

KNOX AND AMERICAN II

PL202300061

Knox &
American II
1801 American Blvd W
Bloomington MN 55431



Address:
1801 American Blvd W
Bloomington MN 55431



500 Washington Avenue South, Suite 1080
Minneapolis, MN 55415
p 612.339.5508 f 612.339.5382
www.esgarch.com

I hereby certify that this plan, specification, or
report was prepared by me or under my direct
supervision and that I am a duly licensed architect
under the laws of the State of Minnesota

Signature _____
Typed or Printed Name _____
License # _____ Date _____

NOT FOR
CONSTRUCTION

PROJECT TEAM

OWNER/DEVELOPER: Stuart Development Company
Ryan Dunlay, President
1000 West 80th Street
Minneapolis, MN 55420
Ph: 952-948-9546

ARCHITECT: Elness Swenson Graham Architects, Inc.
500 Washington Ave. South, Suite 1080
Minneapolis, MN 55415
Ph: 612-339-5508
Fx: 612-339-5382

CONTRACTOR: T.B.D.

CIVIL ENGINEER: CivilSite Group
5000 Glenwood Avenue
Golden Valley, MN 55422
Ph: 612-615-0060

LANDSCAPE ARCHITECT: CivilSite Group
5000 Glenwood Avenue
Golden Valley, MN 55422
Ph: 612-615-0060

STRUCTURAL ENGINEER: TBD

MECHANICAL ENGINEER: TBD

PLUMBING ENGINEER: TBD

ELECTRICAL ENGINEER: TBD

DRAWING INDEX

DRAWING INDEX DRC	
DRAWING NUMBER	DRAWING NAME
GENERAL INFORMATION	
DRC-Title	TITLE SHEET
CIVIL	
C2.0	SITE PLAN
C2.1	SITE PLAN - TURNING MOVEMENT EXHIBIT
C2.2	SITE PLAN - EASEMENT EXHIBIT
C4.0	UTILITY PLAN
LANDSCAPE	
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN NOTES & DETAILS
ARCHITECTURAL	
DRC-0.0	EXISTING CONTEXT & SITE PHOTOS
DRC-0.1	ARCHITECTURAL SITE PLAN & PROJECT DATA
DRC-1.1	FLOOR PLANS
DRC-2.1	BUILDING ELEVATIONS
DRC-3.0	3D VIEWS

ORIGINAL ISSUE:
REVISIONS

No.	Description	Date
-----	-------------	------

223403
PROJECT NUMBER
ESG
DRAWN BY
ESG
CHECKED BY

KEY PLAN

Knox & American II

TITLE SHEET

DRC-Title

PROJECT LOCATION



Vicinity



Site Location



500 Washington Avenue South, Suite 1080
Minneapolis, MN 55415
p 612.339.5588 f 612.339.5382
www.esgarch.com

I hereby certify that this plan, specification, or
report was prepared by me or under my direct
supervision and that I am a duly licensed architect
under the laws of the State of Minnesota

Signature _____
Typed or Printed Name _____
License # _____ Date _____

NOT FOR
CONSTRUCTION

ORIGINAL ISSUE: 03/28/23		
REVISIONS		
No.	Description	Date

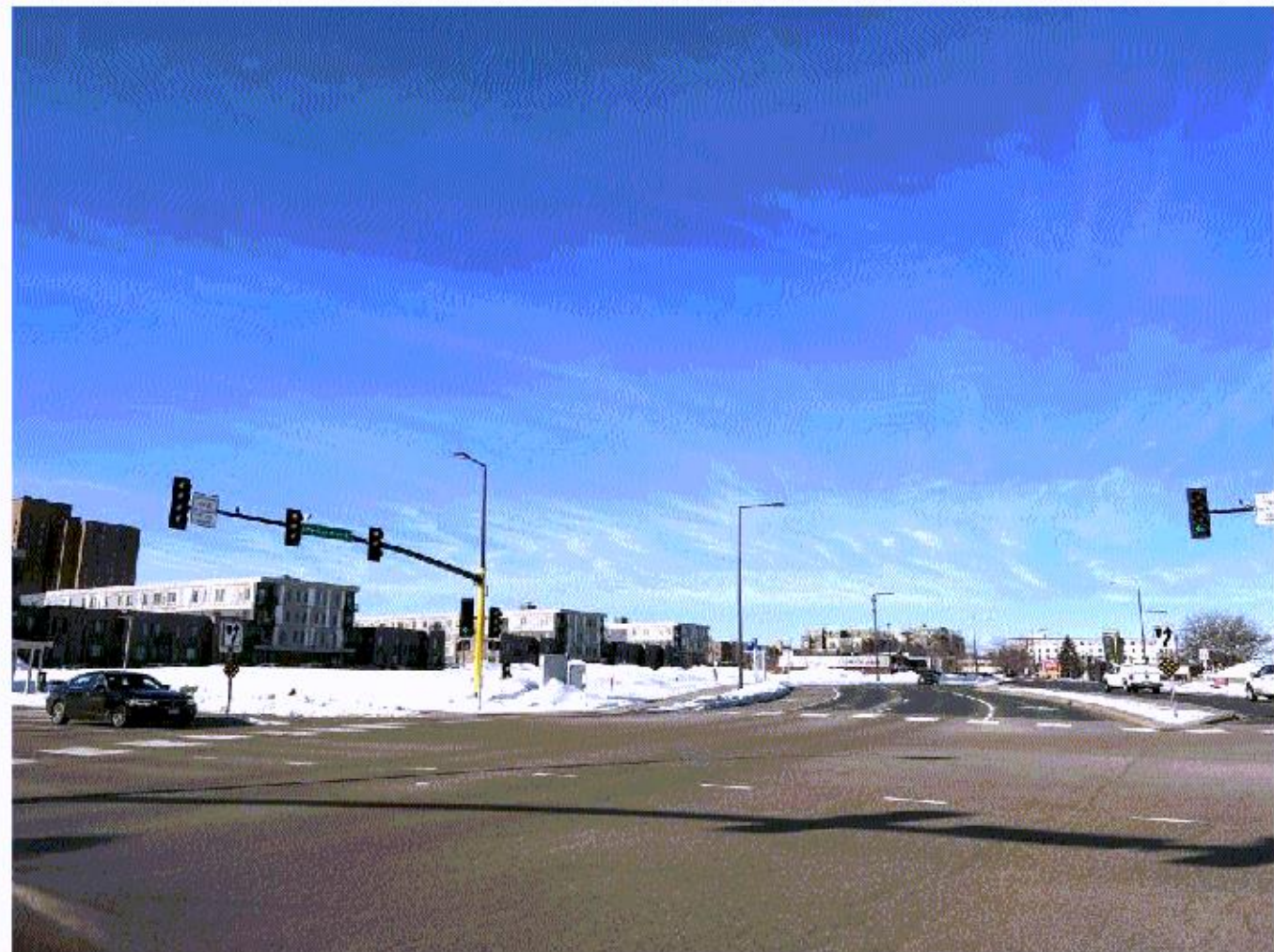
223403
PROJECT NUMBER
Author _____
DRAWN BY _____
Checker _____
CHECKED BY _____

