

LUTHER BLOOMINGTON HYUNDAI



LUTHER BLOOMINGTON HYUNDAI
Bloomington, MN

Issue: HYUNDAI 75% SUBMITTAL 29 JULY 2022

CODE ANALYSIS

| <p>Proposed: Construct a new 1 story building for sales and service of new and pre-owned automobiles.</p> <p>Applicable Codes: 2020 Minnesota Building Code (MBC) Minnesota Rule 1305 (referenced below unless otherwise noted) 2020 Minnesota Accessibility Code (MAC) Minnesota Rule 1341 2020 Minnesota Fire Code</p> <p>Minnesota Provisions: 1303, 1509 - Recycling Space</p> <p>MIXED-USE SEPARATED OCCUPANCIES: S-1-B Occupancy</p> <p>Occupancy Groups: Showroom / Office: B New Vehicle Delivery: B Service Drive: S-1 Rear Garage: S-1 Parts / Storage: S-1</p> <p>Construction Type: Type III</p> <p>Fire Resistance - Rated Construction</p> <p>Building Elements</p> <p>Structural Frame: 01H Exterior Bearing Walls: 01H Interior Bearing Walls: 01H (L, S) Exterior Non-Bearing: 01H (L, S) Non-Bearing Interior Walls: 01H Floor Construction: 01H Roof Construction: 01H</p> <p>Exterior Wall Opening Protection Fire Separation Distance From Property Line (FSD): 0-300'-0" Unlimited</p> <p>Interior and Exterior Fire Separation Fire Walls: None Fire Barriers (707): None Fire Partitions (708): None Mechanical Shafts: 712.1.1.11 vertical openings permitted</p> <p>Corridor Fire-Resistance Rating: B: 0 hours (unlimited) S-1: 0 hours (unlimited)</p> <p>Allowable Building Elements</p> <table border="0"> <tr> <th>Overhead Door min clear height (Table 109.2.1)</th> <th>Required</th> <th>Provided</th> </tr> <tr> <td>Balking Height above grade plane (Table 504.3)</td> <td>7'-0"</td> <td>8'-0"</td> </tr> <tr> <td>Balking Clearance above grade plane (Table 504.3)</td> <td>7'-0" (1' max. reduction)</td> <td>7'-0"</td> </tr> <tr> <td>Aluminum Area (Table 109.2.3)</td> <td>70,000 SF (5-1' steel meshing)</td> <td>22,074 SF</td> </tr> <tr> <td>Overhead Height (1015.2)</td> <td>4'-7" min</td> <td>4'-7" min</td> </tr> </table> <p>Maze of Egress</p> <table border="0"> <tr> <th>Fire Access Travel Distance (FATD) (Table 1017.2)</th> <th>Required</th> <th>Provided</th> </tr> <tr> <td>Continuous Path of Egress Travel Distance (CPED) (Table 1017.2)</td> <td>See Code Plan</td> <td>See Code Plan</td> </tr> <tr> <td>Exit Door</td> <td>30' min</td> <td>30' min</td> </tr> <tr> <td>Corridor Height</td> <td>10'</td> <td>10'</td> </tr> <tr> <td>Corridor Width</td> <td>4'</td> <td>6'</td> </tr> <tr> <td>Dead End Corridor</td> <td>50'-0" Max</td> <td>None</td> </tr> <tr> <td>Stairway</td> <td>80' Min</td> <td>None</td> </tr> <tr> <td>Head Height</td> <td>4'-7" min</td> <td>4'-7" min</td> </tr> </table> <p>Permanent barriers provided for access to lower levels per Section 1011.16</p> <p>Egress Through Intervening Spaces: Allowed: Sec. 1016.2 paragraph 2</p> <p>Roof And Interior Finish Requirements Interior Finishes: Table 803.13</p> | Overhead Door min clear height (Table 109.2.1) | Required | Provided | Balking Height above grade plane (Table 504.3) | 7'-0" | 8'-0" | Balking Clearance above grade plane (Table 504.3) | 7'-0" (1' max. reduction) | 7'-0" | Aluminum Area (Table 109.2.3) | 70,000 SF (5-1' steel meshing) | 22,074 SF | Overhead Height (1015.2) | 4'-7" min | 4'-7" min | Fire Access Travel Distance (FATD) (Table 1017.2) | Required | Provided | Continuous Path of Egress Travel Distance (CPED) (Table 1017.2) | See Code Plan | See Code Plan | Exit Door | 30' min | 30' min | Corridor Height | 10' | 10' | Corridor Width | 4' | 6' | Dead End Corridor | 50'-0" Max | None | Stairway | 80' Min | None | Head Height | 4'-7" min | 4'-7" min | <p>S-1 (Separated): Stairways, Ramps, Passageways: Type C Corridors, Exit Access Stairways, Exit Access Ramps, Rooms, Enclosed Spaces: Type C</p> <p>S-1 (Separated): Stairways, Ramps, Passageways: Type C Corridors, Exit Access Stairways, Exit Access Ramps, Rooms, Enclosed Spaces: Type C</p> <p>Minimum Roof Covering Classification (Table 1005.1): Class: C</p> <p>Rear Garage: 4,350 SF Automatic garage doors to be UL 325 listed Constructed in accordance with IBC and Section 405.2 and 405.3 No fuel dispensing facilities on site (Section 405.7) Building to be mechanically ventilated per Section 406.6.1 Floor to be sealed concrete finish, and gridded to drain</p> <p>Electric Vehicle charging system to be installed per NFPA 70E and labeled in accordance with UL 2252 Access to roof tops per Section 1015.7 and Minnesota Rule 1346</p> <p>Occupant Load Maximum Floor Area Allowances Per Occupant: Table 1004.4</p> <p>Group B: 13,836 SF / 150 SF per Occupant = 92 Occupants Group S-1: 35,963 SF / 360 SF per Occupant = 119 Occupants Group S-1 (Mezz): 2,756 SF / 300 SF per Occupant = 9 Occupants</p> <p>Total Occupant Load: 220 Occupants</p> <p>Spaces with One Exit or Exit Access Doorway: Group B: maximum occupant load of space: 49 occupants Conference (115, 202 SF / 150 SF Assembly without fixed seats) = 18 Occupants</p> <p>Minimum Number of Exits or Exits to Exits Per Story: Two (2): Table 1006.3.2</p> <p>Minimum Number of Required Plumbing Fixtures: Separate plumbing facilities provided for the following groups: Group B: 92 occupants (45 male, 46 female)</p> <table border="0"> <tr> <th>Water Closets</th> <th>Female</th> <th>Male</th> <th>Required</th> <th>Proposed</th> </tr> <tr> <td>Water Closets</td> <td>Female</td> <td>Male</td> <td>2</td> <td>3 (1 W/C, 2 Urinals)</td> </tr> <tr> <td>Lavatories</td> <td>Female</td> <td>Male</td> <td>2</td> <td>2</td> </tr> <tr> <td>Lavatories</td> <td>Female</td> <td>Male</td> <td>2</td> <td>2</td> </tr> <tr> <td>Drinking Fountain</td> <td>Male</td> <td>Female</td> <td>1</td> <td>2 (High Low meeting accessibility)</td> </tr> <tr> <td>Service Sink</td> <td>Male</td> <td>Female</td> <td>1</td> <td>1</td> </tr> </table> <p>Group S-1: 128 occupants (64 male, 64 female)</p> <table border="0"> <tr> <th>Water Closets</th> <th>Female</th> <th>Male</th> <th>Required</th> <th>Proposed</th> </tr> <tr> <td>Water Closets</td> <td>Female</td> <td>Male</td> <td>1</td> <td>4 (2 W/C, 2 Urinals)</td> </tr> <tr> <td>Lavatories</td> <td>Female</td> <td>Male</td> <td>1</td> <td>1</td> </tr> <tr> <td>Drinking Fountain</td> <td>Male</td> <td>Female</td> <td>1</td> <td>0 (Table 2902.1, 1, 1, 1, 1, 1)</td> </tr> <tr> <td>Service Sink</td> <td>Male</td> <td>Female</td> <td>1</td> <td>1</td> </tr> </table> <p>Accessibility: This project is designed in conformance with the 2020 Minnesota Accessibility Code. All new construction will meet the current accessibility requirements.</p> <p>Recycling Space: Required: 25,000 SF + 0.0025 = 58 SF Proposed: 1,851 SF Trash / Recycling Enclosure</p> <p>END OF CODE ANALYSIS</p> | Water Closets | Female | Male | Required | Proposed | Water Closets | Female | Male | 2 | 3 (1 W/C, 2 Urinals) | Lavatories | Female | Male | 2 | 2 | Lavatories | Female | Male | 2 | 2 | Drinking Fountain | Male | Female | 1 | 2 (High Low meeting accessibility) | Service Sink | Male | Female | 1 | 1 | Water Closets | Female | Male | Required | Proposed | Water Closets | Female | Male | 1 | 4 (2 W/C, 2 Urinals) | Lavatories | Female | Male | 1 | 1 | Drinking Fountain | Male | Female | 1 | 0 (Table 2902.1, 1, 1, 1, 1, 1) | Service Sink | Male | Female | 1 | 1 |
