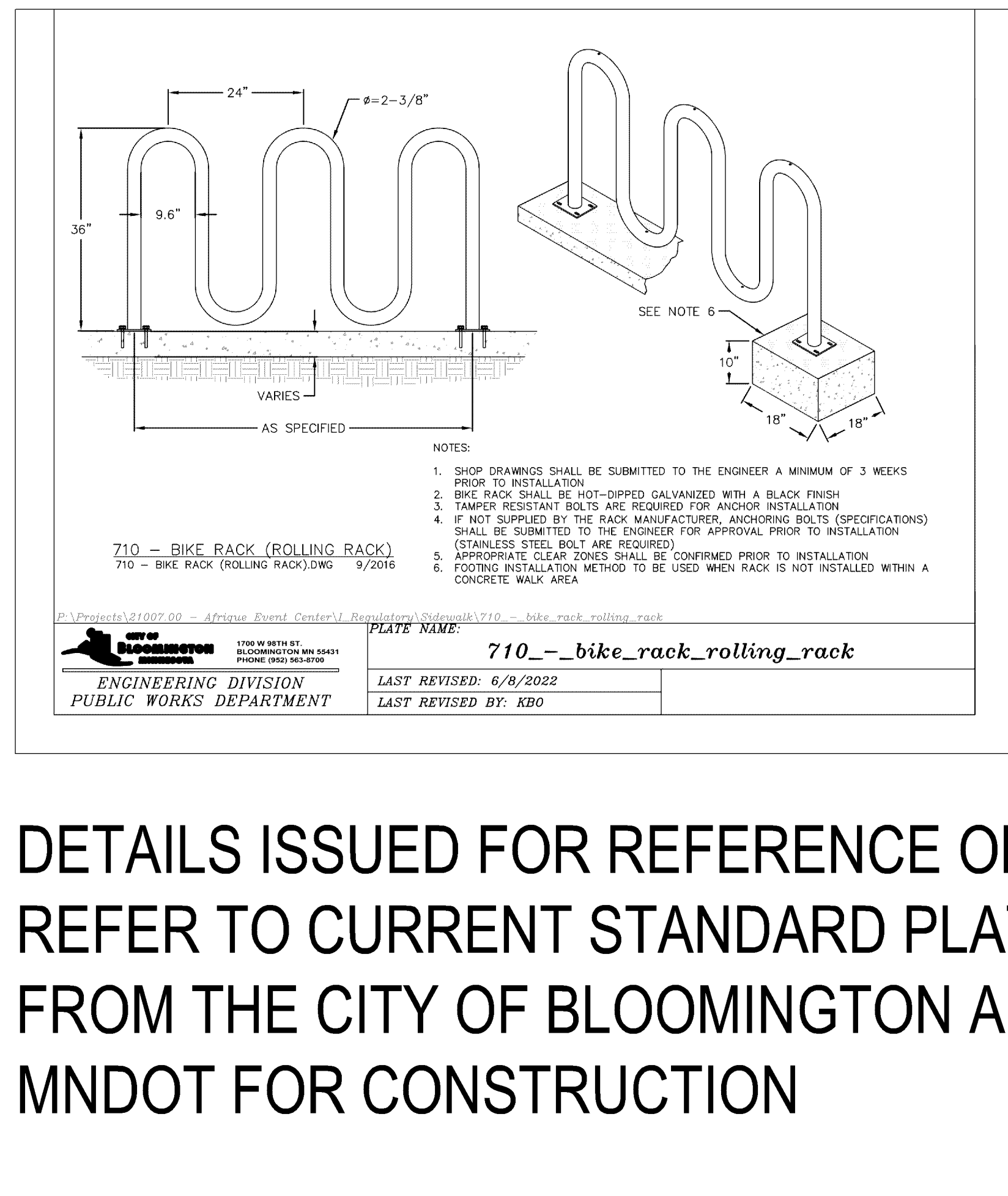