KEY PLAN

Knox & American II

EXISTING CONTEXT & SITE
PHOTOS

DRC-0.0



SITE PHOTO: VIEW SOUTHWEST TOWARD SITE



SITE PHOTO: VIEW SOUTHWEST AT NORTHERN EDGE



SITE PHOTO: VIEW SOUTH AT NORTHERN EDGE



1
DRC-0.0
EXISTING CONTEXT
1" = 30'-0"

DRC-0.1

Standpipe coverage/hose valves shall be located in stairwells and within 200' of all areas.

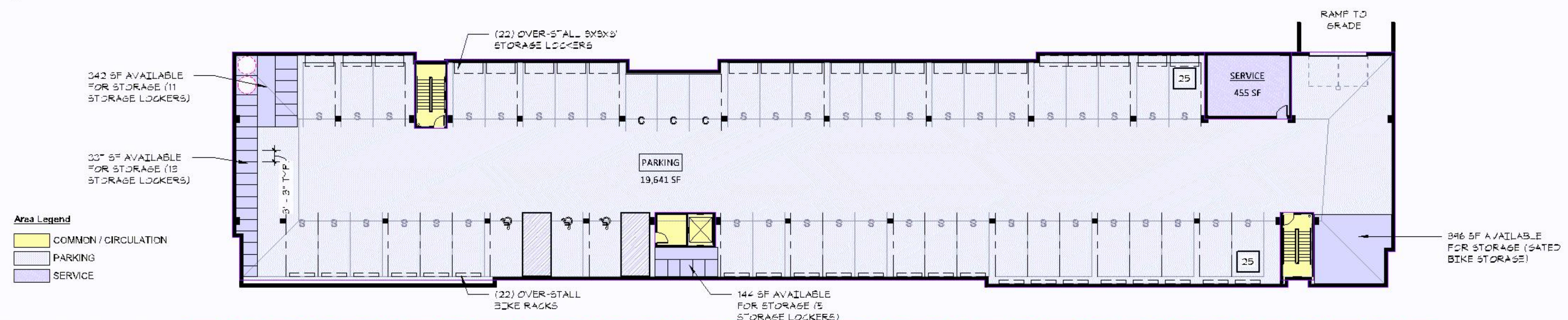
Building Code comments are preliminary - additional comments will be provided when more detailed plans are submitted.



3
DRC-1.1



2 LEVEL 1 PLAN
DRC-1.1 1" = 20'-0"



1 LEVEL P1 PLAN
ORC-1.1 1" = 20'-0"

NOT FOR
CONSTRUCTION

DRC-1.1

4/25/2023 2:38:48 PM

PL202300061



2 EAST ELEVATION_DRC
1/16" = 1'-0"



1 SOUTH ELEVATION_DRC
1/16" = 1'-0"

The south, east, and north building elevations are street facing and are not eligible for exterior materials incentives. The narrative identifies some flexibility may be south for the north building elevation. Please continue to communicate with staff.