|--|--|---------------|----------|--|-------|-------|---|---------------------------|-------|-------------------------------|--------------------------------|-----------|--------------------------|-----------|-----------|---|----------|----------|---|---------------|---------------|-----------|---------|---------|-----------------|-----|-----|----------------|----|----|-------------------|------------|------|----------|---------|------|-------------|-----------|-----------|---|---------------|--------|------|----------|----------|---------------|--------|------|---|----------------------|------------|--------|------|---|---|------------|--------|------|---|---|-------------------|------|--------|---|------------------------------------|--------------|------|--------|---|---|---------------|--------|------|----------|----------|---------------|--------|------|---|----------------------|------------|--------|------|---|---|-------------------|------|--------|---|---------------------------------|--------------|------|--------|---|---|
| Overhead Door min clear height (Table 109.2.1) | Required | Provided | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Balking Height above grade plane (Table 504.3) | 7'-0" | 8'-0" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Balking Clearance above grade plane (Table 504.3) | 7'-0" (1' max. reduction) | 7'-0" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Aluminum Area (Table 109.2.3) | 70,000 SF (5-1' steel meshing) | 22,074 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Overhead Height (1015.2) | 4'-7" min | 4'-7" min | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Fire Access Travel Distance (FATD) (Table 1017.2) | Required | Provided | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Continuous Path of Egress Travel Distance (CPED) (Table 1017.2) | See Code Plan | See Code Plan | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Exit Door | 30' min | 30' min | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Corridor Height | 10' | 10' | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Corridor Width | 4' | 6' | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Dead End Corridor | 50'-0" Max | None | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Stairway | 80' Min | None | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Head Height | 4'-7" min | 4'-7" min | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Water Closets | Female | Male | Required | Proposed | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Water Closets | Female | Male | 2 | 3 (1 W/C, 2 Urinals) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Lavatories | Female | Male | 2 | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Lavatories | Female | Male | 2 | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Drinking Fountain | Male | Female | 1 | 2 (High Low meeting accessibility) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Service Sink | Male | Female | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Water Closets | Female | Male | Required | Proposed | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Water Closets | Female | Male | 1 | 4 (2 W/C, 2 Urinals) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Lavatories | Female | Male | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Drinking Fountain | Male | Female | 1 | 0 (Table 2902.1, 1, 1, 1, 1, 1) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Service Sink | Male | Female | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ALL STATE AND LOCAL BUILDING CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUISITION OF ALL REQUIRED PERMITS AND APPROVALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) PORTIONS OF THE PROJECT. THIS PROJECT IS CONTRACTOR-DESIGNED MEP.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT REGARDING ANY CONDITION REQUIRING MODIFICATION OR CHANGE TO THE WORK BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT REGARDING ANY CONFLICTS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESS, FOR TECHNIQUES OF ASSEMBLY, AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER.
- ARCHITECTURAL AND STRUCTURAL DRAWINGS ARE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A COMPLETE STRUCTURE. PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE EXECUTED ACCORDING TO STANDARD FIRST CLASS PRACTICE AND IN A MANNER SIMILAR TO AND IN THE SPIRIT OF DETAILS SHOWN ON THE DRAWINGS.
- ALL DIMENSIONS ARE TO NOMINAL SURFACE OF MASONRY, FACE OF WALL, OR TO GRID LINE, UNLESS NOTED OTHERWISE.
- PROVIDE CAULK OR SEALANT AT ALL MATERIAL TRANSITIONS AND CONSTRUCTION JOINTS. PROVIDE CAULK AT STATIONARY JOINTS AND PROVIDE SEALANT AT ALL JOINTS SUBJECT TO MOVEMENT.
- ALL WALL MOUNTED LIGHT FIXTURES AT EGRESS DOORS TO BE EQUIPPED WITH BATTERY BACKUP IN COMPLIANCE WITH SECTION 1008 OF THE 2020 MINNESOTA BUILDING CODE.
- REPAIR ALL DEMOLITION TO EXISTING CONSTRUCTION, RESTORE DAMAGED AREAS TO ORIGINAL CONDITION, AND MATCH EXISTING ADJACENT FINISHES.
- ALL WOOD SHEATHING SHALL BE FIRE RETARDANT TREATED.
- ALL FURNITURE, FIXTURE, AND EQUIPMENT (FFAE) SHALL BE PROVIDED BY THE OWNER UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL COORDINATE ALL FFAE REQUIREMENTS WITH THE OWNER. THE CONTRACTOR SHALL INCLUDE AN ALLOWANCE IN THE CONTRACT SLUM TO COVER THE COST OF THE FFAE REQUIREMENTS.
- GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL REVIEW ALL LIGHT SWITCHING WITH OWNER. OCCUPANCY SENSORS SHALL BE INSTALLED AS DIRECTED BY OWNER AND ACCORDING TO CODE. ALL ELECTRICAL CIRCUITS AND DEVICES SHALL COMPLY WITH CURRENT ELECTRICAL CODE REQUIREMENTS.
- GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR SHALL REVIEW LOCATIONS OF EXISTING THERMOSTATS AND UPDATE OR RELOCATE AS REQUIRED. VERIFY WITH ARCHITECT AND OWNER ON FINAL PRODUCT, LOCATIONS, AND MOUNTING HEIGHTS OF THERMOSTATS.
- ALL WALL MOUNTED MECHANICAL AND ELECTRICAL DEVICES SHALL ALIGN VERTICALLY AND/OR HORIZONTALLY. VERIFY WITH ARCHITECT AND OWNER ON FINAL LOCATIONS AND MOUNTING HEIGHTS.

