



1. BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY TAKEN FROM SURVEY PERFORMED BY HONSA SURVEYING, LLC, MINNESOTA ON MAY 1, 2023 EXPRESSLY FOR THIS PROJECT. ELAN DESIGN LAB CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
2. CONTRACTOR SHALL BRING ANY CHANGED OR UNFORESEEN CONDITIONS THAT COULD RESULT IN ADDITIONAL COST TO THE ATTENTION OF THE OWNER AND ENGINEER AS SOON AS THEY ARE DISCOVERED SO THAT THEY CAN BE PROPERLY DOCUMENTED. FAILURE TO NOTIFY OR COVERING UN-WITNESSED WORK SHALL RESULT IN REJECTION OF CLAIMS FOR ADDITIONAL COMPENSATION.
3. PROTECT ALL STRUCTURES AND LANDSCAPE NOT LABELED FOR DEMOLITION FROM DAMAGE DURING CONSTRUCTION. ANY ON-SITE OR OFF-SITE AREAS DISTURBED DIRECTLY OR INDIRECTLY DUE TO CONSTRUCTION SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY CIVIL PENALTIES RESULTING FROM THEIR WORK UNDER THIS CONTRACT.
4. LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION LIMITS SHOWN ON THE PLAN, WHERE WORK EXTENDS TO PUBLIC RIGHT-OF-WAY IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY FOR ALL PERMITS, PREPARE ALL DRAWINGS AND PAY ALL FEES AND COSTS. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL ORDINANCES.
5. PROVIDE AND MAINTAIN NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE GENERAL PUBLIC THROUGHOUT THE LIFE OF THE PROJECT.
6. ALL CONSTRUCTION AND DEMOLITION WASTE SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL REQUIREMENTS. ABATEMENT OF ANY MATERIALS DETERMINED TO BE HAZARDOUS SHALL BE REMOVED IN ACCORDANCE WITH REGULATORY REQUIREMENTS.
7. REMOVE ALL EXISTING SURFACE SITE FEATURES INCLUDING, BUT NOT LIMITED TO, BITUMINOUS PAVING, CURBING, WALKWAYS, FENCING, SITE LIGHTING AND RELATED FOUNDATIONS, SITE SIGNAGE AND RELATED FOUNDATIONS AND LANDSCAPING WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
8. COORDINATE RELOCATION, DISRUPTION OF SERVICE AND DEMOLITION OF ANY PRIVATELY OWNED UTILITIES WITH THE APPROPRIATE UTILITY COMPANY. RESTORATION SHALL BE IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS AT CONTRACTOR'S EXPENSE. RE-USE OF ANY EXISTING SERVICES TO BE AT THE DISCRETION OF THE UTILITY OWNER.
9. INSTALL SILT FENCE AND TREE PROTECTION FENCE PRIOR TO COMMENCING GRADING ACTIVITIES. INSTALL TREE PROTECTION FENCE AROUND TREES TO BE SAVED AT A DISTANCE IN FEET FROM TREE EQUAL TO THE TREE DIAMETER (DBH) UNLESS PHYSICALLY IMPOSSIBLE DUE TO PROPOSED WORK. SILT FENCE AND TREE PROTECTION FENCE MUST BE APPROVED BY OWNER STAFF PRIOR TO ANY SITE WORK. MAINTAIN FENCES FOR DURATION OF CONSTRUCTION ACTIVITIES. UPON ESTABLISHMENT OF TURF AND SEEDING, REMOVE FENCES AND DISPOSE OFFSITE.
10. NO MATERIALS, VEHICLES, OR EQUIPMENT CAN BE STORED WITHIN THE TREE PROTECTION AREAS.

LEGEND

-  REMOVE BITUMINOUS PAVEMENT
 REMOVE CONCRETE
 NO DISTURBING SUBGRADE
 REMOVE GRAVEL
 NO DISTURBING SUBGRADE
 1-1/2" WEAR COURSE MILL & OVERLAY
 REMOVE CURB & GUTTER
 CONSTRUCTION LIMITS

Show easements on all sheets. 10' drainage and utility easement along street frontage. 15' sidewalk/bikeway easement along Bloomington Ferry Road and 10' walkway easement along Landau Circle.

Add Note that the 15' bituminous multi-use trail on the west side of Bloomington Ferry Road should remain open and unobstructed during site construction.

ARCHITECT

**ARCHITECTURAL
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612-436-4030

PROJECT

PL202400061
PL2024-61

PIG ATE MY PIZZA

BLOOMINGTON, MINNESOTA

SHEET INDEX

LAND USE
APPLICATION
05/01/2024

[illegible]

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CERTIFICATION

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Stephen M. Johnston
REGISTRATION NO. 18914

DATE
05/01/2024

SHEET

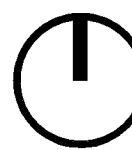
DEMOLITION PLAN

C-010

PROJECT NO. ARC24021



Know what's below.
Call before you dig.



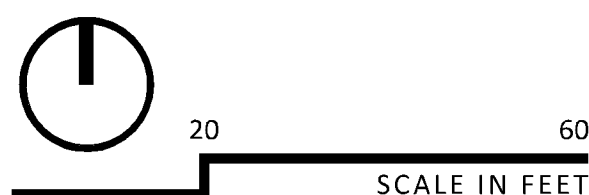
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SCALE IN FEET

DEMOLITION PLAN

 $1'' = 20$



1. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
2. ALL WORK TO COMPLY WITH CURRENT MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS NOTED.
3. ON-SITE GRANULAR SOIL IS GENERALLY SUITABLE FOR STRUCTURAL FILL. SILT, CLAY OR ORGANIC SOILS SHALL NOT BE USED FOR STRUCTURAL FILL. PLACEMENT OF STRUCTURAL FILL SHALL BE OBSERVED AND TESTED BY AN EXPERIENCED TECHNICIAN OR ENGINEER TO VERIFY THAT PROPER COMPACTION HAS BEEN ACHIEVED. STRUCTURAL FILL SHALL BE PLACED IN CONDITIONS DRY OR NEARLY DRY, AS APPROPRIATE PRIOR TO PLACEMENT. MOISTURE-CONDITIONED ENGINEERED FILL SHALL BE PLACED AND COMPACTED IN LOOSE LIFTS OF 8 INCHES OR LESS. EACH LIFT OF FILL SHOULD BE COMPACTED BY LARGE VIBRATORY EQUIPMENT UNTIL THE IN-PLACE SOIL DENSITY IS EQUAL TO OR GREATER THAN THE CRITERIA ESTABLISHED WITHIN THE FOLLOWING TABULATION.

7. CONCRETE MIX NO. 3F52 (MNDOT 2461) SHALL BE USED FOR HAND PLACED FORMED CURB AND GUTTER, MEDIANS, DRIVEWAYS, CROSS GUTTERS, SIDEWALKS, PEDESTRIAN RAMPS AND MEDIANS. CONCRETE MIX NO. 3F32, MNDOT SPECIFICATION 2461) SHALL BE USED FOR AN EXTRUSION MACHINE PLACEMENT OF CONCRETE. IN THE PRODUCTION OF CONCRETE, AN AIR ENTRAINING AGENT SHALL BE ADDED TO THE MIX ACCORDING TO MNDOT 2461.4.
8. FORM COATING MATERIAL SHALL MEET MNDOT 3902.
9. CONCRETE INSTALLATION SHALL CONFORM WITH MNDOT 2531.
10. SITE CONCRETE FINISHING - CONCRETE SHALL BE STRUCK TRUE TO CROSS SECTION AS SHOWN ON THE PLANS. IN ADDITIONAL, WATER MAY BE ADDED TO AID IN THE FINISHING PROCESS. A LIGHT BROOM FINISH WILL BE REQUIRED AT RIGHT ANGLES TO THE CENTER LINE ON ALL CONCRETE WORK UNLESS DIRECTED OTHERWISE. ALL EXPOSED EDGES AND JOINTS IN CURB, GUTTER, SIDEWALK AND STEPS SHALL BE ROUNDED WITH A SUITABLE EDGING TOOL. BEFORE FINAL FINISHING, THE CONTRACTOR SHALL CHECK THE CONCRETE WITH A TEN (10) FOOT STEEL STRAIGHT EDGE TO ENSURE THERE IS NO VARIATION GREATER THAN 3/16" FROM THE STRAIGHT EDGE ON TANGENT LINES OR GRADES. IF DEVIATIONS GREATER THAN 3/16" ARE FOUND THE WORK WILL BE CONSIDERED AS UNACCEPTABLE AND WILL BE REQUIRED TO BE REMOVED AND REPLACED AT NO EXPENSE TO THE OWNER.
11. CONCRETE CURING SHALL BE PERFORMED BY APPLYING A MEMBRANE CURING COMPOUND (TYPE 2, WHITE PIGMENTED, MNDOT 3754) TO THE EXPOSED SURFACE OF THE CONCRETE WITHIN ONE (1) HOUR AFTER FINISHING THE CONCRETE SURFACES. WHEN THE FORMS ARE REMOVED IN LESS THAN 72 HOURS AFTER PLACING THE CONCRETE, THE CURING COMPOUND SHALL BE APPLIED IMMEDIATELY TO THE EXPOSED SURFACES. THE RATE OF APPLICATION OF CURING COMPOUND SHALL BE 150 SQUARE FEET PER GALLON. THE COMPOUND SHALL APPEAR AS WHITE AS A SHEET OF PAPER AFTER APPLICATION ON THE CONCRETE SURFACE.
12. PREFORMED EXPANSION JOINTS SHALL MEET MNDOT 3702, AND SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS: AT THE BEGINNING AND END OF ALL CURB AND GUTTER RADII, WHERE NEW CONCRETE SURROUNDS, ADJOINS, OR ABUTS ANY EXISTING FIXED OBJECTS SUCH AS FIRE HYDRANTS, BUILDING FOUNDATIONS, CONCRETE DRIVEWAYS, SIDEWALKS, AND OTHER STRUCTURES. CONCRETE SHALL BE PLACED AND FINISHED WHEN PLACING CURB AND EVERY 100 FEET WHEN PLACING SIDEWALK. CONTRACTION JOINTS WILL NOT BE SEALED BUT WILL BE REQUIRED AT A SPACING OF 10 FEET ON CURB AND GUTTER AND ON SIDEWALK CONSTRUCTION AS SHOWN ON THE PLAN. CONTRACTION JOINTS WILL BE CUT TO A DEPTH 1/3 THE THICKNESS OF THE CONCRETE, SURFACE AND BACK OF ALL CURBS. CONTRACTION JOINTS SHALL BE PLACED SO THAT NO SLAB IS LARGER THAN 100 SQUARE FEET IN AREA. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING CONTRACTION JOINTS THAT PREVENT CONCRETE FROM CRACKING AT OTHER LOCATIONS.