ZONING: EXTERIOR BUILDING MATERIAL & FINISH REQUIREMENTS	
§ 9-63.38(c)	
(1) Exterior wall finish. Exterior wall surfaces of all buildings, excluding those portions of foundation walls extending normally above finished grade, shall be faced with glass, exterior cement plaster (stucco), natural stone, brick, architectural concrete (excluding drop-panel construction unless faced with code compliant material), metal in accordance with adopted policies and procedures set forth in the adopted resolution, or an equivalent or better. Except for glass or metal, all color shall be integral to the exterior wall finish material unless a colored and opaque coating for all or some part of the exterior wall finish material is specifically approved by the City Council as part of a development approval process and where the application has included:	
(A)	Certification by the coating manufacturer that the coating is appropriate for the intended purpose and will not damage the exterior wall finish material to which it is to be applied; and
(B)	Certification by the exterior wall finish material manufacturer that the coating to be applied is one that is appropriate for the exterior wall finish material and that its use will not reduce or void the exterior wall finish material warranty.
(2) Coating of exterior walls. No existing uncoated exterior wall finish material regulated by this section shall be coated after the effective date of this section except for the following:	
(A)	As approved in subsections (f), (g), and (h) below;
(B)	Those portions of foundation walls above finished grade may be coated or sealed;
(C)	Secondary materials as listed in subsection (c)(3) below may be coated or sealed;
(D)	All exterior wall surfaces and secondary materials that were coated prior to the effective date of this section or allowed to be coated after that date by reason of the granting of development approval, administrative approval or a variance may be maintained, to include sealing and recoating, in a manner appropriate to that wall finish material or trim and consistent with that existing surface treatment or any prior approval by the issuing authority; and
(E)	Murals are counted as a secondary material. To protect the integrity and durability of exterior building materials, murals may not be applied directly to the surface of a building elevation. Murals may be applied to separate materials and attached to the building elevation.
(3) Secondary materials. Up to 15% of the exterior wall surface of a building elevation may be secondary materials, such as: wood, metal, exterior insulation finish system (EIFS) or other equivalent material as approved by the issuing authority.	
(4) Canopies and awnings. Up to 15% of the exterior wall surface of a building elevation may be covered by canopies and/or awnings intended to provide aesthetic embellishment, shade or weather protection. Exterior wall surface materials covered by canopies or awnings must meet the applicable requirements of this section and, depending on the wall surface material, count	

ZONING: ALTERNATIVE EXTERIOR MATERIALS ALLOWANCE	
§ 9-22 ALTERNATIVE EXTERIOR MATERIALS ALLOWANCE	
(a). To encourage the construction of opportunity housing units affordable to households at or below 60% of AMI, a residential development that includes at least 2% of its total dwelling units affordable to households at or below 60% of AMI may use the alternative exterior materials of fiber cement, engineered wood, exterior insulation finishing system (EIFS), and 23 year warranty metal on facades not being put to stock where otherwise not allowed by the city code as follows:	
(1). A development with 8% of its units qualifying as extremely low income affordable housing may cover up to 100% of qualifying facades with the listed alternative exterior materials;	
(2). A development with 6% of its units qualifying as very low income affordable housing may cover up to 75% of qualifying facades with the listed alternative exterior materials; or	
(3). A development with 8% of its units qualifying as low income affordable housing may cover up to 50% of qualifying facades with the listed alternative exterior materials;	
(b). The alternative exterior materials allowances provided in this section are not cumulative. Each qualifying development is eligible for only one alternative construction material allowance of 50%, 75%, or 100% depending on the level of affordability provided.	
(Ord. 2019-16, passed 2-25-2019; Ord. 2021-1, passed 3-4-2021)	

Knox &
American II
1801 American Blvd W
Bloomington MN 55431

esg
ARCHITECTURE & DESIGN
500 Washington Avenue South, Suite 1080
Minneapolis, MN 55415
p 612.339.5508 | f 612.339.5382
www.esgarch.com

I hereby certify that this plan, specification, or
report was prepared by me or under my direct
supervision and that I am a duly licensed architect
under the laws of the State of Minnesota

Signature _____
Typed or Printed Name _____
License # _____ Date _____

NOT FOR
CONSTRUCTION

ORIGINAL ISSUE: 04/19/23
REVISIONS

No.	Description	Date
-----	-------------	------

223403
PROJECT NUMBER
Author _____
DRAWN BY _____
Checker _____
CHECKED BY _____

KEY PLAN

Knox & American II

BUILDING ELEVATIONS
DRC-2.1



500 Washington Avenue South, Suite 1080
Minneapolis, MN 55415
p 612.339.5506 | f 612.339.5382
www.esgarch.com

I hereby certify that this plan, specification, or
report was prepared by me or under my direct
supervision and that I am a duly licensed architect
under the laws of the State of Minnesota

Signature _____

Typed or Printed Name _____

License # _____ Date _____

NOT FOR
CONSTRUCTION

ORIGINAL ISSUE: 04/24/23

REVISIONS

No.	Description	Date
-----	-------------	------

223403

PROJECT NUMBER

Author

DRAWN BY

Checker

CHECKED BY

KEY PLAN

Knox & American II

3D VIEWS

DRC-3.0



VIEW OF KNOX STREETSCAPE LOOKING NORTHWEST



VIEW OF 80-1/2 STREETSCAPE LOOKING EAST



VIEW OF LANDSCAPE WALL ALONG KNOX AVENUE AND BUILDING RELATIONSHIP WITH EXISTING BUS STOP



AERIAL VIEW OF 80-1/2 STREET FRONTAGE LOOKING NORTH

PL202300061

KNOX & AMERICAN II

BLOOMINGTON, MINNESOTA

ISSUED FOR: CITY SUBMITTAL



ARCHITECT:

ESG ARCHITECTURE & DESIGN
500 WASHINGTON AVE S, SUITE 1080
MINNEAPOLIS, MN 55415
CONTACT: ARON THOMAS
612-268-2440

DEVELOPER / PROPERTY OWNER:

STUART DEVELOPMENT CORPORATION
1000 W 80TH STREET
MINNEAPOLIS, MN 55420
CONTACT: RYAN DUNLAY
952-948-9546

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422 CIVIL ENGINEER CONTACT: MATT PAVEK 612-615-0060 EXT 701	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422 LANDSCAPE ARCHITECT CONTACT: BILL BROHMAN 612-615-0060 EXT 710
--	---

SURVEYOR:

CIVIL SITE GROUP
5000 GLENWOOD AVE
GOLDEN VALLEY, MN 55422
CONTACT: RORY SYNSTELIEN
RORY@CIVILSITEGROUP.COM
612-615-0060

GEOTECHNICAL ENGINEER:

BRAUN INTERTEC CORPORATION
11001 HAMPSHIRE AVE S
MINNEAPOLIS, MN 55438
CONTACT: JOSEPH L. WESTPHAL
952-995-2000

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



Know what's **below**.
Call before you dig.