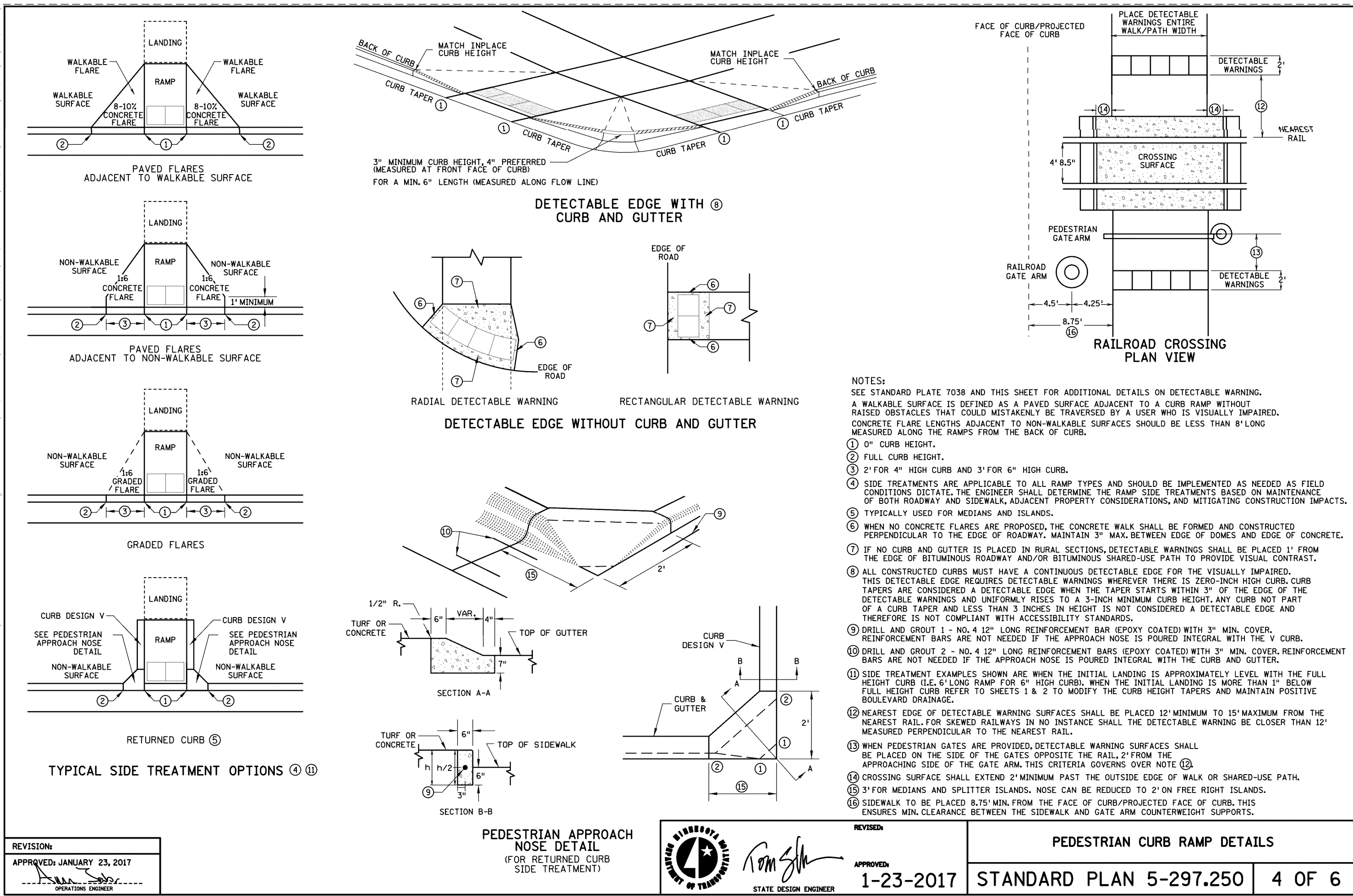
AFRIQUE DEVELOPMENT - PHASE 2

