

03335B-00

ZONING AND CODE REVIEW

SITE ADDRESS: 8435 LYNDALE AVE. G.O.
 ZONING: I-3 INDUSTRIAL
 SITE AREA: 77,44 SF
 TYPE OF CONSTRUCTION: II-N
 BUILDING AREA:
 EXISTING: 17,240 SF
 NEW ADDITION: 15,192 SF
 TOTAL AREA: 32,432 SF
 SPRINKLED: YES
 USE GROUP: F-2
 ALLOWABLE FLOOR AREA: (WITH SPRINKLER INCREASE)
 18,000 SQ. FT. X 3 = 54,000 SQ. FT.
 PARKING/OCCUPANCY AREAS:
 (BASED ON GROSS FLOOR AREA)
 OFFICE: 175 SF/ 200 SF PER SPACE = 3 SPACES (3 EMPLOYEES)
 MANUFACTURING: 3,151 SF/ 800 SF PER SPACE = 40 SPACES (3 EMPLOYEES)
 TOTAL BUILDING SIZE: 32,432 SF, 100'-0" X 340'-0" - (15'-0" X 28'-0")
 PARKING REQUIRED: 43 SPACES (34 EMPLOYEES)
 PARKING PROVIDED: 43 SPACES
 EMPLOYEE SHIFTS:
 7:00 AM - 3:30 PM 18 PRODUCTION + 3 OFFICE
 3:30 PM - 12:00 AM 4 PRODUCTION
 12:00AM - 8:30 PM 4 MAINTENANCE
 SETBACKS: SEE CITY CODE 14.41C
 FRONT: 35'-0"
 SIDE: 10'-0"
 REAR: 25'-0"
 PROPOSED EAST ELEVATION SETBACKS:
 FRONT: 17.8' FROM PLANNED RIGHT-OF-WAY
 SIDE: 12'-0' AT CLOSEST POINT
 PROPOSED WEST ELEVATION SETBACK:
 FRONT: 22'-0"
 SIDE: 11.7' AT CLOSEST POINT
 PARKING SCREENING (SCREENING: SEE CITY CODE 14.52
 20'-0" YARD AT ALL STREETS AS MEASURED FROM RIGHT OF WAY
 3'-0" SOLID SCREENING FOR OFF-STREET PARKING
 SCREENING OF ROOF MOUNTED EQUIPMENT: SEE CITY CODE 14.52.01
 PARKING FACILITY (EXT. SECURITY: SEE CITY CODE 14.54
 PARKING LOT MIN. 2 FOOT-CANDLES
 GROSS PARKING AREA:
 21,519 SF
 INTERIOR GREEN SPACE REQUIREMENTS:
 21,529 SF X 3% = 621 SF MIN. GREEN SPACE REQUIRED
 ENTRY ISLAND: 135 SF
 ISLAND: 4X 5' X 27" = 540 SF
 GREEN NEAR
 HARRIET AVE. 360 SF
 TOTAL INT. GREEN SPACE: 1035 SF) 827 SF MIN.

LANDSCAPE NOTES:

- DECIDUOUS TREE: ○ DECIDUOUS SHRUB
- ☼ CONIFEROUS OR EVERGREEN TREE ☼ EVERGREEN SHRUB
-  SYMBOL
-  QUANTITY
1. SEED MIX "A" SHALL BE ALL PURPOSE GRASS SEED MIXTURE SUPPLIED BY PETERSON SEED CO.
FORMULA
35% KENTUCKY 31 TALL FESCUE
15% SP 3000 HARD FESCUE
20% ANNUAL RyEGRASS
20% KENTUCKY BLUEGRASS
SEED MIX "B" SHALL BE MNDOT MIX #50A (LET MIX)
- SEED MIX "A" 1" B" AT RATE: 5 LBS/1000 S.F. (OR 225 LBS/ACRE)
DESIGN INTENT IS TO LEAVE NO EXPOSED DIRT AREAS WITHIN THE PROPERTY LINES AREAS NOT PAVED, SODDED OR PLANTED SHALL BE SEEDS
2. PROVIDE CLEAN STRAW FREE OF WEED SEEDS FOR MULCH OVER THE SEEDS AREAS
3. SHRUB BEDS TO HAVE "TYPAR" WEED FABRIC WITH 4" DEEP SHREDDED HARDWOOD MULCH. SHRUB BEDS AT BUILDING TO HAVE 18" DEEP OF PULVERIZED TOPSOIL IMPROVED.
4. CURBED LANDS TO HAVE "TYPAR" WEED FABRIC WITH 4" DEEP SHREDDED HARDWOOD MULCH. SHRUB BEDS AT BUILDING TO HAVE 18" DEEP OF PULVERIZED TOPSOIL IMPROVED.
5. REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION
6. SOD ALL OTHER AREAS THAT ARE DISTURBED DURING CONSTRUCTION.
7. SOD FIBER BLANKET TO BE PROVIDED AT ALL SEEDS AREAS ON ANY SLOPE 3% OR GREATER
8. SEE NOTES ON DRAWING FOR ISLAND PLANTINGS.

GENERAL NOTES:

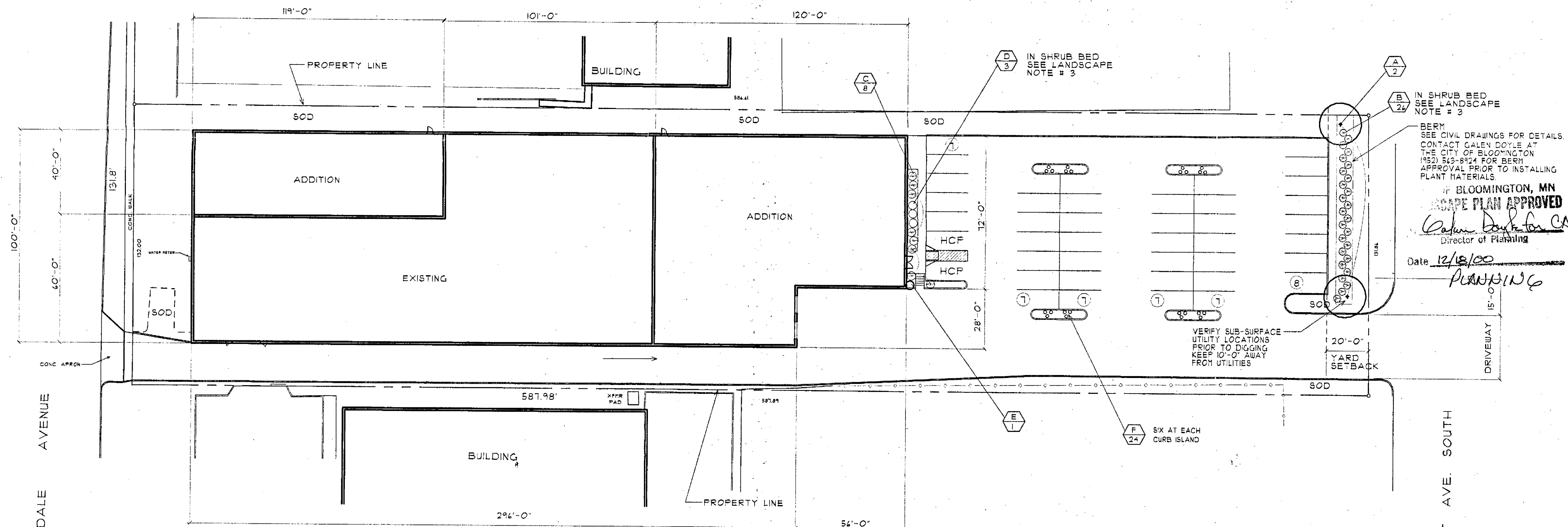
1. UNDERGROUND UTILITIES TO BE LOCATED PRIOR TO ANY EXCAVATION, BY THE EXCAVATING CONTRACTOR
2. EXCAVATING CONTRACTOR TO DO LOT STAKING AS REQUIRED.
3. SEE SOILS REPORT/SPEC FOR COMPLETION REQUIREMENTS.
4. WASTE DIRT NOT USED TO BE REMOVED FROM SITE.
5. EXCAVATING CONTRACTOR TO STRIP TOPSOIL & FILL FROM AREA OF PROPOSED EXPANSION AND BITUMINOUS SURFACED AREA. FILL TO BE GRANULAR, IMPORTED, & COMPACTED PER SPEC.
6. SEE CIV. ENGINEERING PLANS FOR FURTHER INFORMATION SUCH AS SITE DRAINAGE, CURBING, DEMOLITION ETC.
7. SEE LIGHTING PLAN FOR SITE LIGHTING INFORMATION.