[illegible]

PL202300061

SITE LAYOUT NOTES:

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
4. THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
5. CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS & ELEVATIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
6. LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
7. CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
8. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
9. PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
10. CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
11. SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL.
12. ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
14. FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
15. PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
16. ALL PARKING LOT PAINT STRIPPING TO BE WHITE, 4" WIDE TYP.
17. BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
18. ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.

CivilSite
Civil Engineering • Surveying • Landscape Architecture
5000 Glenwood Avenue
Golden Valley, MN 55422
civilsitegroup.com612-615-0060

esc
ARCHITECTURE & DESIGN

PRELIMINARY:
NOT FOR
CONSTRUCTION

KNOX & AMERICAN II
8000 KNOX AVE S, BLOOMINGTON, MN 55431
STUART DEVELOPMENT CORPORATION
1000 W 40TH STREET, MINNEAPOLIS, MN 55420

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Matthew R. Payek
DATE 4-26-23 LICENSE NO. 44263

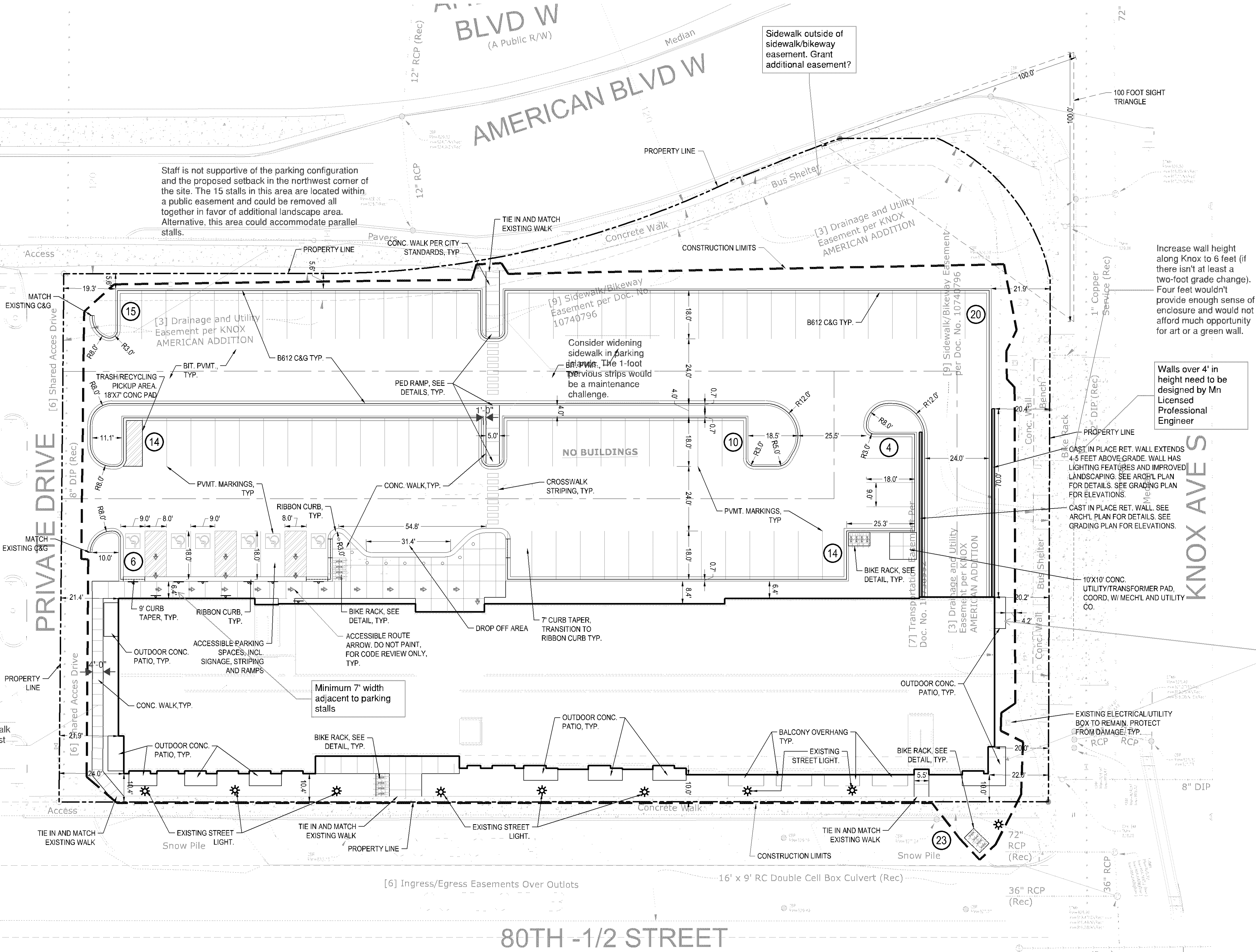
ISSUE/SUBMITTAL SUMMARY
DATE DESCRIPTION
3/26/23 SET/2D PLAN
4/26/23 PRE-APP/3D SUBMISSION

DRAWN BY: JR, BB REVIEWED BY: MP
PROJECT NUMBER: 23027

REVISION SUMMARY
DATE DESCRIPTION

SITE PLAN

C2.0
© 2023 BRIGHT 2023 CIVIL SITE GROUP INC.