- ## LEGEND

	HEAVY DUTY BITUMINOUS PAVEMENT		BITUMINOUS PAVEMENT SEE NOTE 7/C.101		SILT FENCE
	LIGHT DUTY BITUMINOUS PAVEMENT		EROSION CONTROL BLANKET		TREE PROTECTION FENCE
	CONCRETE PAVEMENT		1086 MINOR PROPOSED CONTOUR		URBAN CONSTRUCTION SITE PERIMETER CONTROL
	ENGINEERED WOOD FIBER PLAY SURFACE		1085 MAJOR PROPOSED CONTOUR		STORM STRUCTURE PROTECTION
	SOD & LANDSCAPE RESTORATION SEE L-101		1099 MINOR EXISTING CONTOUR		CONSTRUCTION LIMITS
			1100 MAJOR EXISTING CONTOUR		
			966.3' ± MATCH EXISTING		
			966.35' TC TOP OF CURB		

1. THE DIMENSIONS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. CONTRACTOR TO OBTAIN DIGITAL FILE FROM ENGINEER TO BE USED FOR ALL CONSTRUCTION STAKING AND SITE LAYOUT.
2. ALL DISTURBED AREAS WITH FLATTER THAN 4:1 SLOPE THAT ARE NOT STABILIZED BY SOME OTHER METHOD SHALL BE STABILIZED WITH PROMATRIX ENGINEERED FIBER MATRIX AND SEEDED AS SPECIFIED.
3. REMOVE SILT FENCE AFTER VEGETATION IS ESTABLISHED.
4. PROVIDE TEMPORARY SEEDING OR FINAL LANDSCAPING WITHIN 72 HOURS OF COMPLETION OF GRADING OR 7 DAYS OF INACTIVITY.
5. REFER TO THE LANDSCAPE PLAN FOR FINAL REVEGETATION REQUIREMENTS.
6. FOLLOW SEED SPECIFICATIONS, SITE PREPARATION, SEEDING METHODS, SEEDING ESTABLISHING AND MAINTENANCE AS PER THE MNDOT SEEDING MANUAL 2023 AND MNDOT SPECIFICATION 2575.3 AND 3876, UNLESS NOTED OTHERWISE.
7. EROSION CONTROL MEASURES SHOWN SHOULD BE CONSIDERED THE MINIMUM. THE CONTRACTOR MAY NEED TO ADD ADDITIONAL EROSION CONTROL BMPs OR REPLACE EROSION CONTROL MEASURES DURING CONSTRUCTION TO PROTECT THE SITE AND MAINTAIN COMPLIANCE WITH THE SWPPP.
8. CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. DO NOT ENTER UPON PRIVATE PROPERTY. LIMIT DISTURBANCE WITHIN PUBLIC RIGHTS OF WAY TO THE ABSOLUTE MINIMUM REQUIRED TO COMPLETE THE WORK AS SHOWN ON THESE PLANS.

ARCHITECT

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PIG ATE MY PIZZA

BLOOMINGTON, MINNESOTA

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CERTIFICATION

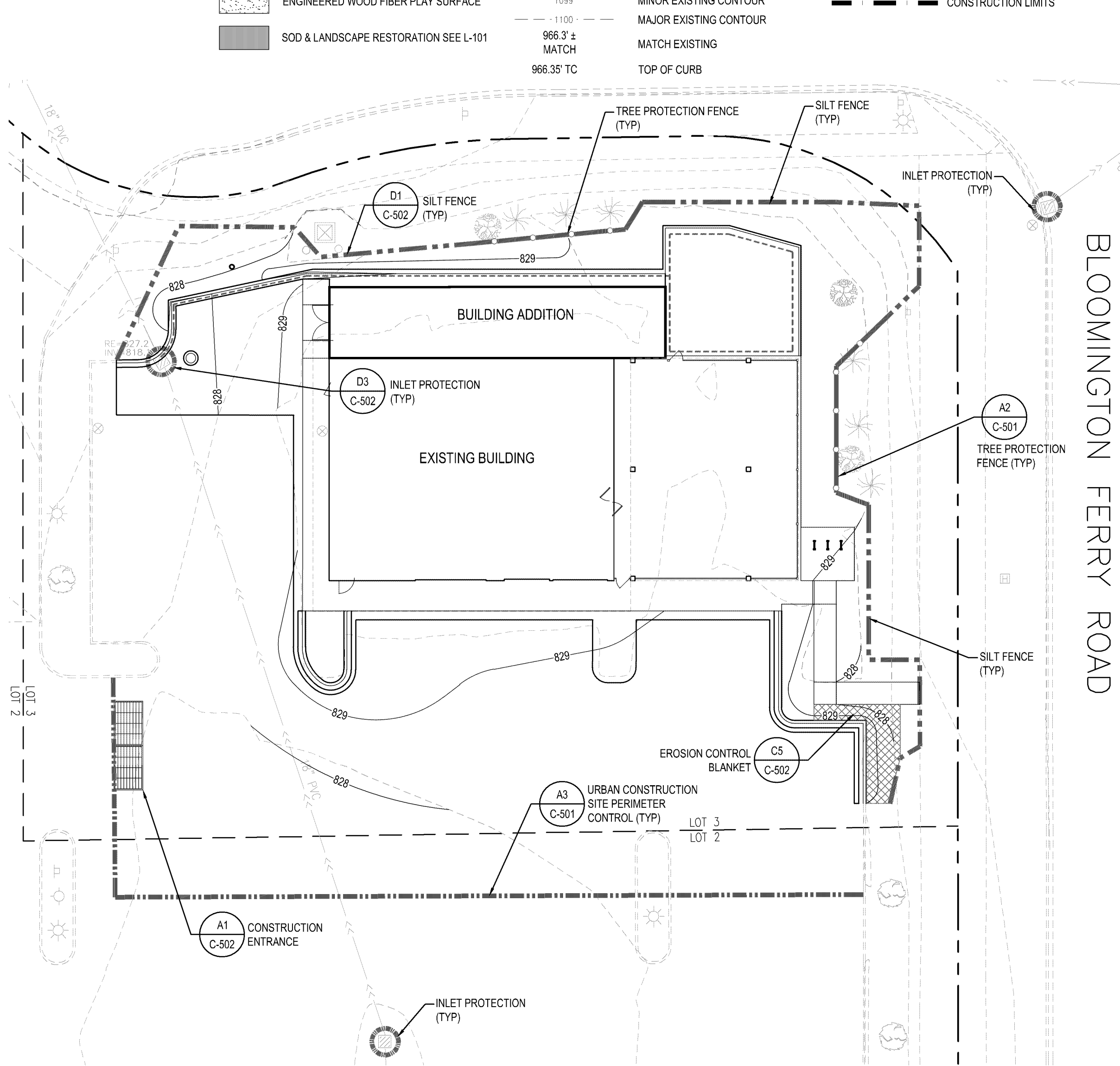
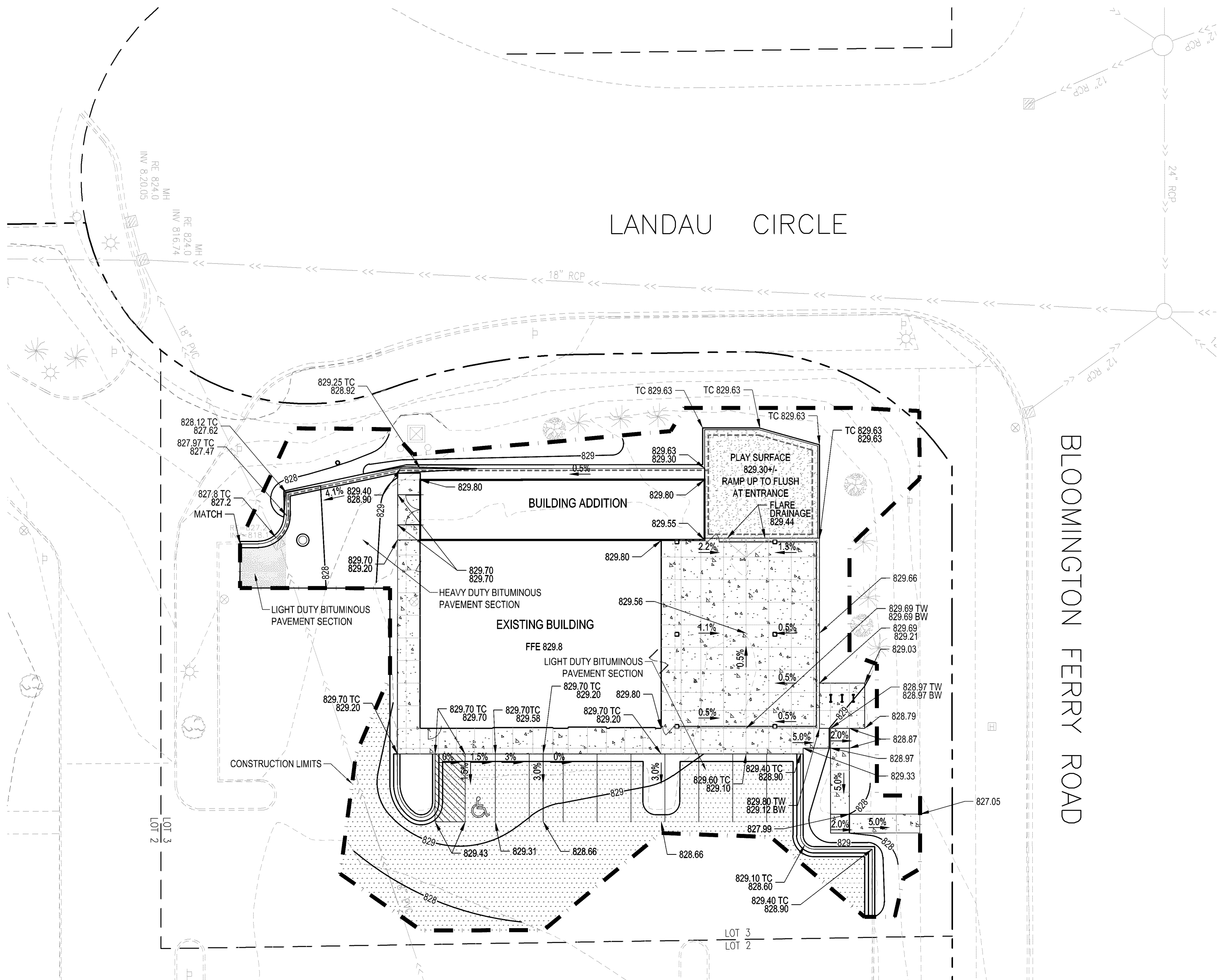
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GRADING PLAN
AND EROSION & SEDIMENT
CONTROL PLAN
C-201