PLANT MATERIAL LEGEND

[illegible]

SHEET INDEX

- | | |
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| LA | LANDSCAPE PLAN AND TITLE SHEET |
| CI | EXISTING TOPOGRAPHIC SURVEY |
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| C3 | CIVIL DETAILS |
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| A2 | ENLARGED FLOOR PLAN: ALTERATIONS |
| A3 | ENLARGED FLOOR PLAN: ALTERATIONS |
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| S2 | ROOF FRAMING PLAN |
| S3 | STRUCTURAL DETAILS |
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LANDSCAPE PLAN

SCALE: 1"=30'-0"



NORTH

I hereby certify that the plan, specification,
or report was prepared by me or under my
direct supervision and that I am duly
registered Architect under the laws of the
state of Minnesota

TODD L. SEDELL
ARCHITECT

COMMERCIAL	RESIDENTIAL	INDUSTRIAL
2029 GORNIK AVE. #203 GAYLORD, MI 49735		PHONE (517) 731-0372 FAX (517) 731-6932

PROJECT
HITCHCOCK INDUSTRIES: BLOOMINGTON, MN

APPRO DEVELOPMENT, INC.

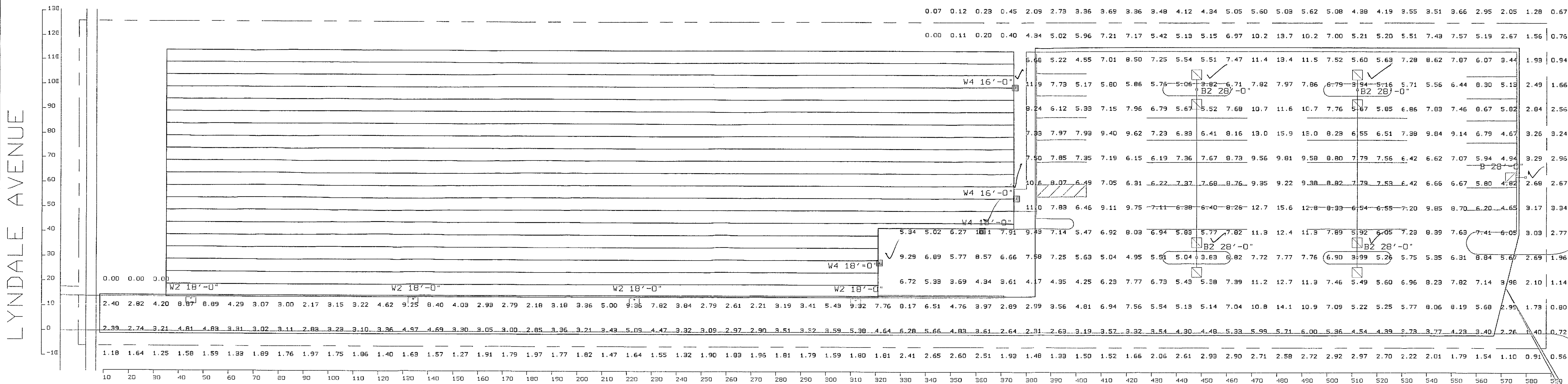
1535 CEDAR AVE. LAKEVILLE, MN 55044

SHEET

Approved ^{HARR} Plan

3335 B 00

03335B-00



LUMINAIRE : W2
KIM LTC WD18D2/250HPS120/DB-P (TYPE II-WALL)
CAD SYMBOL : WALLP.SYM
CAD SYMBOL SIZE : 4
FILENAME : C:\PHOTO\KIM\WD\W2-250S.IES
LUMENS = 30000
LLF = .8
SPIN = 0
KIM LIGHTING
WD18*2/250HPS***
250 WATT HPS CLEAR
ITL35077
TILT=NONE
