

KNOX AND AMERICAN II

RESPONSES in red

Knox &
American II
1801 American Blvd W
Bloomington MN 55431



500 Washington Avenue South, Suite 1080
Minneapolis, MN 55415
p 612.339.5506 | f 612.339.5382
www.esgarch.com

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REVISIONS

No. Description Date

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PROJECT NUMBER
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KEY PLAN

Knox & American II

TITLE SHEET
DRC-Title



Address:
1801 American Blvd W
Bloomington MN 55431

PROJECT TEAM

OWNER/DEVELOPER: Stuart Development Corporation
Ryan Dunlay, President
1000 West 80th Street
Minneapolis, MN 55420
Ph: 952-948-9546

ARCHITECT: Elness Swenson Graham Architects, Inc.
500 Washington Ave. South, Suite 1080
Minneapolis, MN 55415
Ph: 612-339-5508
Fx: 612-339-5382

CONTRACTOR: T.B.D.

CIVIL ENGINEER: CivilSite Group
5000 Glenwood Avenue
Golden Valley, MN 55422
Ph: 612-615-0060

LANDSCAPE ARCHITECT: CivilSite Group
5000 Glenwood Avenue
Golden Valley, MN 55422
Ph: 612-615-0060

STRUCTURAL ENGINEER: TBD

MECHANICAL ENGINEER: TBD

PLUMBING ENGINEER: TBD

ELECTRICAL ENGINEER: TBD

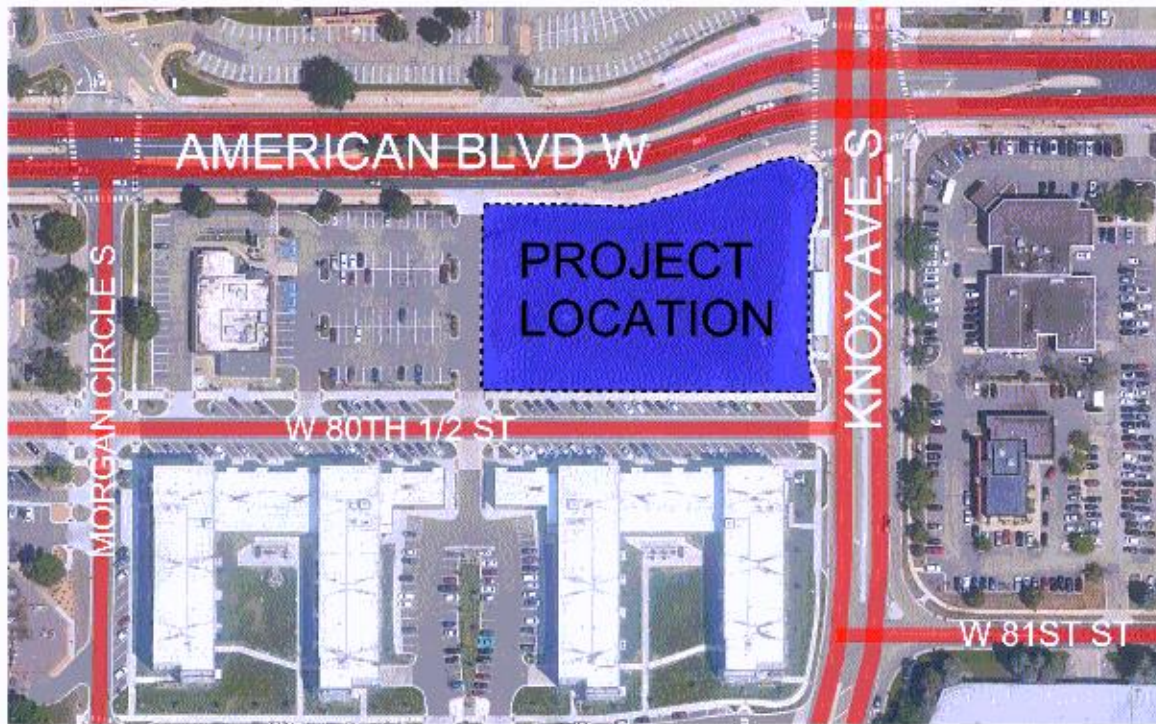
DRAWING INDEX

DRAWING INDEX DRC	
DRAWING NUMBER	DRAWING NAME
ARCHITECTURAL	
DRC-Title	TITLE SHEET
CIVIL	
C1.0	TITLE SHEET
C2.0	SITE PLAN
C2.1	SITE PLAN - TURNING MOVEMENT EXHIBIT
C2.2	SITE PLAN - EASEMENT EXHIBIT
C3.0	GRADING PLAN
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SW/L.0	SWPPP - EXISTING CONDITIONS
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PROJECT LOCATION