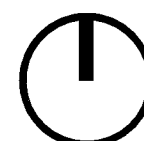
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ARC24021



EROSION & SEDIMENT CONTROL PLAN

 $1'' = 20'$ 

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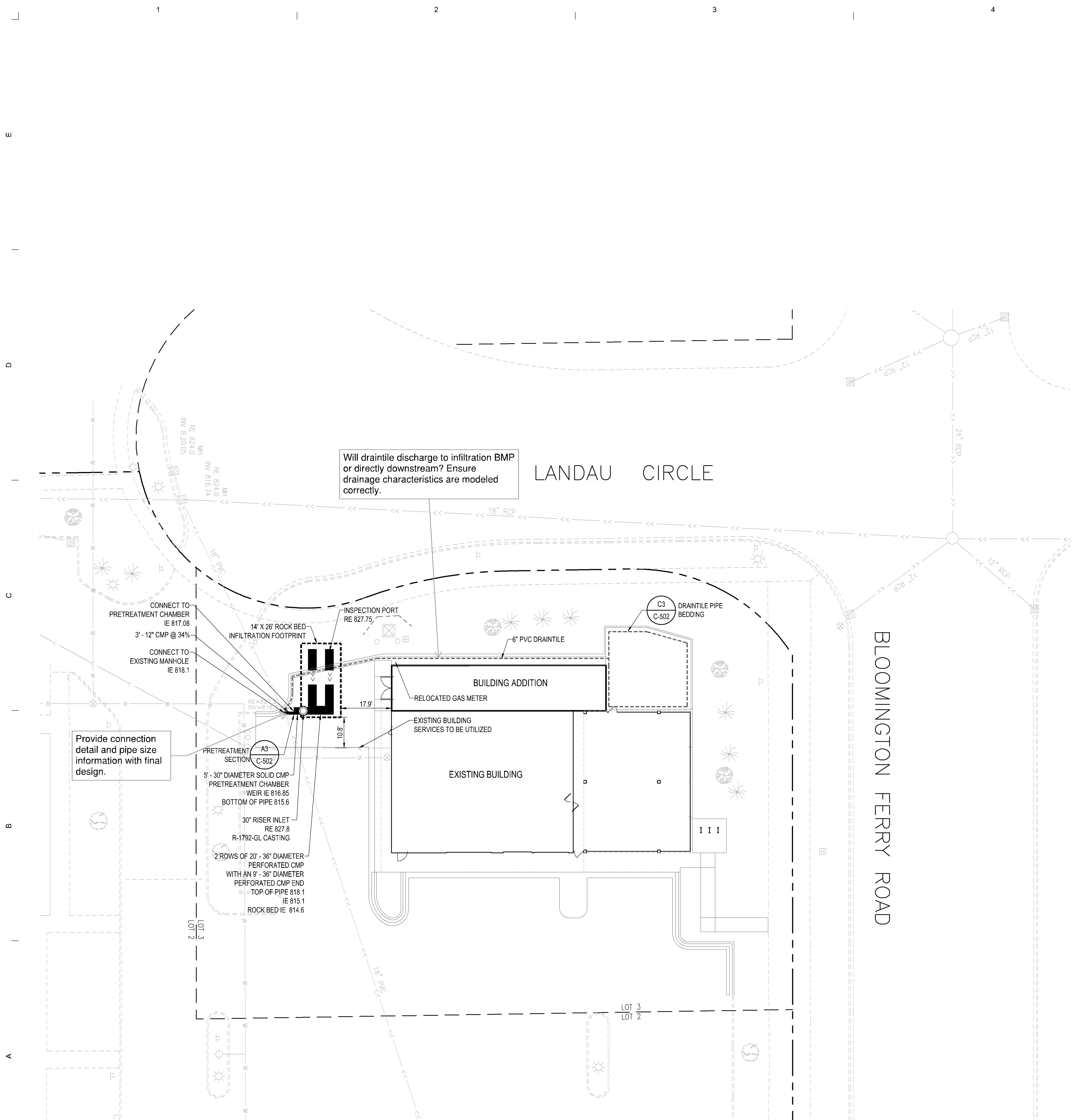
20

60

SCALE IN FEET

A1 GRADING PLAN
1" = 20'

$$1'' = 20'$$



UTILITY NOTES

1. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
2. PIPE MATERIALS:

STORM SEWER	CMP
DRAIN TILE	PVC SCH 40
3. ALL UTILITY CONSTRUCTION TO CONFORM WITH MINNESOTA PLUMBING CODE, AND CITY OF BLOOMINGTON STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
4. ADJUST ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS TO MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
5. RIM ELEVATIONS ON CURBS HELD DOWN 2", RIM ELEVATION IN CONCRETE DRIVEWAY HELD DOWN 1", RIM ELEVATIONS ON POOL DECK HELD DOWN 3" FROM ELEVATION SHOWN ON GRADING PLAN.

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SHEET

UTILITY PLAN

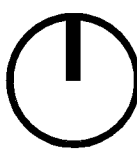
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PROJECT NO.