LAMPS = 1 LUMENS/LAMP = 30000 PHOTOMETRIC TYPE = 1 WATTS = 250
LUMINOUS DIMENSIONS (FEET) : WIDTH = 1.25 LENGTH = 1.25 HEIGHT = 0
FACTORS : MULTIPLIER = 1 BALLAST = 1 BALLAST-LAMP = 1
NUMBER OF VERTICAL ANGLES = 38 0 TO 90 DEGREES
NUMBER OF HORIZONTAL ANGLES = 22 0 TO 180 DEGREES

LUMINAIRE : W4
KIM LTC WD18D4/250HPS120/DB-P (TYPE IV-WALL)
CAD SYMBOL : SBOX.SYM
CAD SYMBOL SIZE : 4
FILENAME : C:\PHOTO\KIM\WD\W4-250S.IES
LUMENS = 30000
LLF = .8
SPIN = 0
KIM LIGHTING
WD18*4/250HPS***
250 WATT HPS CLEAR
ITL35920
TILT=NONE
LAMPS = 1 LUMENS/LAMP = 30000 PHOTOMETRIC TYPE = 1 WATTS = 250
LUMINOUS DIMENSIONS (FEET) : WIDTH = 1.25 LENGTH = 1.25 HEIGHT = 0
FACTORS : MULTIPLIER = 1 BALLAST = 1 BALLAST-LAMP = 1
NUMBER OF VERTICAL ANGLES = 38 0 TO 90 DEGREES
NUMBER OF HORIZONTAL ANGLES = 21 0 TO 180 DEGREES

LUMINAIRE : B
SPAULDING PFIXL-PH-S400-III-FG-MT-DBZ (SINGL.)
CAD SYMBOL : RDZ.SYM
CAD SYMBOL SIZE : 4
FILENAME : C:\PHOTO\SPAULD\N4693.IES
LUMENS = 50000
LLF = .8
SPIN = 0
ORS/PFI-S400-III-FG
4693
LAMP=400
TILT=NONE
LAMPS = 1 LUMENS/LAMP = 50000 PHOTOMETRIC TYPE = 1 WATTS = 464
LUMINOUS DIMENSIONS (FEET) : WIDTH = 2 LENGTH = 2 HEIGHT = 1
FACTORS : MULTIPLIER = 10 BALLAST = 1 BALLAST-LAMP = 1
NUMBER OF VERTICAL ANGLES = 21 0 TO 90 DEGREES
NUMBER OF HORIZONTAL ANGLES = 22 0 TO 180 DEGREES

LUMINAIRE : B2
SPAULDING PFIXL-PH-S400-III-FG-MT-DBZ (TWIN)
>>> THIS LUMINAIRE IS A GROUP <<<
GROUP IS COMPOSED OF THE FOLLOWING:

LABEL : B
LOCATION RELATIVE TO GROUP LOCATION:
X = 0 Y = 0 Z = 0
ORIENTATION = 0
TILT = 0

LABEL : B
LOCATION RELATIVE TO GROUP LOCATION:
X = 0 Y = 0 Z = 0
ORIENTATION = 180
TILT = 0

LUMINAIRE LOCATION SUMMARY
COORDINATES IN FEET

NO.	LUMINAIRE LABEL	X-COORD	Y-COORD	Z-COORD	ORIENT	TILT	AIMING X	COORDINATES Y	Z
1	B	579.5	63	28	180	0	579.5	63	0
2	B2	448	98.5	28	90	0	448	98.5	0
3	B2	512	98.5	28	90	0	512	98.5	0
4	B2	448	30.5	28	90	0	448	30.5	0
5	B2	512	30.5	28	90	0	512	30.5	0
6	W2	45	13.5	18	270	0	45	13.5	0
7	W2	134	13.5	18	270	0	134	13.5	0
8	W2	223	13.5	18	270	0	223	13.5	0
9	W2	312	13.5	18	270	0	312	13.5	0
10	W4	375.5	99	16	0	0	375.5	99	0
11	W4	376	54	16	0	0	376	54	0
12	W4	362.5	41	18	270	0	362.5	41	0
13	W4	321.5	28	18	0	0	321.5	28	0

W2: TOTAL NUMBER OF LOCATIONS = 4

W4: TOTAL NUMBER OF LOCATIONS = 4

B: TOTAL NUMBER OF LOCATIONS = 1

B2: TOTAL NUMBER OF LOCATIONS = 4

AVERAGE TILTED LAMP CORRECTION FACTOR APPLIED = 1

PLANE : SITE

POINT SPACING LEFT-TO-RIGHT = 10 ft
POINT SPACING TOP-TO-BOTTOM = 10 ft
LOWER LEFTHAND CORNER OF PLANE:
X = 10 Y = -10 Z = 0
UPPER RIGHTHAND CORNER OF PLANE:
X = 590 Y = 130 Z = 0
LIGHT METER IS NORMAL TO PLANE

AVERAGE fc = 5.33
MAXIMUM fc = 15.9
MINIMUM fc = 0
AVERAGE/MINIMUM = 0
MAXIMUM/MINIMUM = 0
TOTAL NUMBER OF POINTS = 467

STATISTICAL AREA : PKG./DRIVE

AVERAGE fc = 6.37
MAXIMUM fc = 15.9
MINIMUM fc = 2.17
AVERAGE/MINIMUM = 2.94
MAXIMUM/MINIMUM = 7.33
TOTAL NUMBER OF POINTS = 302

Lighting Plan Approved
Final Site Inspection Required

Date 2-26-01

Approved by [Signature]

Routed to Files

OBSTRUCTIVE SHAPE : BLDG.

HEIGHT = 30
TRANSMITTANCE = 0
REFERENCE POINT:
X = 35 Y = 14 Z = 0

SCALE: 1" = 20' - 0"

Luma Sales Associates
Lighting and Controls
5000 12th Avenue East
Shakopee, Minnesota 55379
TEL: (952) 995-6500
FAX: (952) 995-6503

1/25/2001

HITCHCOCK INDUSTRIES
BLOOMINGTON, MINNESOTA

NO.	DESCRIPTION	QTY	MAKE	REMARKS	DATE	BY
W2	(1) 400W H.P.S.	4	AS NOTED	KIM LTC WD18D2/250HPS120/DB-P (TYPE II-WALL)		
W4	(1) 400W H.P.S.	4	AS NOTED	KIM LTC WD18D4/250HPS120/DB-P (TYPE IV-WALL)		
B	(1) 400W H.P.S.	1	AS NOTED	SPAULDING PFIXL-PH-S400-III-FG-MT-DBZ (SINGL.)		
B2	(2) 400W H.P.S.	4	AS NOTED	SPAULDING PFIXL-PH-S400-III-FG-MT-DBZ (TWIN)		