1701 AMERICAN BLVD EAST
BLOOMINGTON MN 55420

21007 01

G003

© 292 Design Group (2022)



DETAILS ISSUED FOR REFERENCE ONLY
REFER TO CURRENT STANDARD PLATES
FROM THE CITY OF BLOOMINGTON AND
MNDOT FOR CONSTRUCTION

SPACE INVENTORY

PHASE 1 RENOVATION				
ROOM NO.	ROOM NAME	AREA/SF	OCCUPANCY	OCC. LOAD
100	EXIT VESTIBULE	92	A-2	
101	PRIVATE DINING	428	A-2	24
102	PLAY SPACE	1,051	A-2	23
103	FAMILY DINING	616	A-2	36
104	TOILET	47	A-2	
105	TOILET	89	A-2	
106	ENTRY VESTIBULE	92	A-2	
200	MAIN ENTRY VESTIBULE	335	A-2	
201	RESTAURANT	1,681	A-2	66
202	SERVICE AREA	144	A-2	9
203	SERVING	165	A-2	1
204	LOBBY	1,274	A-2	
205	CAFE	767	A-2	24
206	CAFE SERVICE	100	A-2	1
207	CAFE STORAGE	57	A-2	1
208	HALL E	922	A-2	
209	HALL W	38	A-2	
210	TOILET (ADA)	56	A-2	
211	NOT USED			
212	JANITOR	100	A-2	1
213	FOOD STORAGE	135	A-2	1
214	WALK-IN COOLER	161	A-2	1
215	WALK-IN FREEZER	70	A-2	1
216	KITCHEN	800	A-2	5
217	DISH ROOM	160	A-2	1
218	OFFICE	75	B	1
219	VESTIBULE	756	B	
220	WOMEN	233	A-2	
221	MEN	218	A-2	
223	TRASH ROOM	132	B	
224	OFFICE LOBBY	1024	B	7
225	OFFICE 1	134	B	1
226	OFFICE 2	124	B	1
227	OFFICE 3	134	B	1
228	OFFICE 4	124	B	1
229	OFFICE 5	134	B	1
230	OFFICE 6	124	B	1
231	OFFICE 7	209	B	2
232	OFFICE 8	124	B	1
233	MEETING 1	301	B	14
234	MEETING 2	244	B	10
235	OFFICE 9	300	B	2
NET SQUARE FOOTAGE		13,341		
GROSS SQUARE FOOTAGE		15,987		
TOTAL OCCUPANT LOAD			B	43
TOTAL OCCUPANT LOAD			A-2	195

SPACE INVENTORY

PHASE 2 RENOVATION				
ROOM NO.	ROOM NAME	AREA/SF	OCCUPANCY	OCC. LOAD
222	STORAGE	1,072	S	4
300A	MULTI-PURPOSE A	1,353	A-2	24
300B	MULTI-PURPOSE B	1,842	A-2	23
300C	MULTI-PURPOSE C	1,254	A-2	36
403	OFFICE	150	B	1
404	OFFICE	120	B	1
405	MEN'S	132	ACCESS.	-
406	OFFICE	124	B	1
407	WOMEN'S	146	ACCESS.	-
408	OFFICE	124	B	1
409	HALL	434	CIRC.	-
410	MULTI-PURPOSE	480	B	32
411	MULTI-PURPOSE	835	A-2	56
NET SQUARE FOOTAGE		8,066		
GROSS SQUARE FOOTAGE		9,679		
TOTAL OCCUPANT LOAD			B	36
TOTAL OCCUPANT LOAD			A-2	139
			S	4