ARC24021

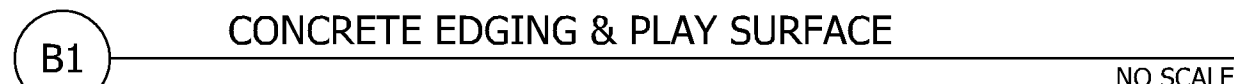
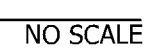
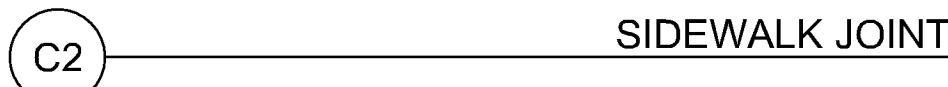
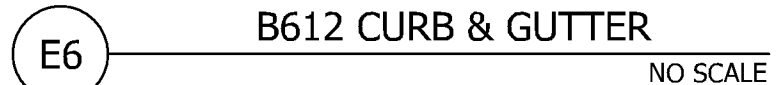


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20 60
SCALE IN FEET

A1 UTILITY PLAN
1" = 20'



-
- A diagram showing a tree planted in a tree well. The tree well is a rectangular area defined by a dashed line. The height of the tree well is indicated by a vertical dimension line on the right, labeled "4-FT MIN". The tree's trunk is centered within the well. The tree's canopy is shown above the well. The tree's root system is shown below the well, with a horizontal dimension line labeled "DRIPLINE" indicating the area covered by the roots.



ATTACH EACH 2 x 6 CROSS BRACE TO THE 4 x 4 TREATED WOOD POST WITH 2-3" x 1/4" GALVANIZED LAG BOLTS WITH WASHERS (TYP.)

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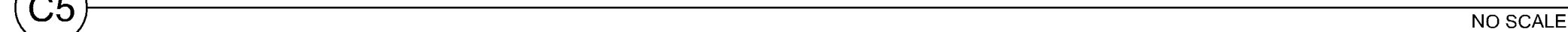
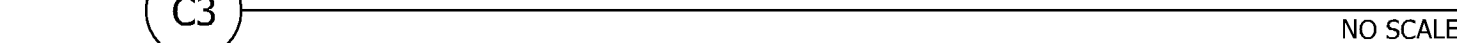
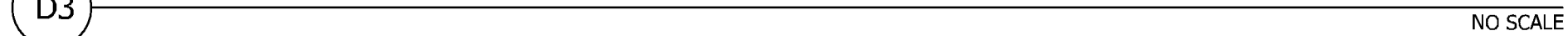
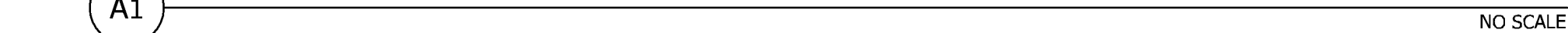
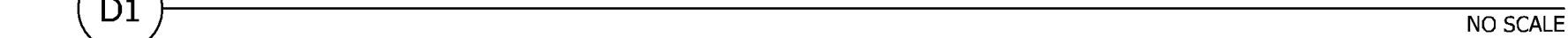
SHEET

DETAILS

C-501

PROJECT NO. _____

ARC24021



INSPECT ALL MULCHES PERIODICALLY, AFTER RAINSTORMS TO CHECK FOR RILL EROSION, DISLOCATION, OR FAILURE. WHEN EROSION IS OBSERVED, APPLY ADDITIONAL MULCH. IF WASHOUT OCCURS, REPAIR THE SLOPE GRADE, RESEED, AND REINSTALL MULCH. CONTINUE INSPECTIONS UNTIL VEGETATION IS FIRMLY ESTABLISHED.

LANDSCAPE NOTES

1.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
2.

ALL PLANT MATERIALS ARE TO CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASES, DAMAGE, AND DISFIGURATION.
3.

QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
4.

TOPSOIL TO BE MNDOT 3877.2B LOAM TOPSOIL BORROW FOR LANDSCAPED AREAS AND PLANTING BEDS. PROVIDE ROOTING TOPSOIL BORROW MNDOT 3877.2E FOR PLANT RESTORATION, WATER QUALITY AND INFILTRATION PLANTING.
5.

PLANTING SOIL TO BE CONSISTED OF 60% SELECT TOPSOIL BORROW (MNDOT 3877) AND 20% OF PEAT AND NO MORE THAN 20% OF SAND OR GRAVE. PLANTING SOIL TO HAVE A PH BETWEEN 6.5-7.5, BE FREE OF CHEMICAL CONTAMINANTS, DEBRIS, LARGE ROCKS GREATER THAN 1/2" DIAMETER, AND FRAGMENTS OF WOOD. SUBSOIL SHALL BE SCARIFIED TO A DEPTH OF 4" BEFORE PLANTING SOIL IS SPREAD.
6.

SPREAD PLANTING SOIL AT MINIMUM EIGHTEEN (18) INCH DEEP IN ALL PLANTING BEDS PRIOR TO PLANTING. THOROUGHLY WATER TWICE TO FACILITATE CONSOLIDATION PRIOR TO PLANTING. DO NOT OVERLY COMPACT SOIL.
7.

MULCH TO BE SHREDDED HARDWOOD BARK MULCH (MNDOT 3882 TYPE 6), CONSISTED OF RAW WOOD MATERIAL FROM TIMBER AND BE A PRODUCT OF A MECHANICAL CHIPPER, HAMMER MILL, OR TUB GRINDER. THE MATERIAL SHALL BE SUBSTANTIALLY FREE OF MOLD, DIRT, SAWDUST, AND FOREIGN MATERIAL AND SHALL NOT BE IN AN ADVANCED STATE OF DECOMPOSITION. THE MATERIAL SHALL NOT CONTAIN CHIPPED UP MANUFACTURED
8.

APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREES. NO ALUMINUM EDGING IS REQUIRED.
9.

EDGE ALL SHRUB BEDS WITH 3/16" X 5.5" MILL FINISHED ALUMINUM EDGING WITH STAKES. ALL EDGING TO BE COMMERCIAL GRADE.
10.

APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL SHRUB BED AREAS AND APPLY THREE (3) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN PERENNIAL AREAS. PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS.
11.

APPLY THREE (4) INCH DEPTH OF 2-3 INCH TRAP ROCK MULCH OVER WEED BARRIER FABRIC IN AREAS INDICATED ON PLAN.
12.

WEED BARRIER FABRIC TO BE BLACK POLYPROPYLENE SHEET 5 OZ/SQ.YD. TENSILE STRENGTH PER ASTM D-4632, PRODUCT BY DEWITT COMPANY OR APPROVED EQUAL.
13.

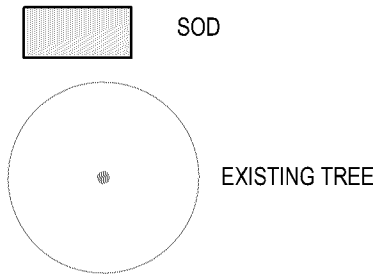
SOD SHOWN ON LANDSCAPE PLAN TO BE INSTALLED BY LANDSCAPE CONTRACTOR. SOD TO BE MNDOT 3878.2A, DENSE, AND OF UNIFORM TEXTURE, FREE OF WEEDS AND DISEASE. APPLY MINIMUM SIX (6) INCHES OF SELECT TOPSOIL BORROW AND THOROUGHLY APPLY FERTILIZER TO TOP TWO (2) INCHES BEFORE LAYING SOD. LANDSCAPE CONTRACTOR TO MAINTAIN SODDED AREAS IN HEALTHY CONDITION UNTIL FIRMLY ROOTED.
14.

LANDSCAPED AREAS AS INDICATED ON PLAN SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. NO WATER IS ALLOWED ON ANY PAVEMENT, PARKING, WALKWAY, AND BUILDING. THE IRRIGATION CONTRACTOR IS TO DESIGN AND SUBMIT SHOP DRAWING OF IRRIGATION DESIGN AND CALCULATIONS TO LANDSCAPE ARCHITECT FOR REVIEW 5 DAYS PRIOR TO PURCHASING AND INSTALLATION. IRRIGATION DESIGN IS TO MEET ALL CITY AND STATE PLUMBING CODES AND REQUIREMENTS.
15.

FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
16.