Vicinity



Site Location

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EXISTING CONTEXT & SITE PHOTOS

DRC-0.0



SITE PHOTO: VIEW SOUTHWEST TOWARD SITE



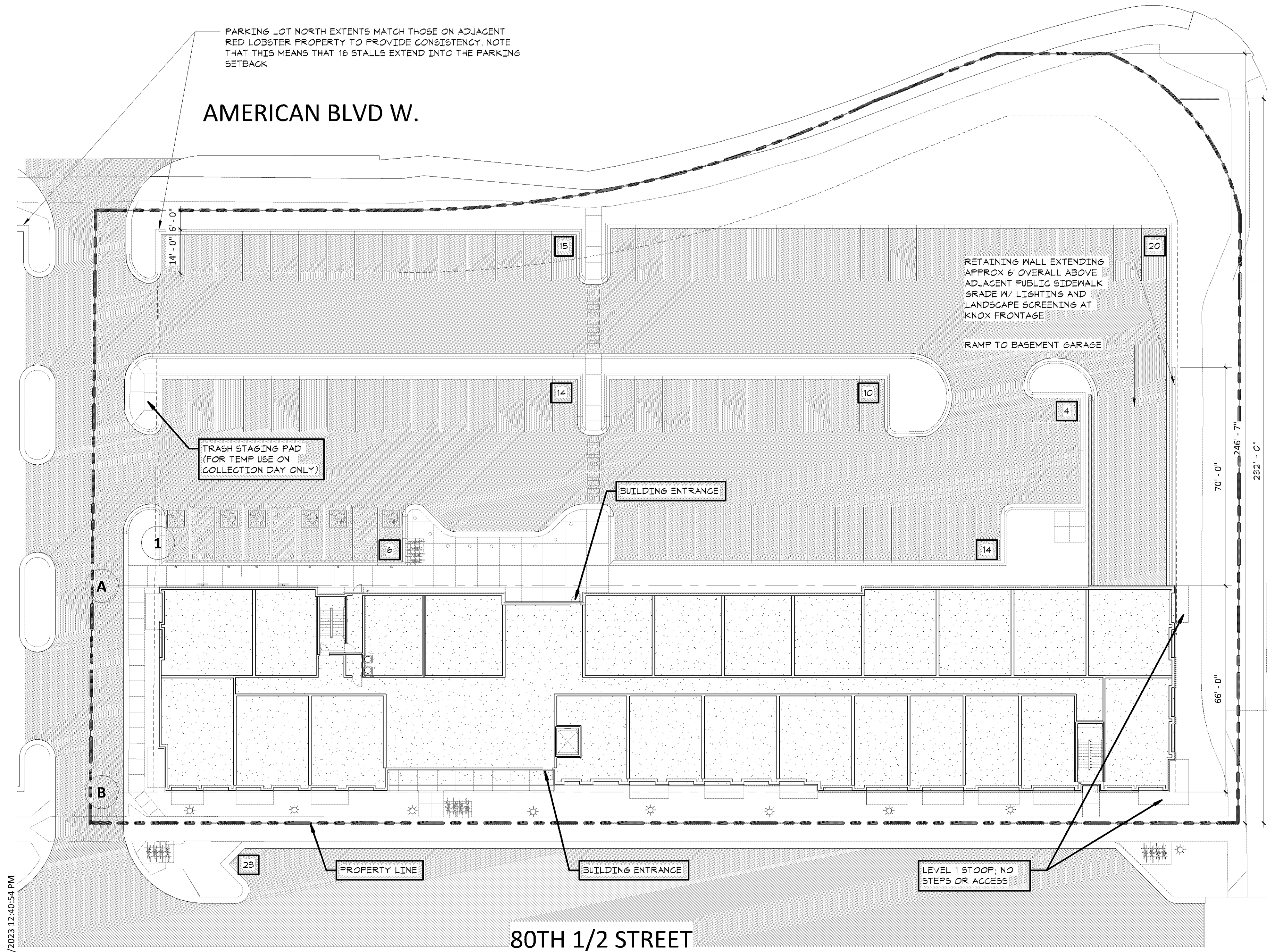