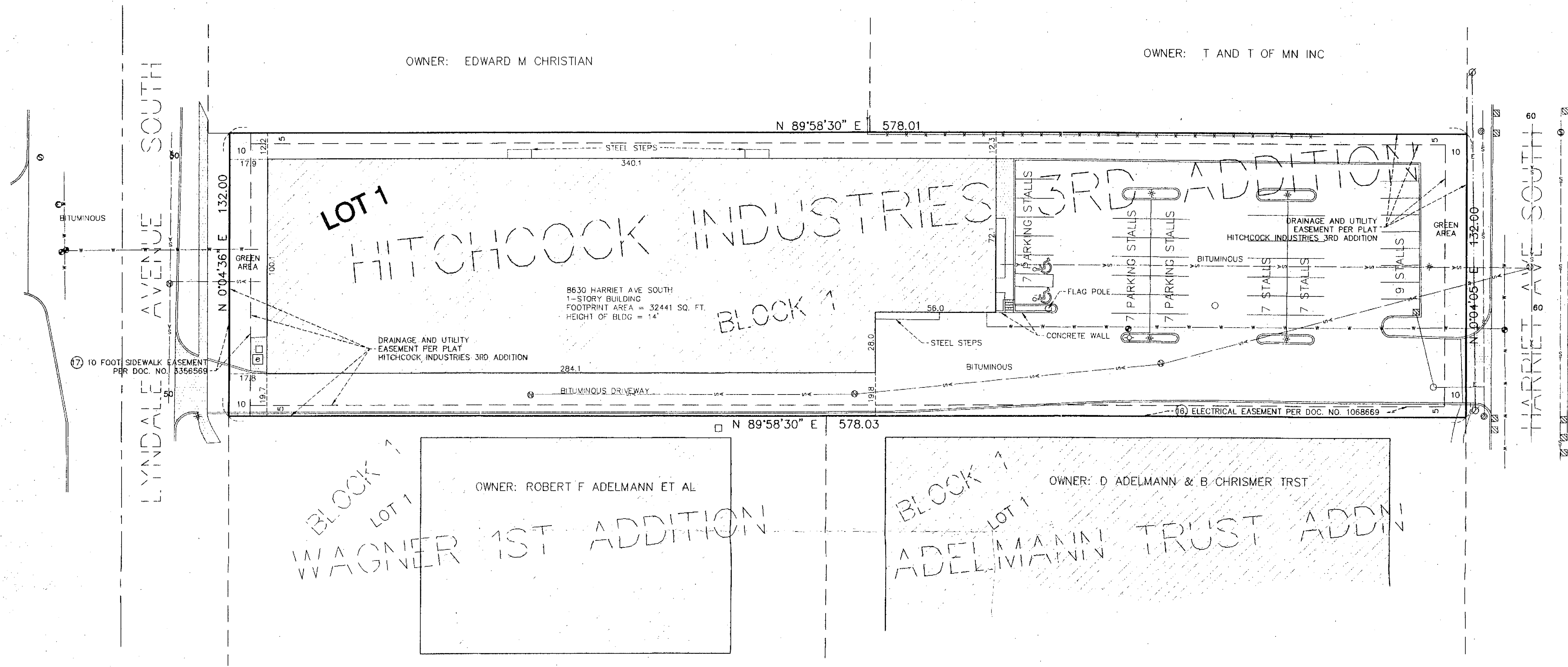
C:\PROJECTS\PROJECTS\HITCHCOCK3.AGI

Approved Plan

03335B-00

OWNER: EDWARD M CHRISTIAN

OWNER: T AND T OF MN INC



LEGAL DESCRIPTION

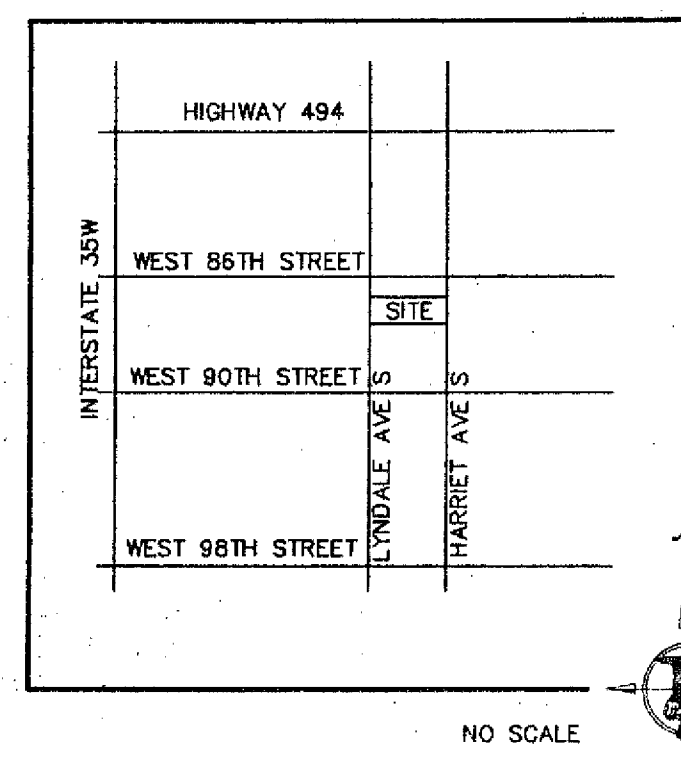
Lot 1, Block 1, HITCHCOCK INDUSTRIES 3RD ADDITION, Hennepin County, Minnesota.

Note: This legal description has been taken from First American Title Insurance Company Commitment Number NCS-148877-MPLS dated January 25, 2005.

GENERAL NOTES:

- The bearing system used is based on the plat of Hitchcock Industries 3rd Addition.
- The location of the underground utilities shown hereon, if any, are approximate only. PURSUANT TO MSA 216D CONTACT GOPHER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.
- Subject property is identified as being in "Zone C, Area of Minimal Flooding" on Flood Insurance Rate Map, Community-Panel No. 275230 003B, effective date September 16, 1981.
- Zoning = Presently I-3 (General Industrial) per City of Bloomington.
- Setback requirements per City of Bloomington.
Front = 35 feet