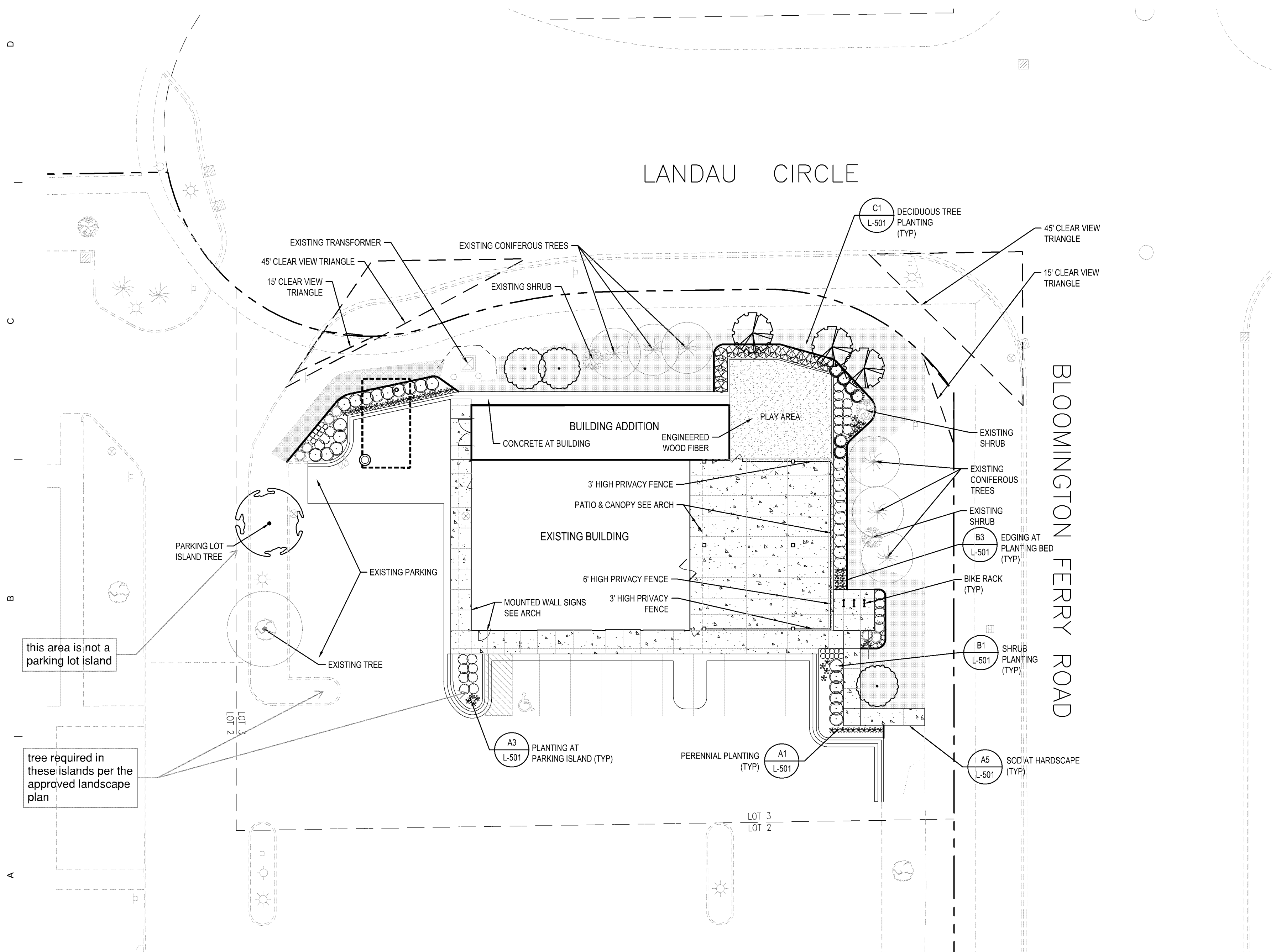
LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTS IN HEALTHY CONDITION THROUGHOUT WARRANTY PERIOD. THE WARRANTY PERIOD IS TWO FULL YEARS FROM DATE OF PROVISIONAL ACCEPTANCE UNTIL FINAL ACCEPTANCE. WARRANTY PERIOD FOR PLANT MATERIAL INSTALLED AFTER JUNE 1ST SHALL COMMENCE THE FOLLOWING YEAR.

LEGEND



LANDAU CIRCLE

BLOOMINGTON FERRY ROAD



LANDSCAPE SUMMARY

ZONED: B-2 (PD) GENERAL COMMERCIAL

SEC 21.301.15 LANDSCAPING & SCREENING

DEVELOPABLE LANDSCAPING AREA (DEVELOPMENT SITE) = 31,592 SF.

	REQUIRED	PROVIDED
1 TREE / 2,500 SF. OF DEVELOPABLE LANDSCAPING AREA	13 TREES	TOTAL 13 TREES 6 DECIDUOUS TREES 7 RETAINED EXISTING ON-SITE TREES (4" MIN. DECIDUOUS, 6' HT CONIFEROUS)
1 SHRUB / 1,000 SF OF DEVELOPABLE LANDSCAPING AREA (50% MAX. CAN BE PERENNIALS, 4 PERENNIALS = 1 SHRUB)	32 SHRUBS	TOTAL 82 SHRUBS
LANDSCAPE YARD	20' MIN. TO RIGHT-OF-WAY 5' MIN. NOT ADJACENT TO STREET	20' MIN. TO RIGHT-OF-WAY, 14.7' TO PUBLIC WALK N/A
PARKING LOT ISLAND	1 DECIDUOUS TREE/ PARKING ISLAND	1 EXISTING TREE & 1 NEW DECIDUOUS TREE
PERIMETER SCREENING	SCREENING ABUTTING RESIDENTIAL DISTRICT	N/A
PARKING LOT SCREENING	WHERE 40' LESS DISTANCE BETWEEN PARKING LOT & STREET 3' MIN. - 4' MAX. SCREENING (2' HIGH AT PLANTING & 3' MIN. MATURE FOR SHRUB)	3' HIGH MIN. SHRUBS (2' MIN. AT PLANTING)

PLANT SCHEDULE

KEY	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
DECIDUOUS TREES						
	1	STREET KEEPER HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'DRAVES'	2.5" CAL.	B&B	40'H X 20'W
	3	DAKOTA PINNACLE BIRCH	BETULA PAPPYRIFERA 'FARGO'	10' CLUMP	B&B	35'H X 12'W
	3	ARMSTRONG GOLD RED MAPLE	ACER RUBRUM 'JFS-KW78'	2.5" CAL.	B&B	35'H X 12'W
SHRUBS						
	10	ARCTIC FIRE DOGWOOD	CORNUS SERICEA 'FARROW'	24" HT.	POT	4'H X 4'W
	20	KODIAK ORANGE BUSH HONEYSUCKLE	DIERVILLA 'G2288544'	24" HT.	POT	3'H X 4'W
	7	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	18" SP.	POT	1.5'H X 4'W
	6	DWARF NORWAY SPRUCE	PICEA ABIES 'PUMILA'	24" HT.	POT	3'H X 4'W
	25	TOR BIRCHLEAF SPIREA	SPIRAEA BETULIFOLIA 'TOR'	18" HT.	POT	2.5'H X 3'W
	14	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	24" HT.	POT	4'H X 5'W
PERENNIALS						
	80	SHENANDOAH SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	1 GAL	POT	3'H X 2'W
		PASSIONATE RETURNS DAYLILY	HEMEROCALLIS 'PASSIONATE RETURNS'	1 GAL	POT	1.5'H X 2'W
		DEAMII BLACK EYED SUSAN	RUDBECKIA FULGIDA 'DEAMII'	1 GAL	POT	2'H X 2'W
		BLUE BY YOU SALVIA	SALVIA X 'BLUE BY YOU'	1 GAL	POT	2'H X 2'W

SUBSTITUTIONS: IF ANY SUBSTITUTIONS ARE REQUIRED, SUBMIT WRITTEN DOCUMENTS AND PROPOSED SUBSTITUTIONS TO LANDSCAPE ARCHITECT FOR APPROVAL 5 DAYS PRIOR TO PURCHASE AND/OR INSTALLATION. NO MORE THAN 1/3 OF PROPOSED TREES CAN BE THE SAME SPECIES.

ARCHITECT

ARCHITECTURAL CONSORTIUM L.L.C.

901 NORTH THIRD STREET,
SUITE 220
MINNEAPOLIS, MN 55401
612-436-4030

PROJECT

PL202400061
PL2024-61

PIG ATE MY PIZZA

BLOOMINGTON, MINNESOTA

SHEET INDEX

LAND USE APPLICATION
05/01/2024

ISSUE DATE

Elan
DESIGN LAB
CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE
310 4TH AVE SOUTH, SUITE 1006
MINNEAPOLIS, MN 55415
p 612.260.7980
f 612.260.7990 | www.elanlab.com

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.

Plarsmee Saralithong DATE
REGISTRATION NO. 45059 05/01/2024

SHEET

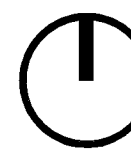
LANDSCAPE PLAN

L-101

PROJECT NO.
ARC24021



Know what's below.
Call before you dig.