CITY OF BLOOMINGTON SITE SPECIFIC NOTES:

1. RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

SITE DATA	
EXISTING ZONING	COMMUNITY COMMERCIAL (CC)
PROPOSED ZONING	HIGH DENSITY RESIDENTIAL (HDR) RM-100
NUMBER OF UNITS	99
PROPOSED DENSITY	54.82 DU/ACRE
PARKING SPACE	9'X18'
DRIVE AISLE:	24'
SURFACE PARKING LOT SPACES PROPOSED	83
SURFACE PARKING LOT SPACES EXISTING	23
UNDERGROUND PARKING SPACES	50
TOTAL PARKING SPACES	156

OPERATIONAL NOTES:

SNOW REMOVAL	ALL SNOW SHALL BE STORED ON-SITE OUTSIDE PARKING LOT. WHEN FULL, REMOVAL CO. SHALL REMOVE EXCESS OF-SITE
TRASH REMOVAL:	TRASH SHALL BE WHEELED OUT TO EXTERIOR TRASH PICK-UP AREA AND REMOVED BY COMMERCIAL CO. WEEKLY.
DELIVERIES:	DELIVERIES SHALL OCCUR AT THE FRONT DOOR VIA STANDARD COMMERCIAL DELIVERY VEHICLES (UPS, FED-EX, USPS).

SITE AREA TABLE:

SITE AREA CALCULATIONS			
	EXISTING CONDITION	PROPOSED CONDITION	
BUILDING COVERAGE	5,553 SF 7.1%	20,174 SF	25.6%
ALL PAVEMENTS	59,530 SF 75.7%	43,192 SF	54.9%
ALL NON-PAVEMENTS	13,608 SF 17.3%	15,325 SF	19.5%
TOTAL SITE AREA	78,691 SF 100.0%	78,691 SF	100.0%
IMPERVIOUS SURFACE			
EXISTING CONDITION	65,083 SF 82.7%		
PROPOSED CONDITION	63,366 SF 80.5%		
DIFFERENCE (EX. VS PROP.)	-1,717 SF -2.2%		

SITE PLAN LEGEND:

LIGHT DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.

HEAVY DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.

CONCRETE PAVEMENT (IF APPLICABLE) AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS. WITHIN ROW SEE CITY DETAIL. WITHIN PRIVATE PROPERTY SEE CSG DETAIL

PROPERTY LINE

CONSTRUCTION LIMITS

CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN

TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS

SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.
HC = ACCESSIBLE SIGN
NP = NO PARKING FIRE LANE
ST = STOP
CP = COMPACT CAR PARKING ONLY

ACCESSIBILITY ARROW (IF APPLICABLE) DO NOT PAINT.

811
Know what's below.
Call before you dig.

N

1" = 20'-0"
10'-0" 0 20'-0"

CivilSite
G R O U P
Civil Engineering • Surveying • Landscape Architecture
5000 Glenwood Avenue
Golden Valley, MN 55422
civilsitegroup.com 612-615-0060

esg
ARCHITECTURE & DESIGN

PRELIMINARY:
NOT FOR
CONSTRUCTION

LECTURE 11

8000 KNOX AVE S, BLOOMINGTON, MN 55431

STUART DEVELOPMENT CORPORATION
1000 W 80TH STREET, MINNEAPOLIS, MN 55420

PROJECT

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.


Matthew R. Pavak
DATE 4-26-23 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
3/9/2023	SKETCH PLAN
4/26/2023	PRE-APP DRC SUBMISSION

DRAWN BY: JR, BB REVIEWED BY: MP
PROJECT NUMBER: 23027

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

A blank coordinate plane with a horizontal x-axis and a vertical y-axis intersecting at the origin. The axes are labeled 'x' and 'y' at their positive ends. There are no tick marks or grid lines shown.

1	2
3	4

Downloaded from ascelibrary.org by University of California, San Diego on 06/01/15. Copyright ASCE, For All Rights Reserved, No part of this document may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without permission in writing from ASCE.