LOCATION MAP



SHEET INDEX

A-000 TITLE SHEET
CIVIL

ARCHITECTURAL

- A-001 EXISTING SITE PLAN
- A-002 PROPOSED SITE PLAN
- A-011A LEVEL ONE PARTIAL DEMO PLAN
- A-011B LEVEL ONE PARTIAL DEMO PLAN
- A-101A LEVEL ONE PARTIAL FLOOR PLAN
- A-101B LEVEL ONE PARTIAL FLOOR PLAN
- A-102 NOT USED
- A-103A PARTIAL ROOF PLAN
- A-103B PARTIAL ROOF PLAN
- A-104 NOT USED
- A-111A LEVEL ONE PARTIAL REFLECTED CEILING PLAN
- A-111B LEVEL ONE PARTIAL REFLECTED CEILING PLAN
- A-112 LUMINAIRE SCHEDULE
- A-121A LEVEL ONE PARTIAL FINISH PLAN
- A-121B LEVEL ONE PARTIAL FINISH PLAN
- A-131A LEVEL ONE PARTIAL POWER & DATA PLAN
- A-131B LEVEL ONE PARTIAL POWER & DATA PLAN
- A-151A LEVEL ONE PARTIAL FURNITURE PLAN
- A-151B LEVEL ONE PARTIAL FURNITURE PLAN
- A-200A EXTERIOR DEMO ELEVATIONS
- A-200B EXTERIOR DEMO ELEVATIONS
- A-201A EXTERIOR ELEVATIONS
- A-201B EXTERIOR ELEVATIONS
- A-211 INTERIOR ELEVATIONS
- A-212 INTERIOR ELEVATIONS
- A-301 BUILDING SECTIONS
- A-311 WALL SECTIONS
- A-312 NOT USED
- A-313 WALL SECTIONS
- A-314 WALL SECTIONS
- A-401 ENLARGED FLOOR PLANS
- A-402 ENLARGED FLOOR PLANS
- A-403 ENLARGED FLOOR PLANS
- A-501 NOT USED
- A-601 ROOM FINISH SCHEDULE
- A-602 FINISH KEY & NOTES
- A-603 OPENING SCHEDULE & WALL TYPE SCHEDULE
- A-604 DOOR & FRAME TYPES

STRUCTURAL

ABBREVIATIONS

| | | | |
|-------------------------------------|--------|-------------------------------|--------|
| Above Finished | AFH | Hot Water | HU |
| Acoustic Panel | ACP | Information | INFO |
| Acoustic | ACT | Inside Diameter | ID |
| Acoustical Ceiling | ACT | Insulation | INSUL |
| Adjustable | ADJ | Interior | INT |
| Aggregate | AGGR | International Building Code | IBC |
| Air Condition | A/C | Janitor | JANI |
| Aluminum | ALUM | Kitchen | KITCH |
| Americans with Disabilities | ADA | Lavatory | LAV |
| Amphibious | AMP | Location | LOC |
| Anchor | ANCH | Manufacturer | MFR |
| Angle | L | Masonry Opening | MO |
| Approximate | APPROX | Maximum | MAX |
| Architects | ARCH | Mechanical | MECH |
| Architectural Woodworking Institute | AWI | Medium Density | MDO |
| Avenue | AVE | Mezzanine | MEZZ |
| Average | AVG | Mezzanine | MEZZ |
| Basement | BSMT | Number | NO |
| Bearing | BRG | Office | OFF |
| Bearing Plate | BRG PL | On Center | O.C. |
| Biluminous | BITUM | Opening | OPNG |
| Board | BD | Opposite | OPP |
| Bottom of Steel | BOS | Outside Diameter | OD |
| Building | BLDG | Paint | PT |
| Built-up Roofing | BUR | Paper Towel Dispenser | PTD |
| Cabinets | CAB | Plywood | PLYWD |
| Carpet | CPT | Precast | PC |
| Ceiling | CLG | Preliminary | PRELIM |
| Ceiling Height | CLG HT | Project | PROJ |
| Center Line | CL | Property | PROP |
| Closet | CLO | Rain Water Leader | RWL |
| Cold Water | CW | Reference | REF |
| Concrete | CONC | Reflected Ceiling Plan | RCP |
| Concrete Masonry Unit | CMU | Reinforce | REINF |
| Conference | CONF | Required | REQD |
| Construction Documents | CD | Roof Drain | RD |
| Corridor | AVE | Roof Top Unit | RTU |
| Diameter | DIA | Sanitary Napkin Dispenser | SNDD |
| Dimension | DIM | Sanitary Napkin Disposal Unit | SNDDU |
| Disinfectant | DIW | Soap Dispenser | SD |
| Door | DR | Solid Core | SC |
| Double | DBL | Sprinkler | SPRKL |
| Drain | DR | Square Foot | SF |
| Drinking Fountain | DF | Stainless Steel | SSST |
| Each | EA | Solid Surfacing | SS |
| Electric | ELEC | Structural | DEG |
| Elevation | EL | Telephone | TEL |
| Elevator | ELEV | Temporary | TEMP |
| Equal | EQ | Toilet Paper Dispenser | TPD |
| Ethylene Propylene Diene Monomer | EPDM | Tongue and Groove | T&G |
| Existing | EXIST | Top of | TO |
| Fast | BFF | Top of Beam | TOS |
| Fire Extinguisher | FE | Top of Slab | TOS |
| Flashing | FLASH | Tube Steel | TS |
| Floor | FLR | Typical | TYP |
| Floor Drain | FD | Unless Noted Otherwise | UNO |
| Fluorescent | FLUOR | Vertical | VERT |
| Footing | FTG | Vinyl Base | VB |
| Full Slate | FS | Vinyl Composition Tile | VCT |
| Furniture | FURN | Vinyl Wall Covering | VWC |
| Galvanized | GALV | Wall Covering | WC |
| General Contractor | GC | Welded Wire Fabric | WFF |
| Glass | GL | Welded Wire Mesh | WWM |
| Glazing | GLZ | With | W |
| Gypsum Board | GYP BD | Without | W/O |
| Height | HT | Wood | WD |
| Helical Metal | HM | Yard | YD |
| Horizontal | HORIZ | Year | YR |

OCCUPANCY DIAGRAM

| | | | |
|-------------------|--------|---|---|
| Water Closets | Female | 2 | 3 |
| Lavatories | Female | 2 | 2 |
| Drinking Fountain | Male | 1 | 2 |
| Service Sink | Male | 1 | 1 |
| Water Closets | Female | 1 | 4 |
| Lavatories | Female | 1 | 1 |
| Drinking Fountain | Male | 1 | 0 |
| Service Sink | Male | 1 | 1 |

SPACE GUIDELINE - BUILDING & USEABLE LAND

| | | | | | |
|---------------------------------|------------------|-------------|------------------|-------------------------|--|
| 1. INPUT DEALER CODE: | MNE21 | | | | |
| 2. SALES PLANNING GUIDE: | 1,489 | | | | |
| | MIN. REQUIREMENT | MIN. NUMBER | ACTUAL / PLANNED | ACTUAL / PLANNED NUMBER | |
| 3. CUSTOMER FOCUS AREAS | 7,850 SF | 8 | 10,568 SF | 8 | |
| 4. DISPLAY VEHICLES | 1,750 SF | 6 | 4,450 SF | | |
| 5. GENERAL ADMIN OFFICE | 1,800 SF | 4 | 3,539 SF | | |
| 6. SERVICE DRIVE | | | | | |
| 7. SERVICE DRIVE SPACES | | | | 10 | |
| 8. SERVICE BAYS/WILFITS | | 28 | | 25 | |
| 9. SERVICE WORKSHOP | 14,700 SF | | 28,501 SF | | |
| 10. CAR WASH & EQUIPMENT | | | 1,115 SF | | |
| 11. PARTS STORAGE | 4,900 SF | | 4,096 SF | | |
| 12. PARTS MEZZANINE | | | 4,917 SF | | |
| 13. BUILDING FOOTPRINT | | | 52,139 SF | | |
| 14. TOTAL BUILDING + MEZZ | 31,000 SF | | 57,096 SF | | |
| 15. SALES CUSTOMER PARKING | 7,800 SF | 26 | 11,091 SF | 33 | |
| 16. SERVICE SHOP PARKING | 33,600 SF | 112 | 33,600 SF | 114 | |
| 17. NEW VEHICLE PARKING | 98,000 SF | 300 | 43,524 SF | 126 | |
| 18. USED VEHICLE DISPLAY | 40,000 SF | 125 | 25,742 SF | 86 | |
| 19. EMPLOYEE PARKING & MISC. | 28,300 SF | 76 | 22,863 SF | 58 | |
| 20. TOTAL SITE (EXCL. BUILDING) | 205,900 SF | | 265,590 SF | | |
| 21. TOTAL SITE AREA | | | 317,769 SF | | |