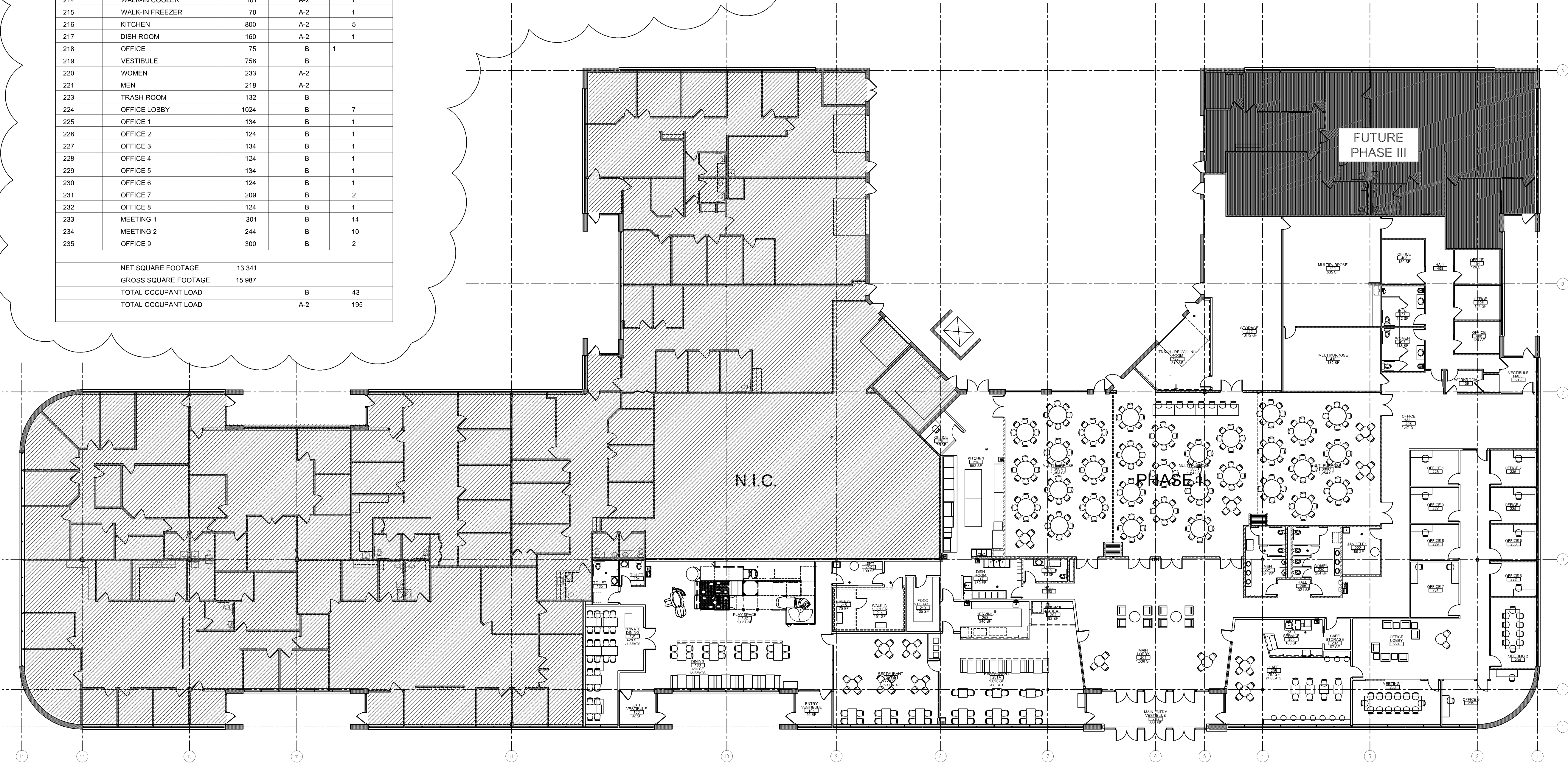
CASE #PL2021-256

FLOOR PLAN - GENERAL NOTES

- A. DO NOT SCALE DRAWINGS
- B. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS
- C. SEE SHEET A600 FOR WINDOWS AND DOORS AND WALL SCHEDULES AND TYPES.
- D. LOCATE ALL DOORS 4" FROM INSIDE CORNERS (U.N.O.).
- E. FIRE EXTINGUISHERS TO BE LOCATED A MAXIMUM OF 75'-0" DISTANCE OF TRAVEL. VERIFY FIRE EXTINGUISHER LOCATIONS W/ LOCAL FIRE OFFICIAL PRIOR TO INSTALLATION.
- F. PROVIDE BLOCKING AS REQUIRED IN PARTITIONS FOR ANCHORAGE OF MILLWORK & ACCESSORIES.

SYMBOLS LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, COMPONENTS, ETC. TO BE REMOVED
- NEW WALL CONSTRUCTION
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR
- AREA NOT IN CONTRACT
- AREA NOT IN CONTRACT - FUTURE WORK AREA



I hereby certify this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Minnesota

Pamela Bakken Anderson

Date: 06/08/2022 Reg. No: 21241

06.08.22 06.27.22

ISSUE DATE: REVISIONS:

THIS IS A COMBINED OVERALL PLAN OF PHASE 1 AND PHASE 2 PROJECTS. ISSUED FOR REFERENCE ONLY

AFRIQUE DEVELOPMENT - PHASE 2 AND PHASE 1 COMBINED

1701 AMERICAN BLVD EAST BLOOMINGTON MN 55420

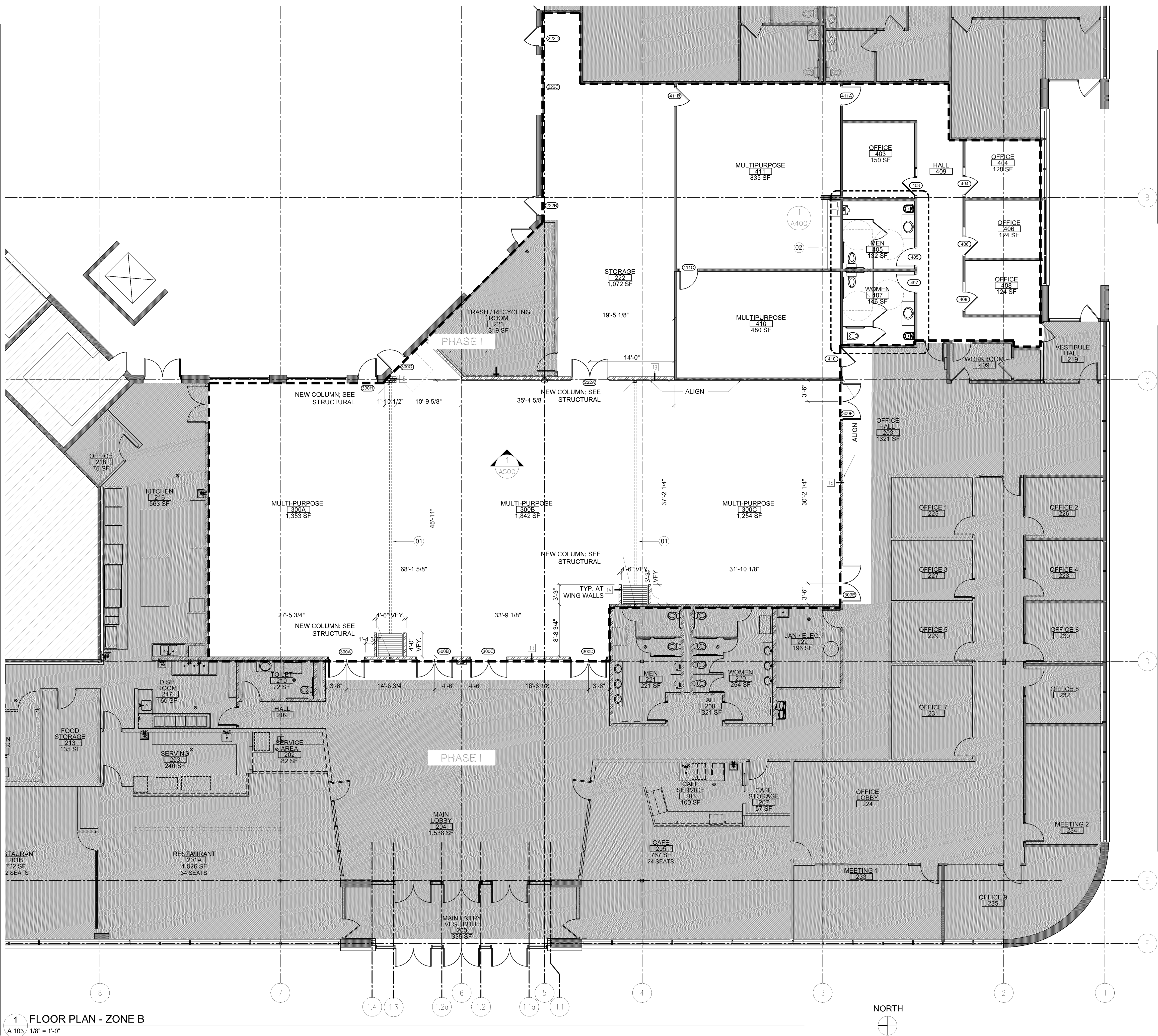
OVERALL FLOOR PLAN

21007.01

A101

© 292 Design Group (2022)

APPROVED Zoning Review Only 02/07/2023 NMJ



CASE #PL2021-256

WALL TYPE LEGEND			
1A	4-7/8"		3 5/8" STUD - TO STRUCTURE
1B	7-1/4"		6" STUD - TO STRUCTURE

SYMBOLS	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS, COMPONENTS, ETC. TO BE REMOVED
	NEW WALL CONSTRUCTION
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	NEW DOOR
	AREA NOT IN CONTRACT

FLOOR PLAN - GENERAL NOTES	
A.	DO NOT SCALE DRAWINGS
B.	FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS
C.	ALL NEW WALLS TO BE TYPE 1A UNLESS NOTED OTHERWISE
D.	SEE SHEET A400 FOR ADA MOUNTING HEIGHTS