20

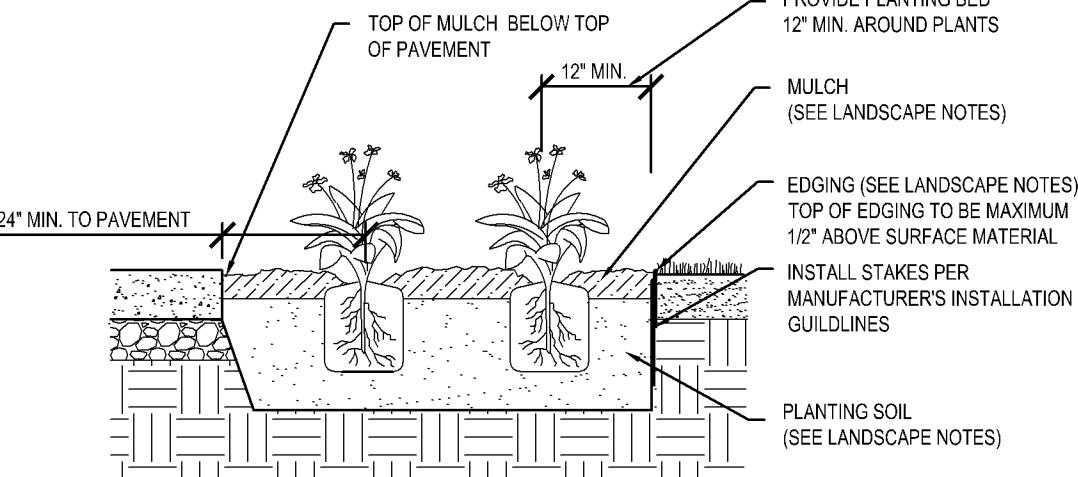
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SCALE IN FEET

A1 LANDSCAPE PLAN
1" = 20'



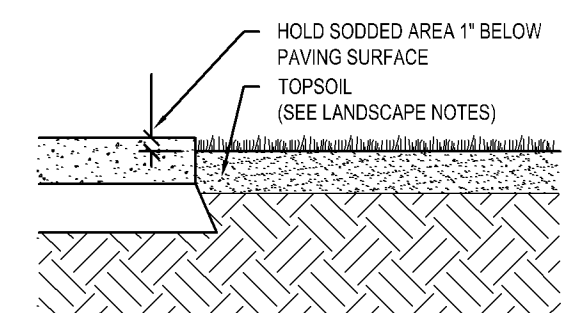
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Client

Soul Brothers, LLC
Contact: Mike Brown
Mobile: 612.986.2083
mike.brown.travail@gmail.com

Architectural Design

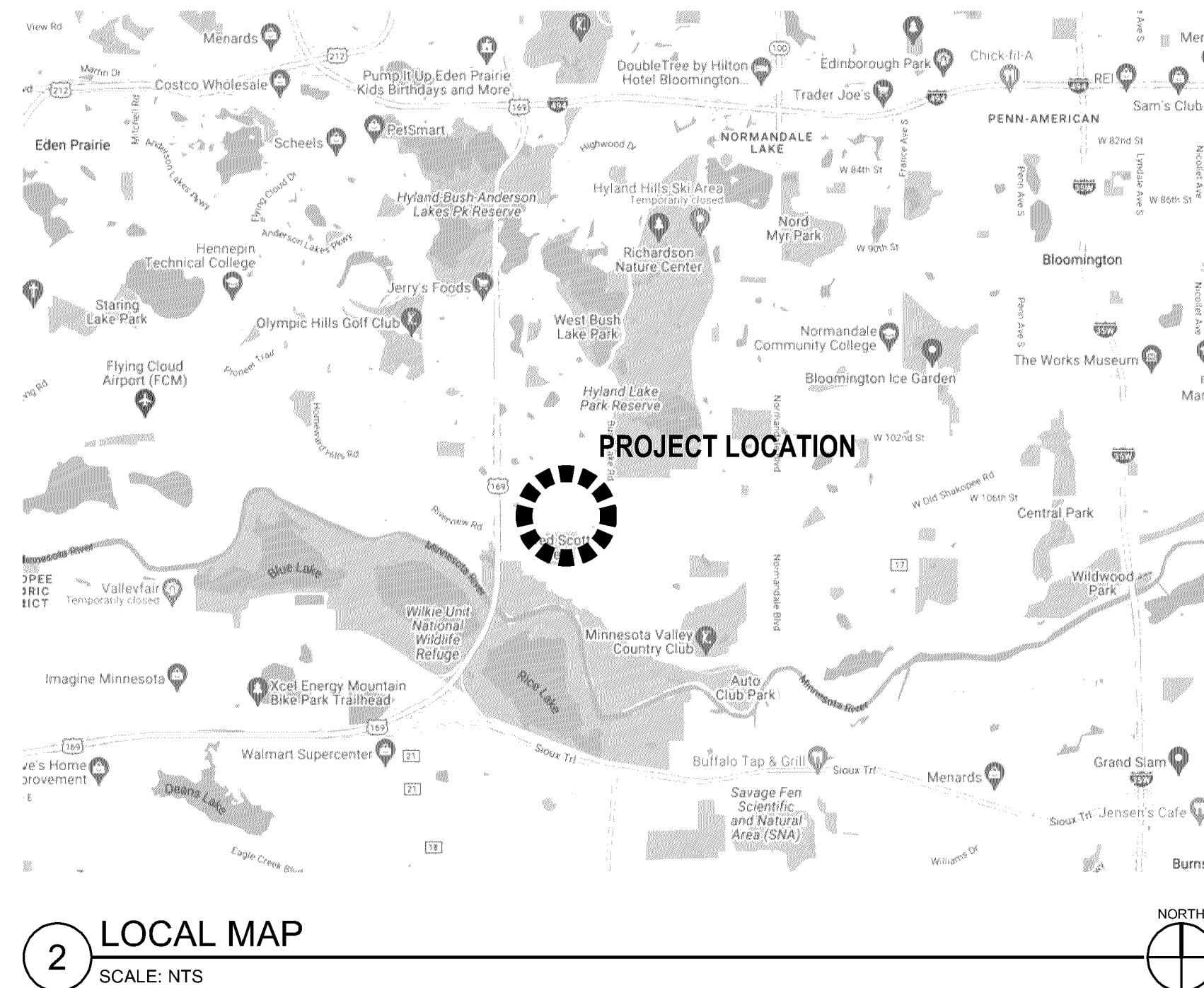
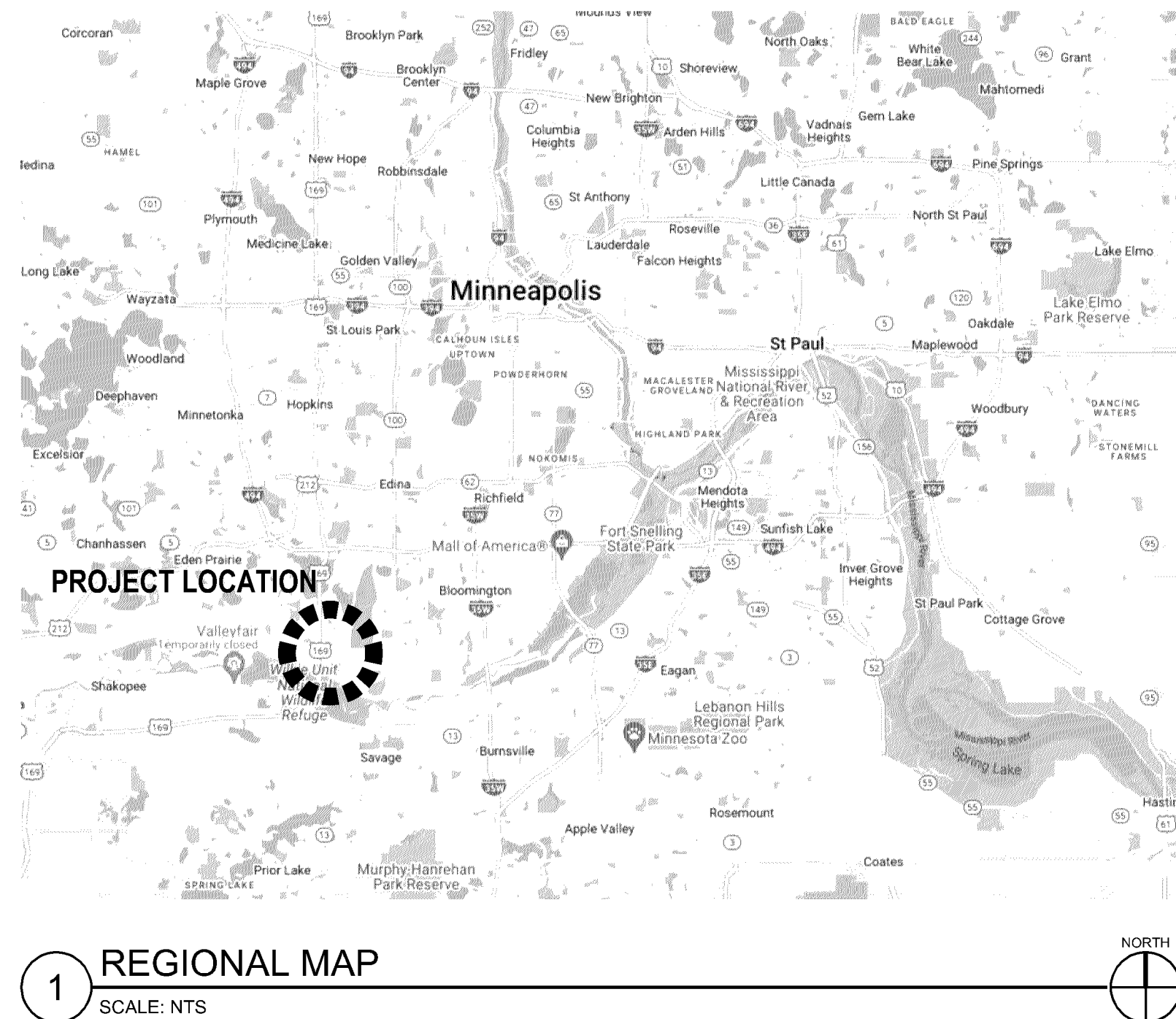
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annabeth@pkarch.com