Not for Construction

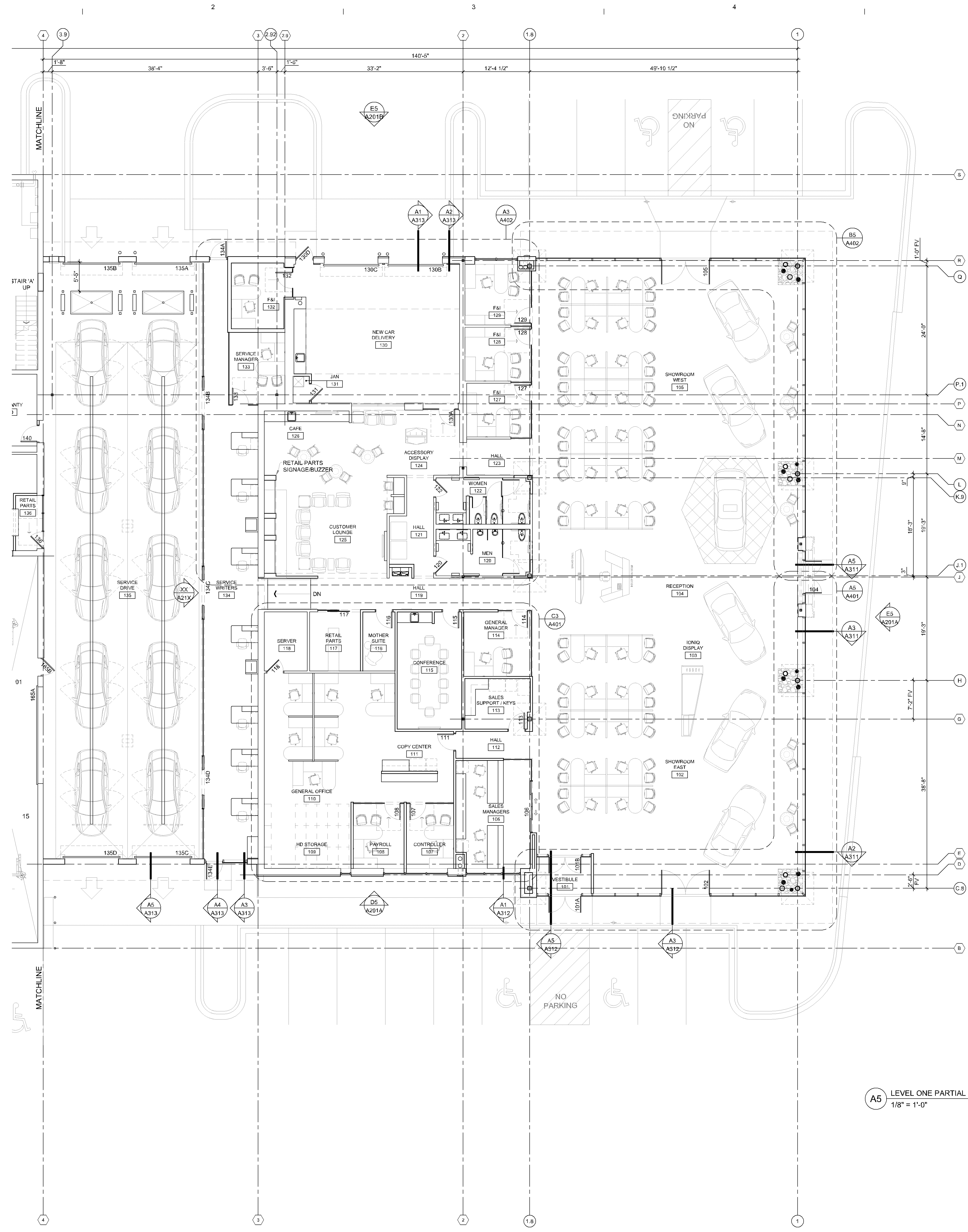
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Signature:
Typed or Printed Name: Craig W. John
Date: 01/11/2022 License Number: 55254

Sheet Title

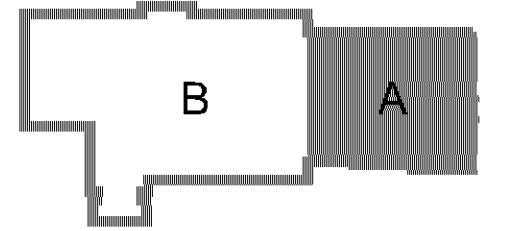
TITLE SHEET

Scale: NO SCALE Sheet Number:
Date: 01/11/2022
Comm No: 2800 A-000
2 of 2



A5 LEVEL ONE PARTIAL FLOOR PLAN
1/8" = 1'-0"

**Not for
Construction**



LEVEL ONE KEY PLAN

LEGEND:

| | |
|--|------------------------|
| | EXISTING WALL |
| | NEW WALL |
| | EXISTING DOOR |
| | NEW DOOR |
| | VEHICLE PATH OF TRAVEL |

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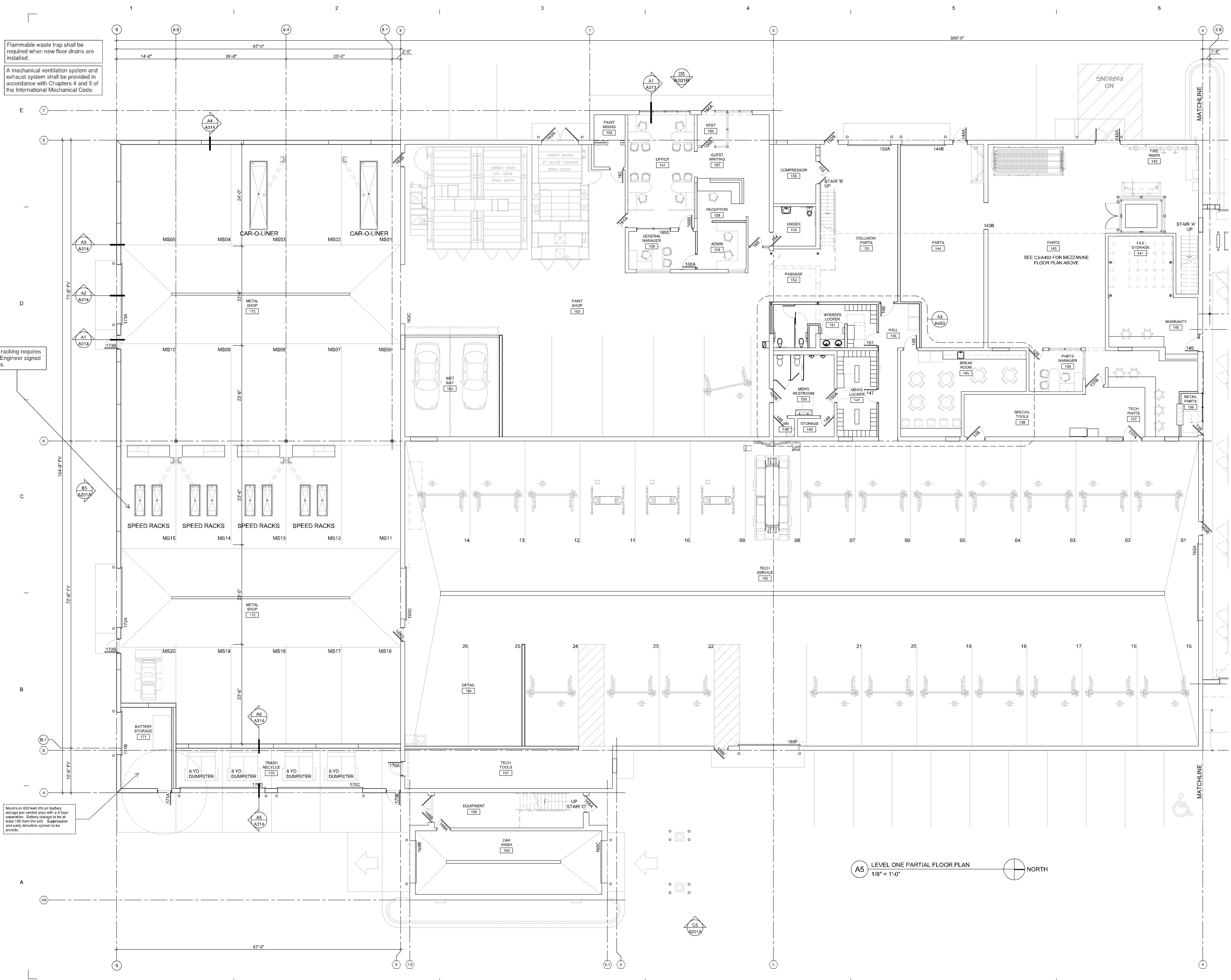
Signature:
Typed or Printed Name: Craig W. John
Date: xx/xx/xxxx License Number: 55264