SITE PLAN - TURNING

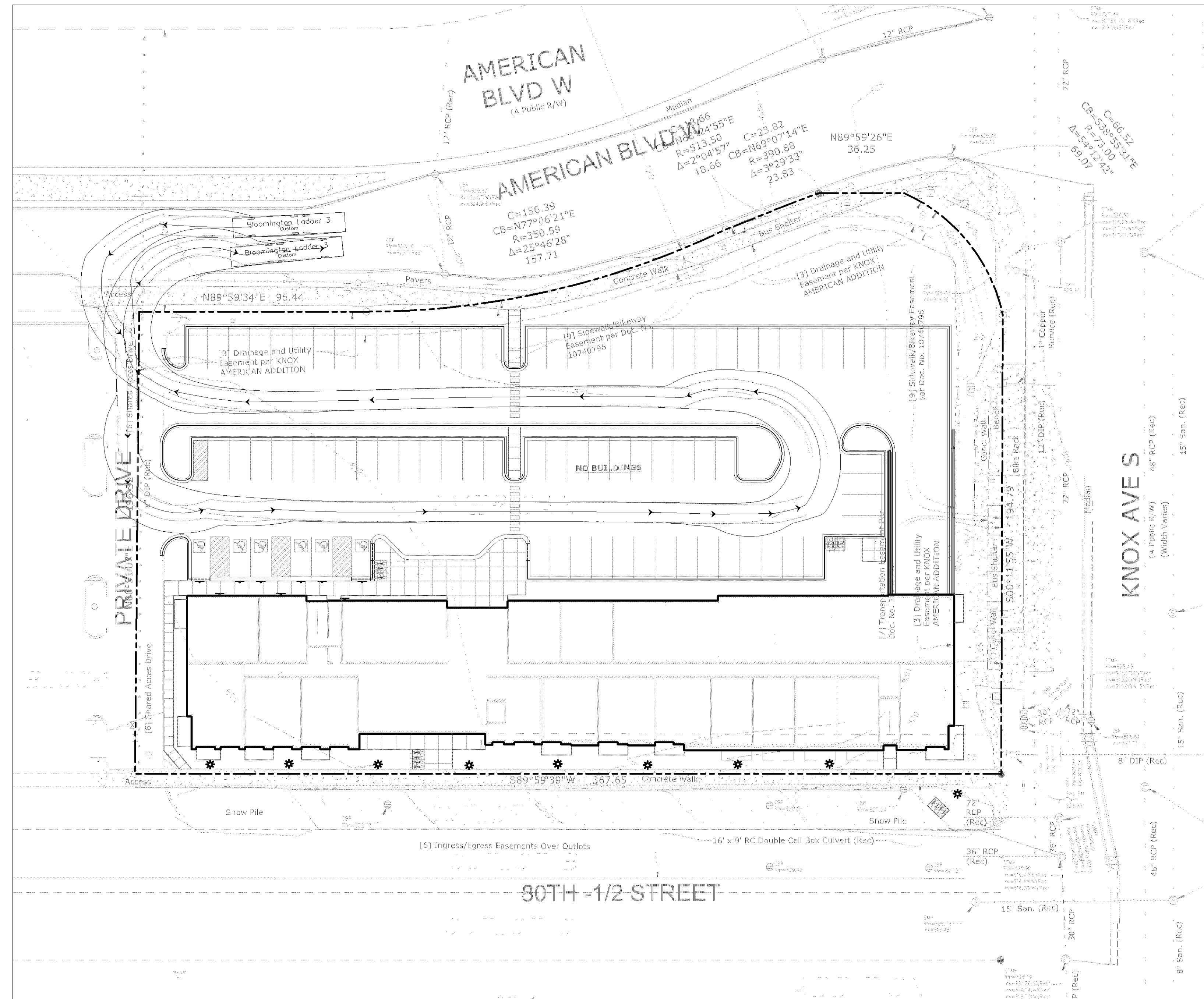
MOVEMENT EXHIBIT

001

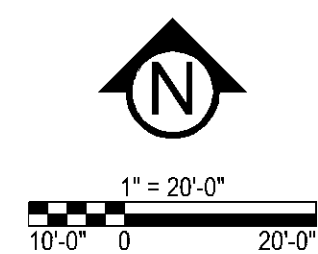
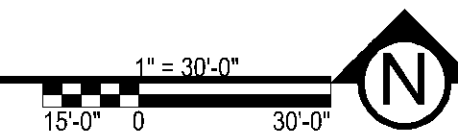
(21)

02.1

© COPYRIGHT 2023 CIVIL SITE GROUP INC.



1 TURNING MOVEMENT EXHIBIT - FIRE TRUCK



C2.1

© COPYRIGHT 2023 CIVIL SITE GROUP INC.

PRELIMINARY:
NOT FOR
CONSTRUCTION

PROJECT

KNOX & AMERICAN II

8000 KNOX AVE S. BLOOMINGTON, MN 55431

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.


Matthew R. Pavak
DATE 4-26-23 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
3/8/2023	SKETCH PLAN
4/28/2023	PRE-APP DRG SUBMISSION

[illegible]