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christians@alignstructural.com

Civil Engineer

Elan Design Lab
Contact: Steve Johnston
Mobile: 612.982.4804
sjohnston@alenlab.com

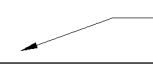
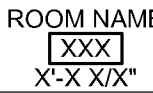
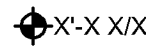
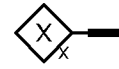
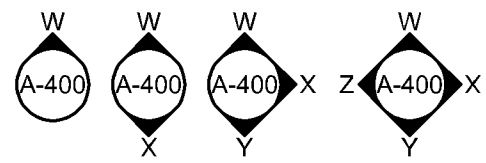
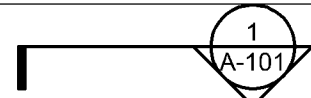
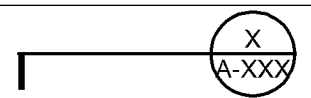
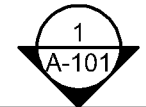
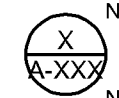
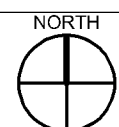
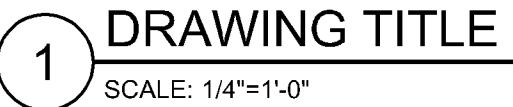
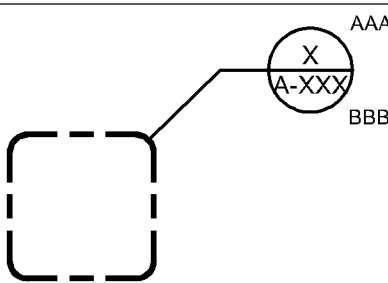


Provide an Environmental Health Plan Review application with plan submittal for each proposed food facility.

Provide specification sheets during plan submittal on all new and used equipment being proposed for use in this facility.

Any additions or changes to food service must be approved by the Health Department prior to construction if required

Provide a minimum of ceramic tile to six feet in height and two feet beyond all two- and three-compartment sinks, dish washing machines, and food preparation areas designated on the plan. Stainless steel may be used in place of ceramic tile. (City Code Sec. 14.452 (a)(4)(C))

	DRAWING NOTE	DRAWING NOTES
	DRAWING NOTE	
		DRAWING NOTES
		
	ROOM NAME XXX X-X X/X"	ROOM NUMBER W/ CEILING HT IF NOT TYPICAL
	M.L. FINISHED FLR 100'-0 3/4"	HORIZONTAL ELEVATION INDICATOR
	X'-X X/X"	SPOT ELEVATION INDICATOR
	X	WALL TYPE INDICATOR
	1	CIRCLE ID
	1	REVISION ID
	1	KEY NOTE ID
	1	DIAMOND ID
	M.01	WINDOW/ EXTERIOR DOOR ID
	101	INTERIOR DOOR ID
	1	FURNITURE/EQUIPMENT ID/ SHADE MOTORS
	W A-400 W A-400 W A-400 W A-400 X	INTERIOR ELEVATION ID
	1 A-101	SECTION CUT INDICATOR
	X A-XXX	DETAIL INDICATOR
	1 A-101	EXTERIOR ELEVATION TAG
	NOTE X A-XXX NOTE	DETAILTAG
	NORTH	NORTH ARROW
	1 DRAWING TITLE SCALE: 1/4"=1'-0"	DRAWING TITLE
	AAA X A-XXX BBB	DETAIL BUBBLE

TRAVAIL
PAMP 2.0

10700 BLOOMINGTON
FERRY RD
BLOOMINGTON, MN 55438

PL202400061
PL2024-61

SHEET INDEX

•	T-001	TITLE SHEET
•	A-100	PROPOSED FLOOR PLAN
•	A-200	EXTERIOR ELEVATIONS
•	A-201	EXTERIOR ELEVATIONS
•	C-010	DEMOLITION PLAN
•	C-101	SITE PLAN
•	C-201	GRADING AND EROSION & SEDIMENT CONTROL PLAN
•	C-301	UTILITY PLAN
•	C-501	DETAILS
•	C-502	DETAILS
•	L-101	LANDSCAPE PLAN
•	L-501	LANDSCAPE DETAILS

GENERAL NOTES

1. ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- 1.1. <-X-XX> = FINISH TO FINISH DIMENSION
- 1.2. <-X-XX" = FINISH TO FRAMING DIMENSION
- 1.3. X'-XX"> = FRAMING TO FINISH DIMENSION
2. ALL CONSTRUCTION SHALL CONFORM TO ALL CODES APPLICABLE AT THE TIME OF PERMIT ISSUANCE.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYMENT OF THEIR OWN PERMITS, LICENSES AND INSURANCES.
4. CONTRACTOR IS TO FOLLOW CITY OF BLOOMINGTON CONSTRUCTION MANAGEMENT AGREEMENT.
5. CONTRACTOR IS TO ASK PKA. ARCHITECTURE FOR CLARIFICATION OF ANY DIMENSIONS, CONSTRUCTIONS OR DETAILS THAT ARE NOT UNDERSTOOD PRIOR TO ANY CONSEQUENT WORK. CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS AND DIMENSIONS NOTED IN THESE DOCUMENTS AND VERIFY ALL ON SITE CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF PKA. ARCHITECTURE PRIOR TO ANY CONSEQUENT WORK. ANY CORRECTIONS THAT ARE NEEDED BASED ON CONTRACTOR ASSUMPTIONS ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
6. INSTALL ALL FLASHING @ DOORS & WINDOWS PER SPECIFIED DOOR & WINDOW INSTALLATION INSTRUCTIONS AND PER CONSTRUCTION DETAILS.
7. SEE WINDOW & DOOR SCHEDULE FOR ADDITIONAL INFORMATION. NOTIFY PKA. ARCHITECTURE OF ANY DISCREPANCIES BETWEEN SCHEDULES AND DRAWINGS PRIOR TO ANY FABRICATION, ORDERING, OR CONSTRUCTION.
8. ALL GLASS (WINDOWS AND GUARDRAILS) TO BE TEMPERED PER CODE.
9. PROVIDE BLOCKING AT ALL CABINET FIXTURES AND EQUIPMENT PER MANUFACTURERS SPECIFICATIONS.
10. SEE PRODUCT SPECIFICATION DOCUMENT FOR INTERIOR FINISHES & INSTALLATION REQUIREMENTS. (OWNER TO PROVIDE PRODUCT SPECIFICATION)
11. ELECTRICAL SUBCONTRACTOR TO COORDINATE ELECTRICAL DESIGN REQUIREMENTS WITH MECHANICAL SYSTEMS DESIGN. ELECTRICAL, PLUMBING, R/C, DESIGN, A/V/ SYSTEMS DESIGN AND ANY OTHER ASSOCIATED TRADES IN DESIGN OF THE COMPLETE ELECTRICAL SYSTEM. ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR PERFORMANCE OF THE COMPLETE ELECTRICAL SYSTEM. SEE PRODUCT AND MATERIALS SCHEDULE FOR ADDITIONAL INFORMATION.
12. PROVIDE FIRE/SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AT ALL LOCATIONS AS REQUIRED BY CODE. VERIFY LOCATION IN FIELD W/ PKA. ARCHITECTURE PRIOR TO WIRING/ INSTALLATION.
13. ALL MECHANICAL DUCTS, DUCTWORK, REGISTER BOXES SHOULD BE SOUND INSULATED.
14. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO PKA. ARCHITECTURE FOR REVIEW AND APPROVAL FOR ALL DOORS, WINDOWS, MILLWORK, CABINETRY, DOOR & CABINET HARDWARE, TRUSSES, STEEL, AND OTHER FABRICATED STRUCTURAL ITEMS, MECHANICAL DUCTWORK AND SYSTEMS PRIOR TO ANY FABRICATION, ORDERING, OR CONSTRUCTION. PROVIDE PRODUCT AND/OR FINISH SAMPLES WHEN REQUESTED. PKA. ARCHITECTURE APPROVAL MUST BE GIVEN PRIOR TO ORDERING, FABRICATION, OR CONSTRUCTION. ANY CHANGES REQUIRED BASED ON WORK NOT CONTAINED IN APPROVED SHOP DRAWINGS ARE THE CONTRACTOR'S RESPONSIBILITY OF THE GENERAL CONTRACTOR.
15. CONTRACTOR IS TO COORDINATE ALL WORK BETWEEN TRADES TO ENSURE THAT ONE TRADE'S WORK DOES NOT PREVENT ANOTHER TRADE FROM COMPLETING THEIR WORK IN ACCORDANCE WITH THESE DOCUMENTS. ANY CORRECTIONS THAT NEED TO BE MADE ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
16. MECHANICAL SUBCONTRACTOR IS TO PROVIDE ARCHITECT WITH A FULL DUCT LAYOUT, INCLUDING SIZES OF DUCTS, AND DIMENSIONS OF REGISTERS PRIOR TO ANY FABRICATION OR INSTALLATION.
17. MECHANICAL SUBCONTRACTOR TO PROVIDE ARCHITECT WITH ALL FAN CFM & PROVIDE MAKE-UP AIR AS REQUIRED BY CODE FOR ALL APPLIANCES, FANS, EQUIPMENT & FIREPLACES.
18. MECHANICAL SUBCONTRACTOR TO PROVIDE PKA. ARCHITECTURE WITH BLOWER DOOR TEST RESULTS.
19. CONTRACTOR-PROPOSED PRODUCT SUBSTITUTIONS MUST BE OF EQUAL OR GREATER QUALITY AND APPEARANCE TO THE SPECIFIED PRODUCT, AND MUST BE APPROVED BY THE OWNER AND PKA. ARCHITECTURE PRIOR TO PURCHASE OF PRODUCT.
20. CONTRACTOR TO PROVIDE ALL FIXTURES AND FIXTURES PURCHASED BY OWNERS.
21. ALL SPRAYFOAM (SPF) TO BE CLOSED CELL, MEDIUM DENSITY SPRAY FOAM INSULATION.
22. GENERAL CONTRACTOR TO FOLLOW CITY OF BLOOMINGTON EROSION CONTROL MEASURES.