Side = 10 feet
- Site area = 76,299 square feet = 1.75 acres.
- There are a total of 44 striped parking stalls on said property, of which there are 2 designated as handicap.
- All field measurements matched recorded dimensions within the precision requirements of ALTA/ACSM specifications.
- This survey was made on the ground and in accordance with the Minimum Standard Detail Requirements for Land Title Surveys as adopted by ALTA and ACSM.

VICINITY MAP



NOTES CORRESPONDING TO SCHEDULE B:

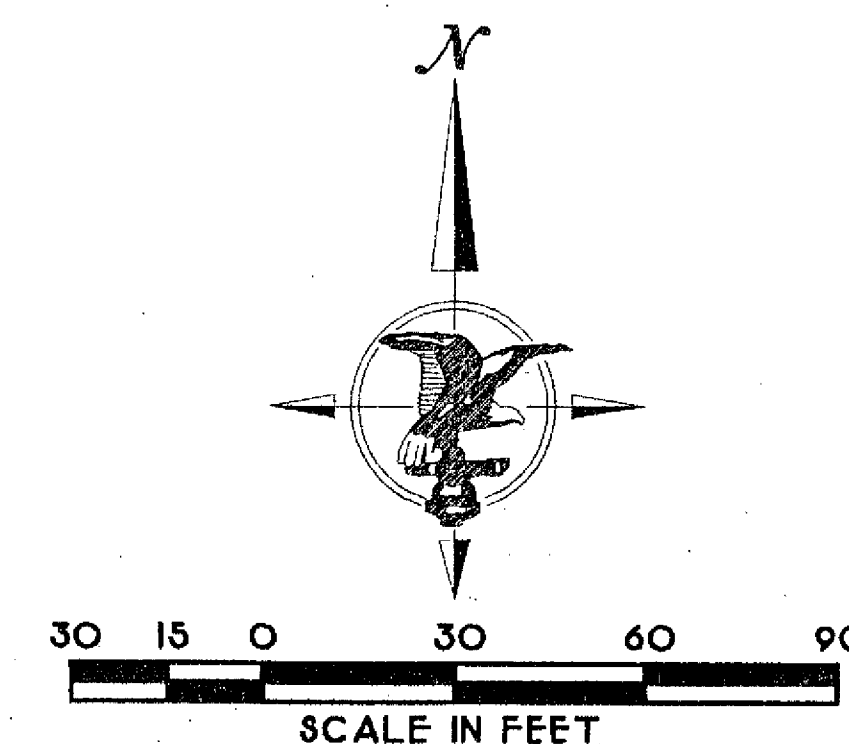
- Easements for drainage and utility purposes as shown on the recorded plat Hitchcock Industries 3rd Addition.
- Easement for electrical purposes in favor of Northern States Power Company, a Minnesota corporation as contained in the Underground Easement dated April 26, 1973, recorded April 30, 1973, as Document No. 1068669.
- Easement for sidewalk purposes in favor of City of Bloomington as contained in the Easement dated January 19, 2001, recorded February 2, 2001, as Document No. 3356569.