DRAWN BY: JR, BB REVIEWED BY: MP
PROJECT NUMBER: 23027

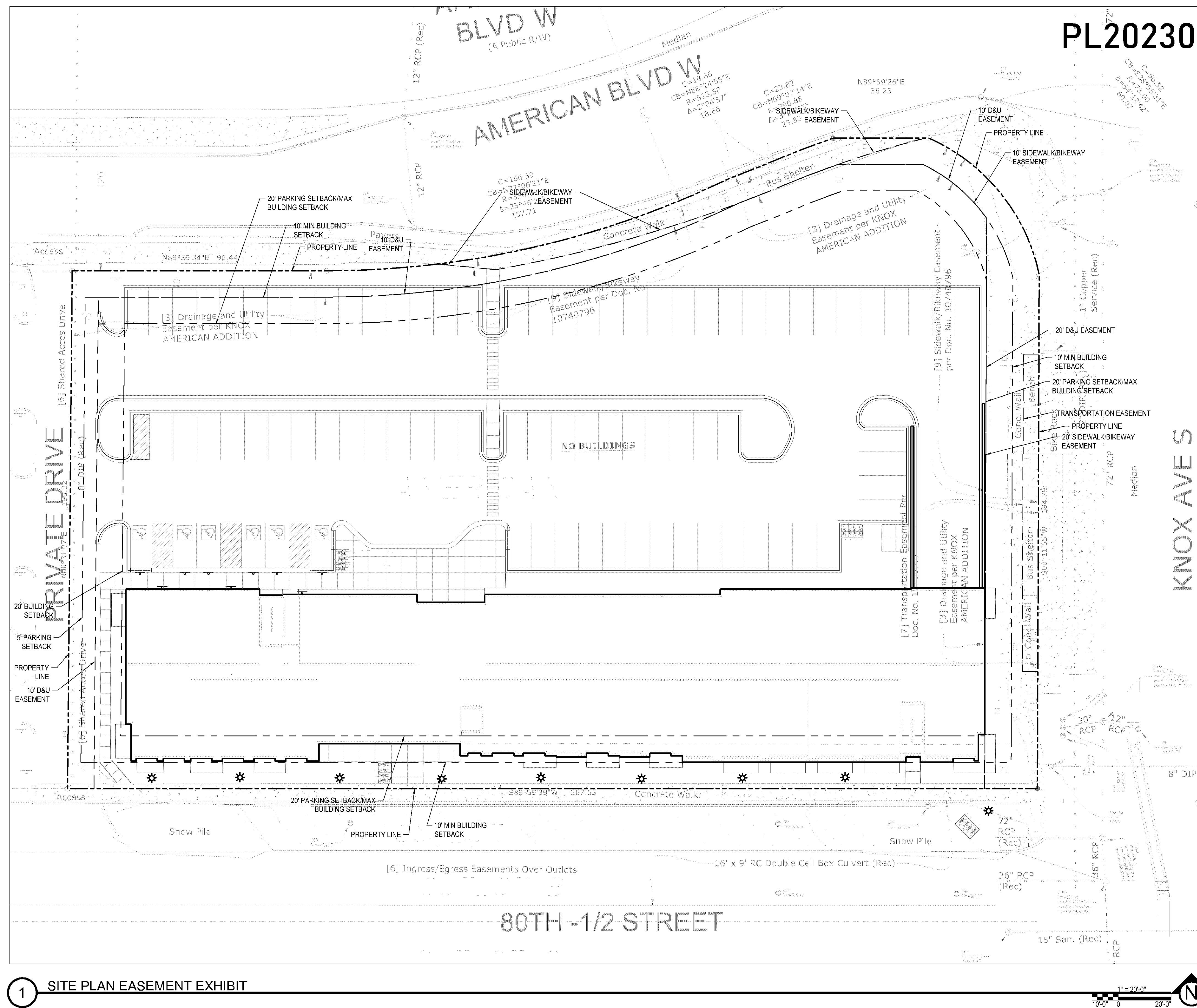
REVISION SUMMARY

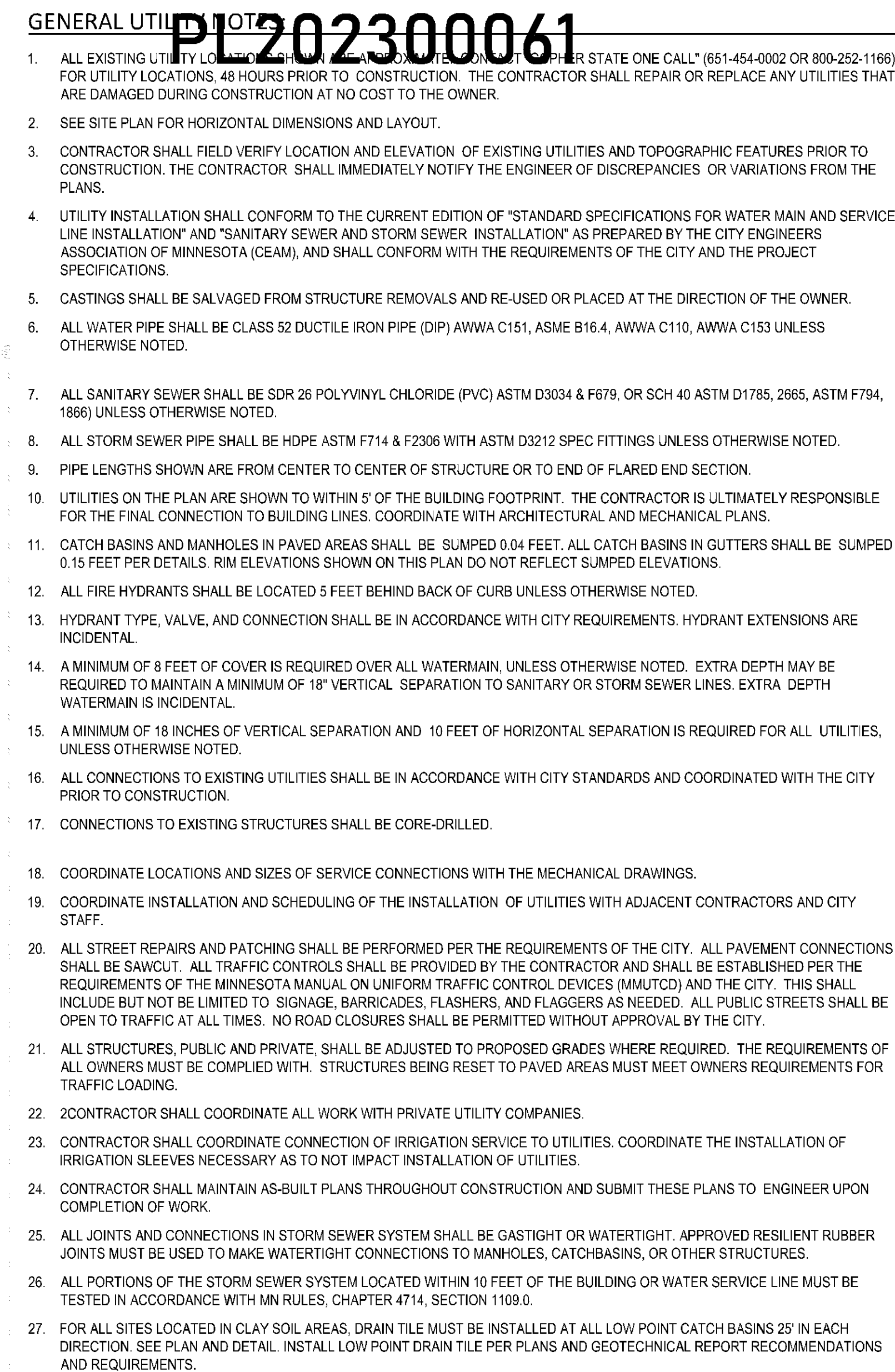
DATE	DESCRIPTION
1	*
*	*
2	*
*	*
3	*
*	*
4	*