SITE PHOTO: VIEW SOUTHWEST AT NORTHERN EDGE



SITE PHOTO: VIEW SOUTH AT NORTHERN EDGE



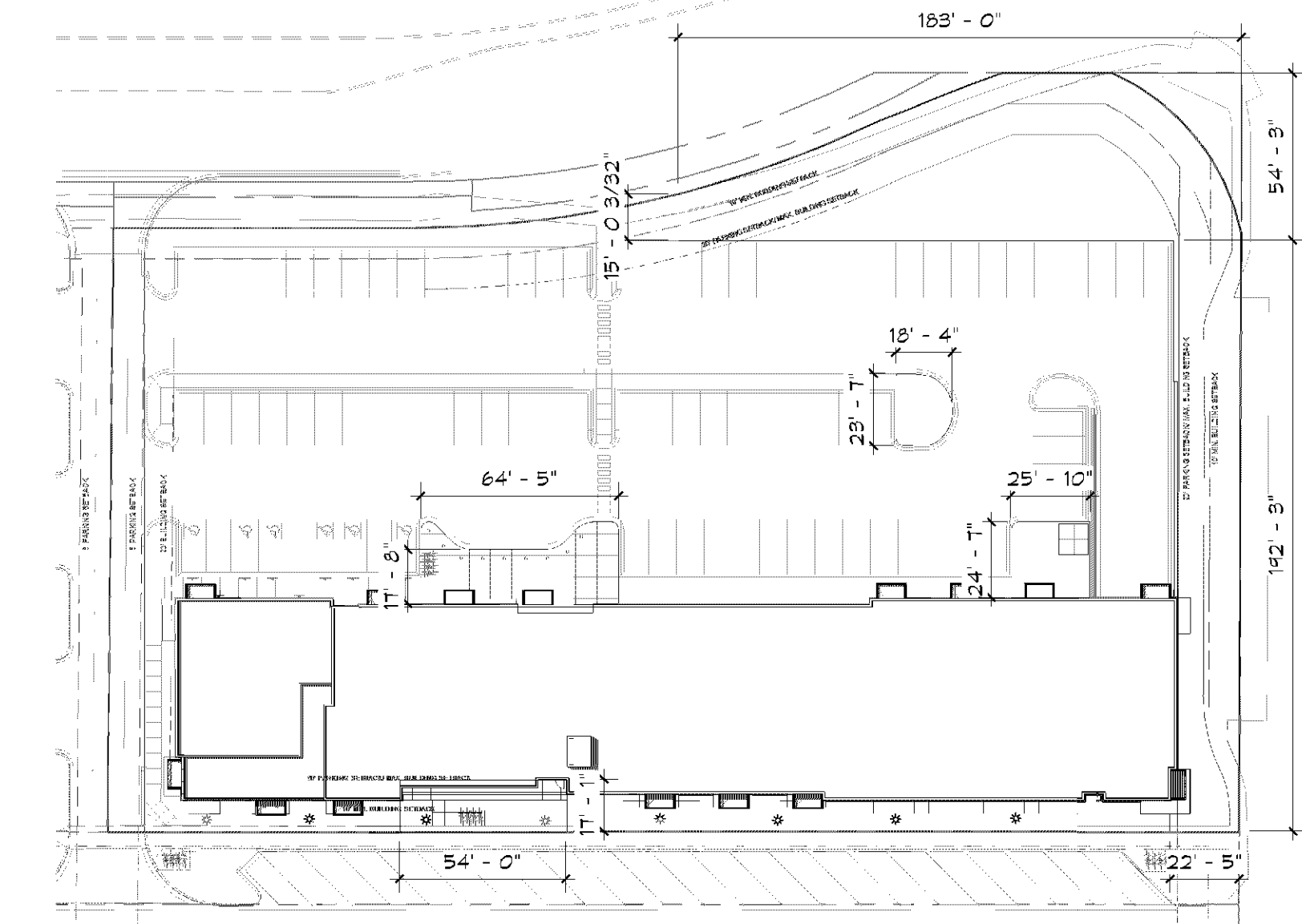
1
DRC-0.0
EXISTING CONTEXT
1" = 30'-0"



5/17/2023 12:40:54 PM
2 ARCHITECTURAL SITE PLAN
DRC-0.1 3/64" = 1'-0"