Sheet Title

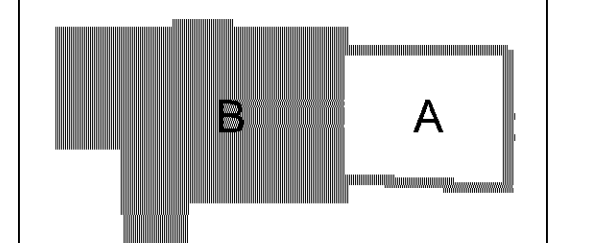
**LEVEL ONE PARTIAL
FLOOR PLAN**

Scale: 1/8" = 1'-0" Sheet Number
Date: 01/11/2023
Comm No: 2600 **A-101A**
2 of 2

- Must meet 2020 MN State Building Code
- Building plans must be signed by a MN licensed architect.
- SAC review by MET council will be required.
- Must meet 2020 MN Accessibility Code.
- Provide a detailed code analysis with the plans.



**Not for
Construction**



LEVEL ONE KEY PLAN

- LEGEND:**
- EXISTING WALL
 - NEW WALL
 - EXISTING DOOR
 - NEW DOOR
 - VEHICLE PATH OF TRAVEL

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Signature:
Typed or Printed Name: Qing W. Jahn
Date: 01/11/2023 License Number: 55264

Sheet Title

**LEVEL ONE PARTIAL
FLOOR PLAN**

Scale: 1/8" = 1'-0" Sheet Number:
Date: 01/11/2023
Comm No: 2800 **A-101B**

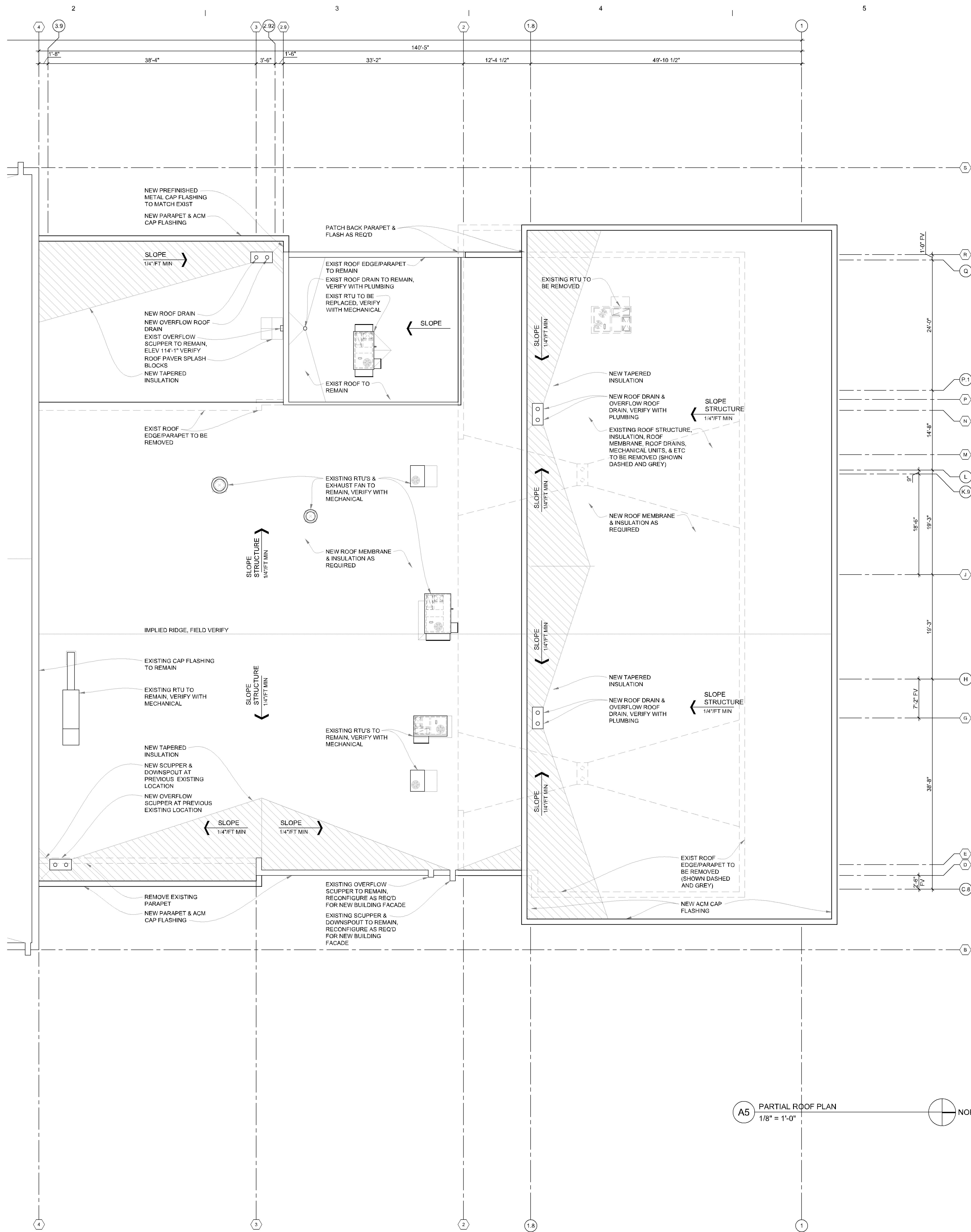
A5 LEVEL ONE PARTIAL FLOOR PLAN
1/8" = 1'-0" NORTH

ROOF PLAN NOTES:

1. PROVIDE BALLASTED FIRESTONE 60 MIL REINFORCED EPDM WITH PUNCTURE WARRANTY OR APPROVED EQUAL.
2. PROVIDE ROOFING MANUFACTURER'S RECOMMENDED ADHESIVE AS REQUIRED.
3. PROVIDE ROOFING MANUFACTURER'S RECOMMENDED FASTENERS TO MEET FM GLOBAL 4470 CORROSION RESISTANCE AS REQUIRED.
4. PROVIDE ROOFING MANUFACTURER'S RECOMMENDED INSULATION AND/OR REUSE EXISTING ROOF INSULATION AS REQUIRED.
5. PROVIDE ADDITIONAL ROOF PAVERS AS REQUIRED FOR PUNCTURE WARRANTY.
6. PROVIDE SEALERS, PREFORMED CONES, VENT SHEET FLASHING, PREFORMED CORNERS, REINFORCED SECUREMENT STRIPS, T-JOINT COVERS, IN-SEAM SEALANTS, TERMINATION REGLETS, COVER STRIPS, AND OTHER ACCESSORIES REQUIRED FOR WARRANTY.
7. MECHANICAL EQUIPMENT SHALL NOT BE PLACED CLOSER THAN 10 FEET FROM ANY ROOF EDGE.
8. ALL EXISTING ROOF TOP UNITS SHALL BE FIELD EVALUATED BY MECHANICAL CONTRACTOR AND A REPORT SHALL BE PROVIDED TO THE OWNER SHOWING THE ANTICIPATED REMAINING SERVICE LIFE OF EACH UNIT AND RECOMMENDATIONS FOR SERVICE AND/OR REPLACEMENT OF EACH UNIT.

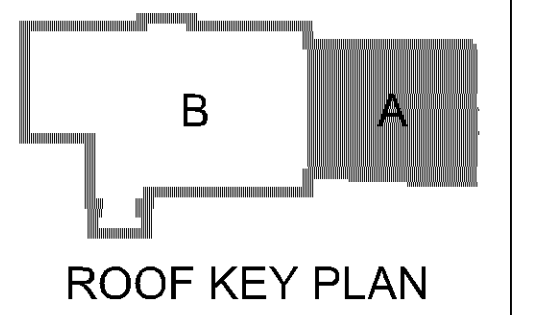
9. NEW SHOWROOM ROOF:
 - +0' = T.O. METAL DECK ELEVATION XXX'-X"
 - +X" = T.O. METAL DECK ELEVATION XXX'-X"
 - +X" = T.O. METAL DECK ELEVATION XXX'-X"
 - +X" = T.O. METAL DECK ELEVATION XXX'-X"
 - +X" = T.O. METAL DECK ELEVATION XXX'-X"

10. NEW METAL SHOP ROOF:
 - +0' = T.O. METAL DECK ELEVATION 117'-4"
 - +2' = T.O. METAL DECK ELEVATION 117'-6"
 - +3' = T.O. METAL DECK ELEVATION 117'-7"
 - +20' = T.O. METAL DECK ELEVATION 119'-1"



A5 PARTIAL ROOF PLAN
1/8" = 1'-0"

**Not for
Construction**

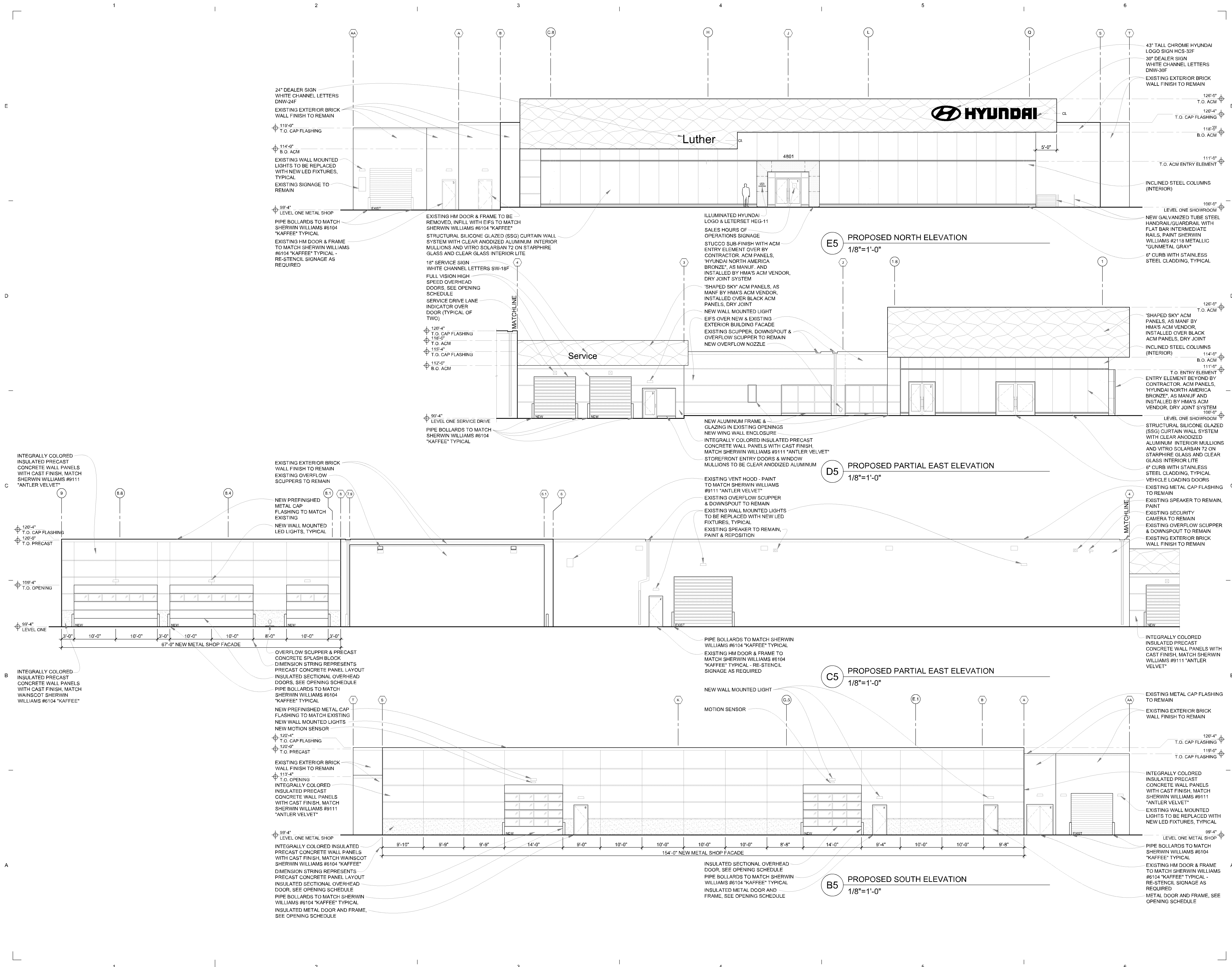


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Signature:
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Date: xx/xx/xxxx License Number: 55254