**SITE PLAN -
EASEMENT EXHIBIT**

C2.2

© COPYRIGHT 2023 CIVIL SITE GROUP INC.

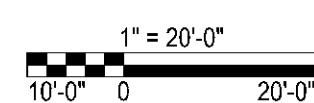




1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.

	MANHOLE
	CATCH BASIN
	GATE VALVE AND VALVE BOX
	PROPOSED FIRE HYDRANT
	WATER MAIN
	SANITARY SEWER
	STORM SEWER
	FES AND RIP RAP

Know what's below.
Call before you dig.



TREES	QTY	COMMON / BOTANICAL NAME	CONT	NATIVE PLANTS	POLLINATOR FRIENDLY
BJ	5	Parkland Pillar® Asian White Birch / Betula platyphylla 'Jefpark'	2.5" CAL. B&B	NOT NATIVE	N
GD	3	Street Keeper Honey Locust / Gleditsia triacanthos 'Draves' TM	2.5" Cal. B&B	NATIVE CULTIVAR	N
EK	3	Espresso Kentucky Coffeetree / Gymnocladus dioica 'Espresso'	2.5" Cal. B&B	NATIVE CULTIVAR	N
QP	1	American Dream® Oak / Quercus bicolor 'JFS-KW12'	2.5" CAL. B&B	NATIVE CULTIVAR	N
QS2	2	Kindered Spirit Oak / Quercus robur x bicolor 'Nader'	2.5" Cal. B&B	NOT NATIVE	Y
ORNAMENTAL TREES	QTY	COMMON / BOTANICAL NAME	CONT	NATIVE PLANTS	POLLINATOR FRIENDLY
CV	4	Thornless Cockspur Hawthorn / Crataegus crus-galli inermis TM	1.5" Cal. B&B	NATIVE	Y
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE PLANTS	POLLINATOR FRIENDLY
CA4	6	New Jersey Tea / Ceanothus americanus	#1 CONT	NATIVE	Y
CA3	19	Arctic Fire Dogwood / Cornus sericea 'Arctic Fire'	#5 CONT	NATIVE CULTIVAR	Y
CB	36	Firedance Dogwood / Cornus sericea 'Balladeline' TM	#5 CONT	NATIVE CULTIVAR	Y
FC	8	Gold Tide Forsythia / Forsythia x 'Courtasol' TM	#2 CONT	NOT NATIVE	Y
SGJ	31	Sea Green Juniper / Juniperus chinensis 'Sea Green'	#5 CONT	NOT NATIVE	N
PR	3	Raspberry Lemonade Ninebark / Physocarpus opulifolius 'ZLEYel2' TM	#5 CONT	NATIVE CULTIVAR	Y
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE PLANTS	POLLINATOR FRIENDLY
BB	15	Blonde Ambition Blue Grama / Bouteloua gracilis 'Blonde Ambition'	#1 CONT	NATIVE CULTIVAR	Y
CR	70	Reed Grass / Calamagrostis brachytricha	#1 CONT	NOT NATIVE	N
EH	8	Bottlebrush Grass / Elymus hystrix	#1 CONT	NATIVE	Y
PN	104	Northwind Switch Grass / Panicum virgatum 'North Wind'	#1 CONT	NATIVE CULTIVAR	Y
SS	18	Smoke Signal Little Bluestem / Schizachyrium scoparium 'Smoke Signal'	#1 CONT	NATIVE CULTIVAR	Y

PLANT SCHEDULE		
GROUND COVERS	COMMON / BOTANICAL NAME	SIZE
	Decorative Rock Mulch / Decorative Rock Mulch 2"- 4" Dresser Trap Rock, uniform in size over filter fabric. Include aluminum edging as shown on plan, or as needed. Provide Samples.	Mulch
	Blue Grass Based / Sod Commercial grade, locally grown, well rooted sod blend of improved Kentucky Bluegrass w/ uniform color, leaf texture, density and varieties consisting of a minimum of two and no more than four common cultivars.	Sod