PROJECT DATA SUMMARY	
CASE NO:	PL2023-00061 (Pre-Application)
PROJECT ADDRESS:	TBD - 1801 American Blvd W + 1851 American Blvd W + 8020 Knox Ave S (existing) Bloomington, MN 55431
PARCEL IDS:	0402724240035 (1801), 0402724240036 (1851), 0402724240037 (8020 Knox)
ZONING DISTRICT (EXISTING):	C-5 (Commercial) with PD (Planned Development) Overlay
ZONING DISTRICT (PROPOSED):	RM-100 (Multi-Family Residential) with PD (Planned Development) Overlay
ZONING SUMMARY	
COMPREHENSIVE PLAN LAND USE RE-GUIDING REQUESTED REQUESTING A RE-GUIDANCE OF THE COMPREHENSIVE PLAN'S FUTURE LAND USE FROM CC TO HIGH DENSITY RESIDENTIAL (HDR) TO CREATE CONSISTENCY IN LAND USE AND INCREASE HOUSING UNITS --- OF VARIOUS INCOME LEVELS --- TO MEET CURRENT HOUSING AND MARKET DEMANDS (A SIGNIFICANT GOAL WITHIN THE COMPREHENSIVE PLAN, SECTION 3).	
ANTICIPATED DEVIATIONS	
PARKING BETWEEN BUILDING AND STREET (§21.203.09 (d)) REQUESTING EXEMPTION FOR MULTIPLE STREET FRONTAGES AND PROPOSING ALTERNATIVE COMPLIANCE (ENHANCED STREET WALL AND BUILDING FRONTAGE) USING C-5 FRONTAGE STANDARDS FOR PROPOSING PARKING BETWEEN BUILDING & STREET	
PARKING SETBACKS (§21.301.06.1) PROPOSING DEVIATION: 19 SURFACE PARKING SPACES AT NORTHWEST CORNER OF SITE AT A 6 FT SETBACK (INSTEAD OF THE 20 FT MIN.-REQUIRED SETBACK)	
OPPORTUNITY HOUSING REDUCTIONS/ALLOWANCES APPLIED	
SITE AREA (§ 9.16.02) ---- REQUESTING REDUCTION (25% FOR 9% UNITS AT VERY LOW INCOME); PROPOSING 78,691+/- SF (1.806+/- acres (60,000 SF MODIFIED MIN.-REQUIRED) SITE WIDTH (§ 9.16.03) ---- REQUESTING REDUCTION (25% FOR 9% UNITS AT VERY LOW INCOME); PROPOSING 196 FT 3 IN (150 FT MODIFIED MIN.-REQUIRED) USABLE OPEN SPACE (§ 9.16.05) ---- REQUESTING REDUCTION (25% REDUCTION FOR 9% UNITS @ VERY LOW INCOME); PROPOSING 27,149+/- SF (22,275 SF MODIFIED MIN.-REQUIRED) STORAGE SPACE (§21.302.09, (d)(7); §9.23) ---- REQUESTING REDUCTION (50% REDUCTION FOR 9% UNITS AT OR BELOW 60% AMI); PROPOSING 50 STORAGE SPACES (49 STORAGE SPACES MODIFIED MIN.-REQUIRED) VEHICLE PARKING, OVERALL SPACES (§ 9.19) ---- REQUESTING REDUCTION (TRANSIT TIER I = 15% FOR 9% UNITS @ VERY LOW INCOME); PROPOSING 156 PARKING SPACES (136 PARKING SPACES MODIFIED MIN.-REQUIRED) ENCLOSED VEHICLE PARKING (§ 9.20) ---- REQUESTING REDUCTION (50% REDUCTION FOR 9% UNITS @ VERY LOW INCOME); PROPOSING 50 ENCLOSED PARKING SPACES (49 ENCLOSED PARKING SPACES MODIFIED MIN.-REQUIRED) EXTERIOR BUILDING MATERIALS (§ 9.22) -- REQUESTING THE OPPORTUNITY HOUSING ALLOWANCE ON THE WEST FAÇADE FOR ALTERNATIVE, EXTERIOR BUILDING MATERIALS (20-YR WARRANTY METALS) WHICH MAY COVER UP TO 75% OF FACADES NOT FACING PUBLIC STREETS.	

ZONING SUMMARY: PARKING & OPEN SPACE DATA	
Scheme:	Current Plan 5.15.23
Parking Stall Count (Provided):	Garage: 50 Surface parking lot: 83 On Street: 23 Totals: 156
Open Space (Required):	total open space required (unit count x 300sf/unit) 29,700 % reduction based on afford. 25% Net open space required 22,275
Open Space (Provided):	Balconies (@ 50sf): 2,100 Bonus: 150sf for first 50 sf, 2.5sf for each additional sf 6,300 Stoops (@ 72sf): 1,008 Bonus: 150sf for first 50 sf, 2.5sf for each additional sf 2,870 Amenity Roof Deck: 700 North and East sides of parking: 14,171 Totals: 27,149 Open Space requirement met? YES
Parking Stalls (Required):	99 1.6 159 0.85 136 135 15 Total Pkg required (with allowed reduction)
	50 SF of balcony 42 # of balconies 150 base bonus @ 50sf 72 SF of stoop 14 # of stoops
	12,978 Open space credit from Building Elements Open Space needed from Site factoring building 9,297 element contribution



1 OPEN SPACE DIAGRAM
DRC-0.1 1" = 50'-0"

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ARCHITECTURAL SITE
PLAN & PROJECT DATA

DRC-0.1

Applicable codes and regulations:

Federal Fair Housing Act Safe Harbor:

Preliminary Assumptions:

Total Building Area:

Level	Use	Total GSF	Parking GSF	Apartment GSF	Amenity GSF
Level P1	Parking	20758	20758	0	0
Level 1	Residential/Amenity	19964	0	16918	3046
Level 2	Residential	20372	0	20372	0
Level 3	Residential	20372	0	20372	0
Level 4	Residential/Amenity	17935	0	17187	748

Zoning Code		Level 1		Level 2		Level 3		Level 4		
Unit Type	Min. Required	Range Overall	Range	Count	Range	Count	Range	Count	Range	Count
Studio	400 SF	538-601 SF	538-588 SF	5	551-601 SF	6	551-601 SF	6	551-601 SF	6
Alcove	400 SF	589-602 SF	589-601 SF	5	588-602 SF	7	588-602 SF	7	601-602 SF	6
1 bed	650 SF	678-809 SF	678-793 SF	10	694-809 SF	12	694-809 SF	12	690-809 SF	11
1 bed + den	650 SF	842-874 SF	842-856 SF	2	858-874 SF	2	858-874 SF	2	--	0
Totals:				22		27		27		23

99 units

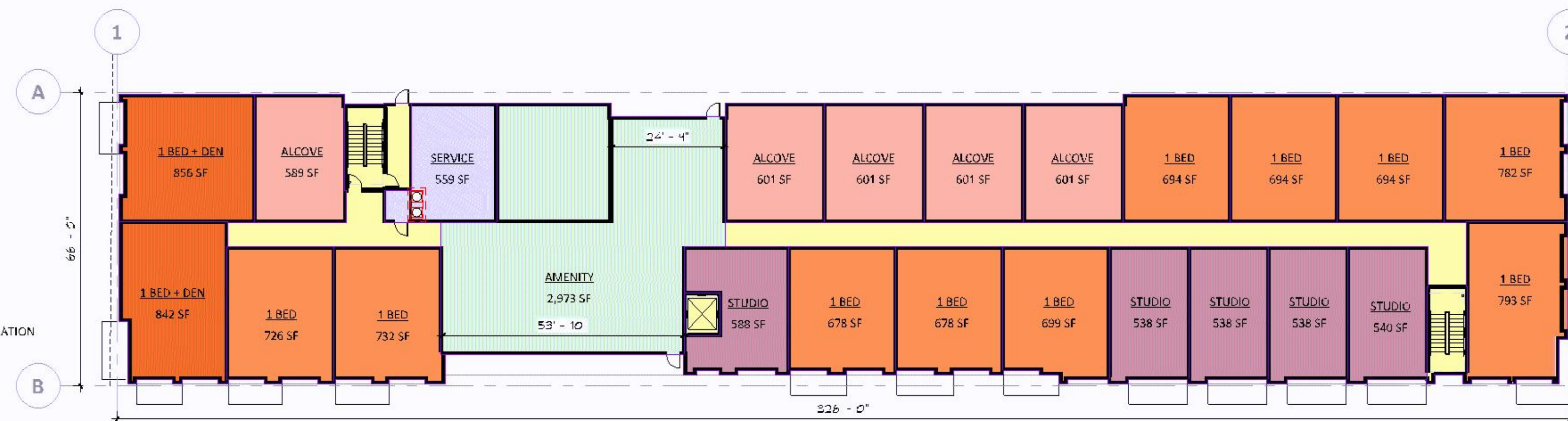
RESPONSE:
Acknowledged.

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Acknowledged.

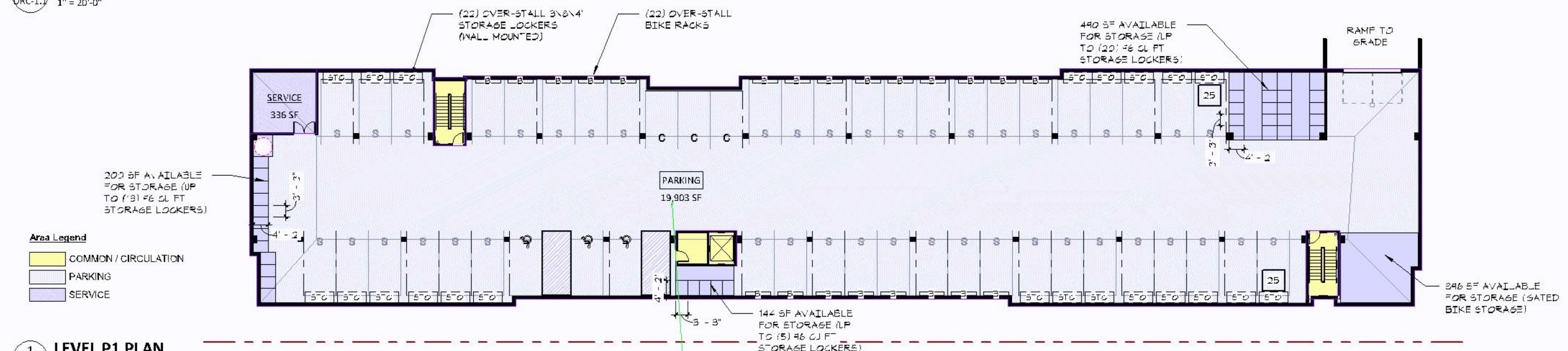
4 LEVEL 4 PLAN
DRC-1.1 1" = 20'-0"