Sheet Title
PARTIAL ROOF PLAN

Scale: 1/8" = 1'-0" Sheet Number
Date: 01/11/2023
Comm No: 2600 **A-103A**



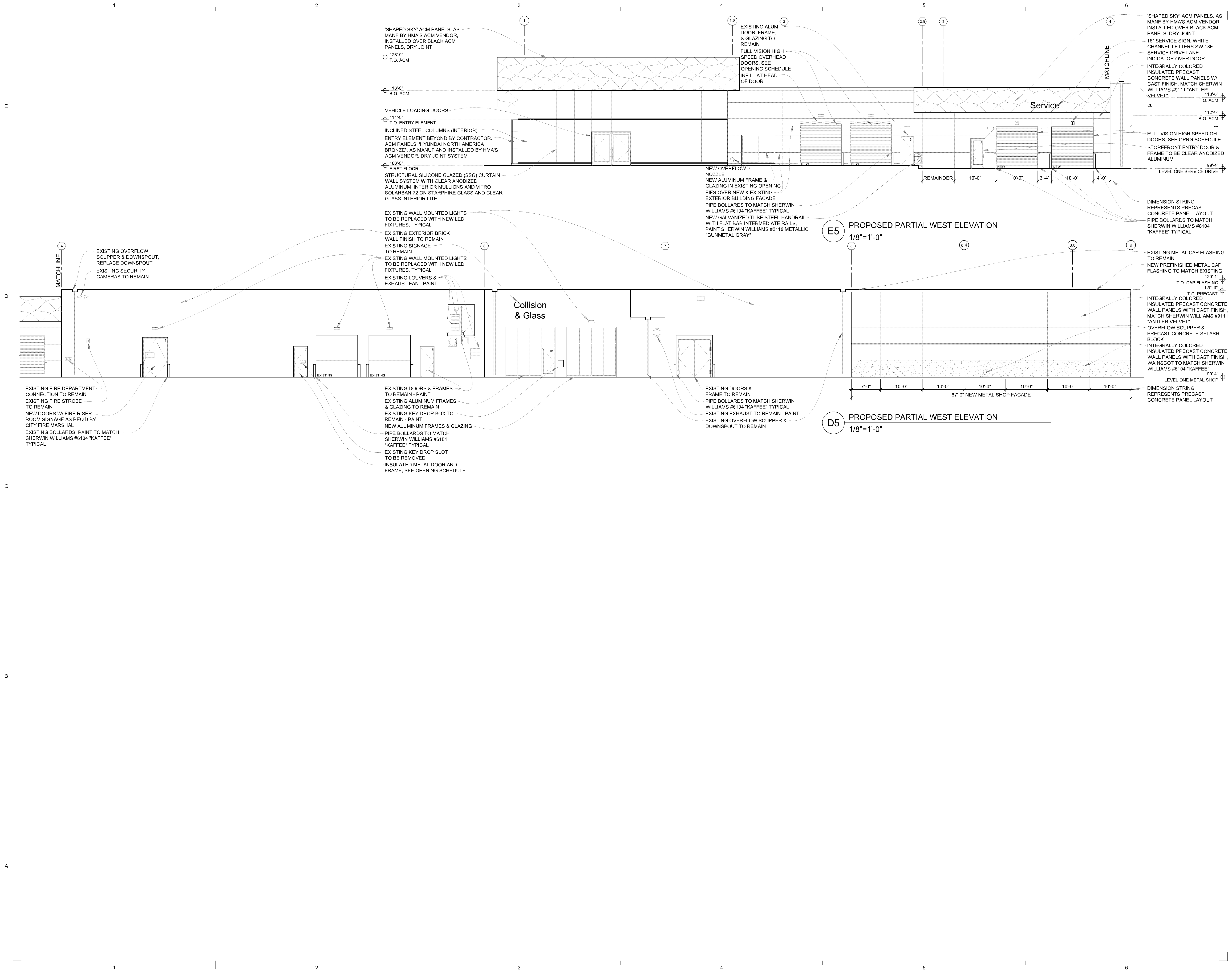
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Construction**

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Signature: _____
Typed or Printed Name: Craig W. John
Date: xx/xx/xxxx License Number: 55264

Sheet Title
EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0" Sheet Number
Date: 01/11/2023
Comm No: 2600 **A-201A**
1 of 202



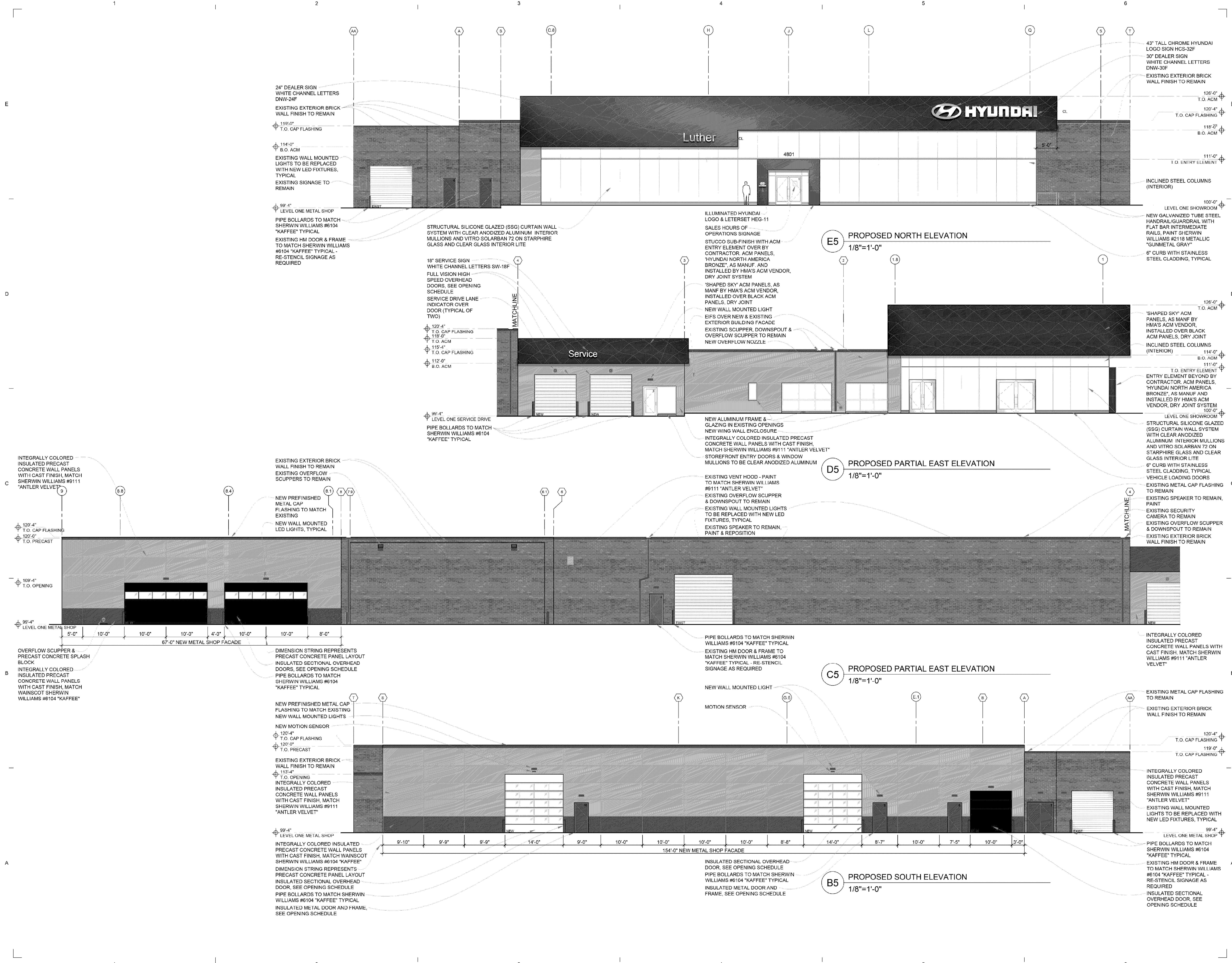
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Signature:
Typed or Printed Name: Craig W. John
Date: xx/xx/xxxx License Number: 55264

Sheet Title
EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0" Sheet Number
Date: 01/11/2023
Comm No: 2600 **A-201B**
1 of 202