STATEMENT OF POTENTIAL ENCROACHMENTS:

No visible above ground encroachments at the time of survey.

LEGEND

	Property Monument
	Concrete
	Concrete Curb
	Water
	Gas
	Fence
	Overhead Electric
	Sanitary Sewer
	Storm Sewer
	Setback Line
	Underground Electric
	Electric Meter
	Electric Box
	Hydrant
	Power Pole
	Gate Valve
	Catchbasin
	Catchbasin
	Light Pole
	Gas Meter
	Sanitary Manhole



SURVEY PERFORMED BY:

HARRY S. JOHNSON CO., INC.
 LAND SURVEYORS & CONSULTANTS
 9063 Lyndale Avenue South
 Bloomington, Mn. 55420
 (952) 884-5341
 (952) 884-5344 Fax
 Email: tom@hsjsurveyors.com
 Web: www.hsjsurveyors.com

LAND TITLE SURVEY
 ALTA/ACSM
 for:
OPPENHEIMER WOLF & DONNELLY LLP
 SITE: 8630 HARRIET AVE SOUTH
 BLOOMINGTON, MINNESOTA

CERTIFICATION

I hereby certify to Watkins Pattern Company Inc., a Minnesota Corporation, Wells Fargo Business Credit, Inc. and First American Title Insurance Company, and to their heirs, successors and assigns, that I have surveyed, on the ground, the property legally described hereon; that this plat-of survey is a true, correct and accurate drawing and representation of said property.

see LEGAL DESCRIPTION

and the boundaries thereof, that this plat of survey and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," as jointly established and adopted by ALTA and ACSM in 1999, and includes Items 1, 2, 3, 4, 6, 7a, 7b, 8, 9, 10, 11 and 13 of Table A thereof, and meet the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey, as defined therein (and, in addition, that all utility lines (from each building to their points of connection with the public system) are shown and accurately shown); and that in locating or identifying recorded easements, I have relied upon Commitment for Title Insurance Number NCS-148877-MPLS, dated January 25, 2005, having file number NCS-148877-MPLS.

Dated: March 25, 2005
 Thomas H. Johnson, L.S.
 Minn. Reg.

PRINTED
 MAR 29 2005

HARRY S. JOHNSON CO., INC.

Revision History: 1/28/2005 add utility info.	Sheet No. 1 OF 1	Book 588	Page 79
File No. 1-3-6864	Job Number 2005164	CAD Technician JRK	

HARRY S. JOHNSON CO., INC.
 LAND SURVEYORS & CONSULTANTS
 BLOOMINGTON, MINNESOTA
 PHONE: 952-884-5341 FAX: 952-884-5344