3 LEVEL 2 PLAN (LEVEL 3 SIM.)
DRC-1.1 1" = 20'-0"



2 LEVEL 1 PLAN
DRC-1.1 1" = 20'-0"



1 LEVEL P1 PLAN
DRC-1.1 1" = 20'-0"

RESPONSE:
Acknowledged.

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FLOOR PLANS

DRC-1.1

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METRICS
DRC-1.2

ZONING: UNIT-SPECIFIC REQUIREMENTS	
§21.301.01(c)	
(3) Building floor area minimum:	
Unit	Floor Area
	Minimum*
Single-family (except R-1A)	1,040 sq. ft.
Single-family (R-1A)	1,700 sq. ft.
Two-family	900 sq. ft. per unit (21,302.04)
Apartments and condominiums	
Efficiency units	400 sq. ft.
1 bedroom	650 sq. ft.
2 bedrooms	800 sq. ft.
3 or more bedrooms	950 sq. ft.
Accessibility and senior citizen housing	
Efficiency units	400 sq. ft.
1 bedroom	525 sq. ft.
2 or more bedrooms	700 sq. ft.
Rowhouses, townhouses and other attached dwelling units of a similar nature	
1 bedroom	750 sq. ft.
2 bedrooms	900 sq. ft.
3 bedrooms	1,040 sq. ft.
Note:	
* Garages, breezeway, and porch floor area do not count towards the required floor area.	

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BUILDING ELEVATIONS
DRC-2.1

ZONING: EXTERIOR BUILDING MATERIAL & FINISH REQUIREMENTS

§29.03.08(h)

(1) *Exterior wall finish.* Exterior wall surfaces of all buildings, excluding those portions of foundation walls extending normally above finished grade, shall be faced with glass, exterior cement plaster (stucco), natural stone, brick, architectural concrete (excluding lift-up panel construction unless faced with code compliant material), metal in accordance with adopted policies and procedures set forth in the adopted resolution, or an equivalent or better. Except for glass or metal, all color shall be integral to the exterior wall finish material unless a colored and opaque coating for all or some part of the exterior wall finish material is specifically approved by the City Council as part of a development approval process and where the application has included:

- (A) Certification by the coating manufacturer that the coating is appropriate for the intended purpose and will not damage the exterior wall finish material to which it is to be applied; and
- (B) Certification by the exterior wall finish material manufacturer that the coating to be applied is one that is appropriate for the exterior wall finish material and that its use will not reduce or void the exterior wall finish material warranty.

(2) *Coating of exterior walls.* No existing uncoated exterior wall finish material regulated by this section shall be coated after the effective date of this section except for the following:

- (A) As approved in subsections (f), (g), and (h) below;
- (B) Those portions of foundation walls above finished grade may be coated or sealed;
- (C) Secondary materials as listed in subsection (c)(3) below may be coated or sealed;
- (D) All exterior wall surfaces and secondary materials that were coated prior to the effective date of this section or allowed to be coated after that date by reason of the granting of development approval, administrative approval or a variance may be maintained, to include sealing and recoating, in a manner appropriate to that wall finish material or trim and consistent with that existing surface treatment or any prior approval by the issuing authority; and
- (E) Murals are counted as a secondary material. To protect the integrity and durability of exterior building materials, murals may not be applied directly to the surface of a building elevation. Murals may be applied to separate materials and attached to the building elevation.

(3) *Secondary materials.* Up to 10% of the exterior wall surface of a building elevation may be secondary materials, such as, wood, metal, exterior insulation finish system (EIFS) or other equivalent material as approved by the issuing authority.