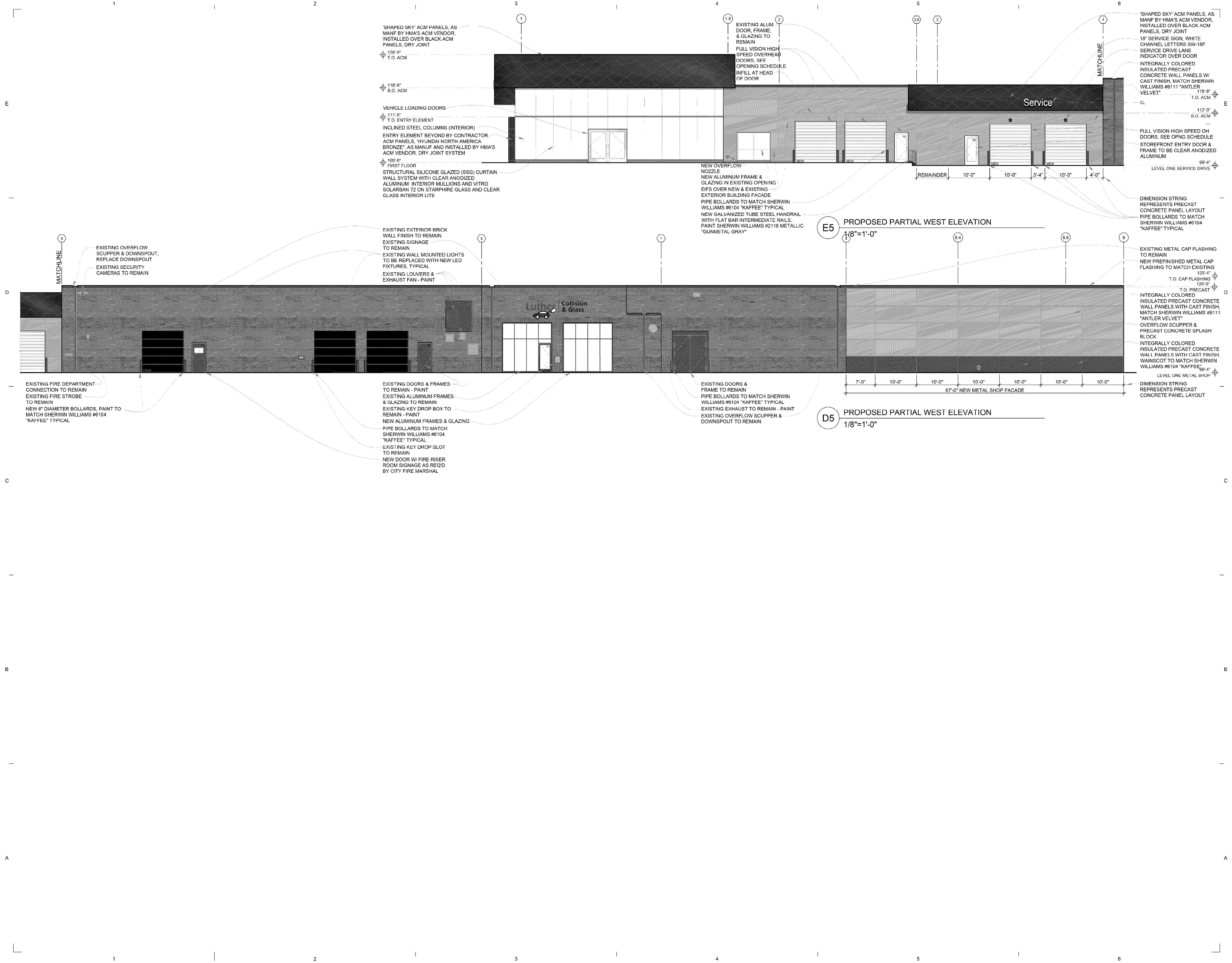
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Typed or Printed Name: Craig W. John
Date: 02/02/2022 License Number: 05264

Sheet Title
EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0" Sheet Number
Date: 12/02/2022
Comm No: 2600 A-201A
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"SHAPED SKY" ACM PANELS, AS MANUF BY HMA'S ACM VENDOR, INSTALLED OVER BLACK ACM PANELS, DRY JOINT
126'-0" T.O. ACM
118'-0" B.O. ACM
VEHICLE LOADING DOORS
111'-0" T.O. ENTRY ELEMENT
INCLINED STEEL COLUMNS (INTERIOR)
ENTRY ELEMENT BEYOND BY CONTRACTOR
ACM PANELS, "HYUNDAI NORTH AMERICA BRONZE", AS MANUF AND INSTALLED BY HMA'S ACM VENDOR, DRY JOINT SYSTEM
100'-0" FIRST FLOOR
STRUCTURAL SILICONE GLAZED (SSG) CURTAIN WALL SYSTEM WITH CLEAR ANODIZED ALUMINUM INTERIOR MULLIONS AND VITRO SOLARBAN 72 ON STARPHIRE GLASS AND CLEAR GLASS INTERIOR LITE
NEW OVERFLOW NOZZLE
NEW ALUMINUM FRAME & GLAZING IN EXISTING OPENING
EIFS OVER NEW & EXISTING EXTERIOR BUILDING FACADE
PIPE BOLLARDS TO MATCH SHERWIN WILLIAMS #6104 "KAFFEE" TYPICAL
NEW GALVANIZED TUBE STEEL HANDRAIL WITH FLAT BAR INTERMEDIATE RAILS. PAINT SHERWIN WILLIAMS #2118 METALLIC "GUNMETAL GRAY"
EXISTING ALUM. DOOR, FRAME & GLAZING TO REMAIN
FULL VISION HIGH SPEED OVERHEAD DOORS, SEE OPENING SCHEDULE INFILL AT HEAD OF DOOR
"SHAPED SKY" ACM PANELS, AS MANUF BY HMA'S ACM VENDOR, INSTALLED OVER BLACK ACM PANELS, DRY JOINT
18" SERVICE SIGN, WHITE CHANNEL LETTERS SW-18F
SERVICE DRIVE LANE INDICATOR OVER DOOR
INTEGRALLY COLORED INSULATED PRECAST CONCRETE WALL PANELS W/ CAST FINISH, MATCH SHERWIN WILLIAMS #9111 "ANTLER VELVET"
118'-8" T.O. ACM
112'-0" B.O. ACM
CL
FULL VISION HIGH SPEED OH DOORS, SEE OPNG SCHEDULE
STOREFRONT ENTRY DOOR & FRAME TO BE CLEAR ANODIZED ALUMINUM
99'-4" LEVEL ONE SERVICE DRIVE
DIMENSION STRING REPRESENTS PRECAST CONCRETE PANEL LAYOUT
PIPE BOLLARDS TO MATCH SHERWIN WILLIAMS #6104 "KAFFEE" TYPICAL
EXISTING METAL CAP FLASHING TO REMAIN
NEW PREFINISHED METAL CAP FLASHING TO MATCH EXISTING
120'-4" T.O. CAP FLASHING
120'-0" T.O. PRECAST
INTEGRALLY COLORED INSULATED PRECAST CONCRETE WALL PANELS WITH CAST FINISH, MATCH SHERWIN WILLIAMS #9111 "ANTLER VELVET"
OVERFLOW SCUPPER & PRECAST CONCRETE SPLASH BLOCK
INTEGRALLY COLORED INSULATED PRECAST CONCRETE WALL PANELS WITH CAST FINISH, WAINSCOT TO MATCH SHERWIN WILLIAMS #6104 "KAFFEE"
99'-4" LEVEL ONE METAL SHOP
DIMENSION STRING REPRESENTS PRECAST CONCRETE PANEL LAYOUT

E5 PROPOSED PARTIAL WEST ELEVATION
1/8"=1'-0"

D5 PROPOSED PARTIAL WEST ELEVATION
1/8"=1'-0"

Not for Construction

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Typed or Printed Name: Craig W. John
Date: 8/3/2022 License Number: 55264

Sheet Title: **EXTERIOR ELEVATIONS**

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