E.	PROVIDE BLOCKING IN WALLS AS NEEDED FOR MILLWORK AND EQUIPMENT
F.	LOCATE ALL NEW DOORS 4" FROM INSIDE CORNERS UNLESS NOTED OTHERWISE.
G.	PROVIDE SEALANT BETWEEN ALL DISSIMILAR MATERIALS INCLUDING PERIMETERS OF DOORS.
H.	REFER TO FINISH PLAN A900 FOR FINISH TRANSITION LOCATIONS AND FLOOR FINISH TYPES

FLOOR PLAN - KEY NOTES	
01	FOLDING ACOUSTICAL PARTITION. SEE STRUCTURAL FOR MORE INFORMATION. CONFIRM POCKET REQUIREMENTS W/ MFR.
02	EXISTING SINK AND MILLWORK TO REMAIN.

APPROVED
Zoning Review Only
02/07/2023 NMJ

292Design

I hereby certify this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of
Minnesota
Pamela Bakken Anderson
Date: 03/14/2022 Reg. No: 21241

03.14.22

ISSUE DATE:
REVISIONS:

AFRIQUE DEVELOPMENT - PHASE 2

1701 AMERICAN BLVD EAST
BLOOMINGTON MN 55420

FLOOR PLAN ZONE B

21007.01

A103

© 292 Design Group (2022)

1 FLOOR PLAN - ZONE B
A 103 1/8" = 1'-0"