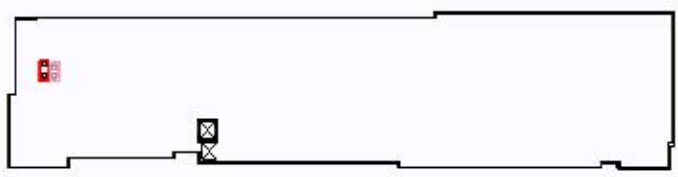
(4) *Canopies and awnings.* Up to 15% of the exterior wall surface of a building elevation may be covered by canopies and/or awnings intended to provide aesthetic embellishment, shade or weather protection. Exterior wall surface materials covered by canopies or awnings must meet the applicable requirements of this section and, depending on the wall surface material, count

ZONING: ALTERNATIVE EXTERIOR MATERIALS ALLOWANCE (West Facade Eligible)	
§ 9.22 ALTERNATIVE EXTERIOR MATERIALS ALLOWANCE.	
(a) To incentivize the construction of opportunity housing units affordable to households at or below 60% of AMI, a residential development that includes at least 9% of its total dwelling units affordable to households at or below 60% of AMI may use the alternative exterior materials of fiber cement, engineered wood, exterior insulation finishing system (EIFS), and 20 year warranty metal on facades not facing public streets where otherwise not allowed by the city code as follows:	
(2) A development with 9% of its units qualifying as very low income affordable housing may cover up to 75% of qualifying facades with the listed alternative exterior materials. --	
(b) The alternative exterior material allowances provided in this section are not cumulative. Each qualifying development is eligible for only one alternative construction material allowance of 50%, 75%, or 100% depending on the level of affordability provided.	
(Ord 2019-18, passed 2-25-2019; Ord 2021-1, passed 3-8-2021)	

EXTERIOR MATERIAL KEYNOTES

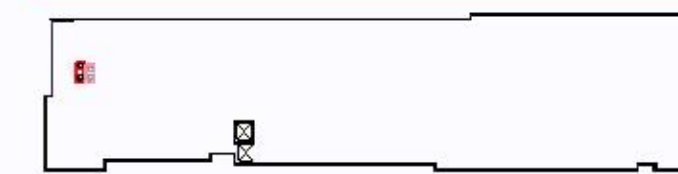
- 1A BRICK VENEER
- 1B CONCRETE MASONRY VENEER
- 5A PREFINISHED METAL WALL PANEL
- 5B COMPOSITE METAL PANEL
- 5C PREFINISHED METAL WALL PANEL
- 6A PAINTED FIBER CEMENT PANEL
- 7A 3-COAT CEMENTITIOUS PLASTER FINISH
- 8A ALUMINUM STOREFRONT SYSTEM
- 8C VINYL WINDOW & DOOR UNITS
- 9A PREFINISHED SHEET METAL FLASHING
- 10A OVERHEAD DOOR
- 11A MODULAR WIRE MESH PANEL SYSTEM
- 12A PREFABRICATED ALUMINUM BALCONY
- 12B PREFINISHED METAL RAILING SYSTEM
- 13A MAGIC-PAK LOUVER EXTERNAL GRILLE
- 13B DECORATIVE PTAC LOUVER EXTERNAL GRILLE

Exterior Material		Percentage
Brick 1A	4%	86%
Glazing	24%	
3-Coat Cementitious Plaster Finish 7A	49%	100%
Concrete Masonry Veneer 1B (Secondary Material)	6%	
Composite Metal 5B (Secondary Material)	0%	
Fiber Cement Panel 6A (Secondary Material)	6%	
	100%	100%



KEYPLAN - SOUTH

Exterior Material		Percentage
Brick 1A	7%	65%
Glazing	22%	
3-Coat Cementitious Plaster Finish 7A	41%	100%
Concrete Masonry Veneer 1B (Secondary Material)	4%	
Composite Metal 5B (Secondary Material)	1%	
Fiber Cement Panel 6A (Secondary Material)	9%	
Overhead Door	1%	
	100%	100%



KEYPLAN - NORTH

Exterior Material		Percentage
Brick 1A	6%	87%
Glazing	19%	
3-Coat Cementitious Plaster Finish 7A	43%	100%
Metal Panel 5A	19%	
Concrete Masonry Veneer 1B (Secondary Material)	8%	
Fiber Cement Panel 6A (Secondary Material)	5%	
	100%	100%

KEYPLAN - EAST

Exterior Material		Percentage
Brick 1A	7%	89%
Glazing	18%	
3-Coat Cementitious Plaster Finish 7A	44%	100%
Metal Panel 5C (Secondary Material)	24%	
Fiber Cement Panel 6A (Secondary Material)	7%	
	100%	100%

KEYPLAN - WEST

Provided the stucco and metal panel 5A meet City requirements the north, south, and east building elevations meet City Code requirements. The west building elevation would take advantage of the OHO exterior material incentive.

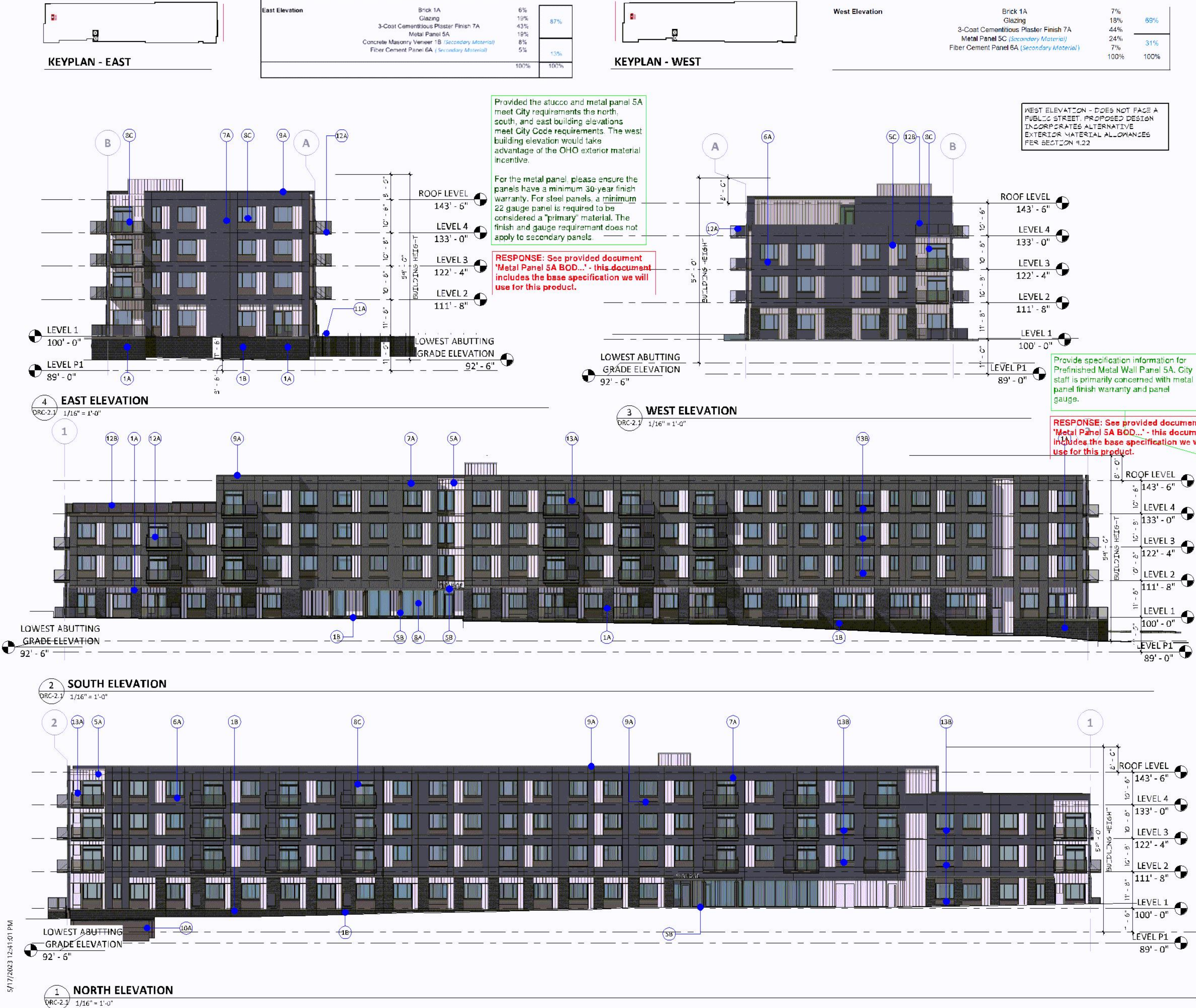
For the metal panel, please ensure the panels have a minimum 30-year finish warranty. For steel panels, a minimum 22 gauge panel is required to be considered a "primary" material. The finish and gauge requirement does not apply to secondary panels.

RESPONSE: See provided document 'Metal Panel 5A BOD...' - this document includes the base specification we will use for this product.

WEST ELEVATION - DOES NOT FACE A PUBLIC STREET, PROPOSED DESIGN INCORPORATES ALTERNATIVE EXTERIOR MATERIAL ALLOWANCES PER SECTION 9.22

Provide specification information for Prefinished Metal Wall Panel 5A, City staff is primarily concerned with metal panel finish warranty and panel gauge.

RESPONSE: See provided document 'Metal Panel 5A BOD...' - this document includes the base specification we will use for this product.





VIEW OF KNOX STREETSCAPE LOOKING NORTHWEST



VIEW OF 80-1/2 STREETSCAPE LOOKING EAST



VIEW OF LANDSCAPE WALL ALONG KNOX AVENUE AND BUILDING RELATIONSHIP WITH EXISTING BUS STOP



AERIAL VIEW OF 80-1/2 STREET FRONTAGE LOOKING NORTH



VIEW ALONG NORTH SIDE OF BUILDING SHOWING DROP-OFF AREA



VIEW OF NORTH ELEVATION LOOKING SOUTHEAST

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