SITE / ZONING INFORMATION

LEGAL DESCRIPTION:
PID: 3111621420070
CITY OF BLOOMINGTON
HENNEPIN COUNTY, MINNESOTA

ZONING DISTRICT:

A-2: GENERAL COMMERCIAL

SETBACKS:

FRONT: 35'-0"
SIDES: 10'-0"
REAR: 15'-0"

CONSTRUCTION TYPE

V-E

MAX HEIGHT:

N/A

LOT AREA = 7.31 ACRES (31,601 SQ/FT)

WATERSHED DISTRICT:
4 / RILEY-PURGATORY-BLUFF CREEK

OVERLAY DISTRICT:

PD

PARKING REQUIREMENTS:

1 PER 3 INDOOR SEATS
1 PER 5 SEASONAL OUTDOOR SEATS
EXCEPTION: IF SEASONAL OUTDOOR DINING SEATS EXCEED 20% OF INDOOR/ROOFTOP SEATING, THE REQUIRED PARKING FOR OUTDOOR DINING SEATS EXCEEDING 20% IS ONE SPACE PER 3 SEATS.

ABBREVIATIONS

ASL	ABOVE SEA LEVEL
BM	BEAM
B.O.	BOTTOM OF
BRNG	BEARING
BSMT	BASEMENT
CL	CENTERLINE
CJ	CONTROL JOINT
CLG	CEILING
CONC	CONCRETE
DIMS	DIMENSIONS
EA	EACH
EQ	EQUAL
FFL	FINISHED FLOOR LEVEL
F.R.	FAMILY ROOM
F.O.	FACE OF
FLR	FLOOR
FNDN	FOUNDATION
FoFIN	FACE OF FINISH
FoFRM	FACE OF FRAMING
FoSHNTG	FACE OF SHEATHING
FTNG	FOOTING
G.C., GC	GENERAL CONTRACTOR
GL, GL	GRIDLINE
G.S.	GUEST SUITE
HT	HEIGHT
IF.	INSIDE FACE
INSUL	INSULATION
L.L.	LOWER LEVEL
L.R.	LIVING ROOM
M.L.	MAIN LEVEL
MAX	MAXIMUM
MIN	MINIMUM
O.C.	ON CENTER
PLT	PLATE
PRTL HT	PARTIAL HEIGHT WALL
PTD	PAINTED
QTY	QUANTITY
RCP	REFLECTED CEILING PLAN
REV	REVERSED OR REVISED
RWL	RAIN WATER LEADER
SHNTG	SHEATHING
SIM	SIGNATURE DETAIL / CONDITION
SPR	SPRAY FOAM INSULATION
STL	STEEL
SS	STAINLESS STEEL
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TYP	TYPICAL DETAIL / CONDITION
U.N.O.	UNLESS NOTED OTHERWISE
U.L.	UPPER LEVEL
VF	VERIFY IN FIELD
WD	WOOD
NIC	NOT IN CONTACT
MFR	MANUFACTURER

NOT FOR
CONSTRUCTION

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[illegible]

TITLESHEET

T001

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ARCHITECTURE

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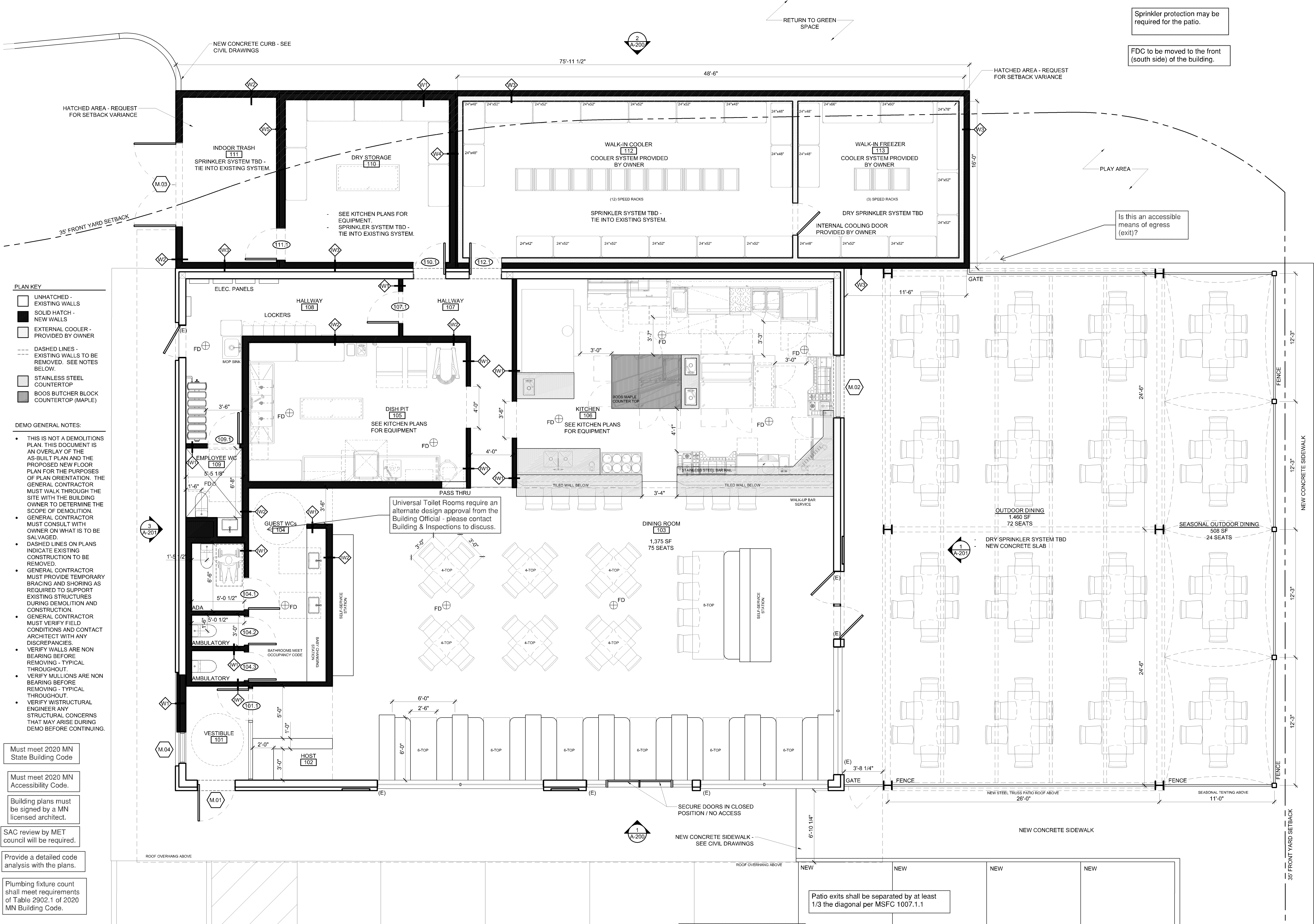
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REV #	DESCRIPTION	DATE

FLOOR PLAN

A100

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- PLAN KEY
- UNHATCHED - EXISTING WALLS
 - SOLID HATCH - NEW WALLS
 - EXTERNAL COOLER - PROVIDED BY OWNER
 - DASHED LINES - EXISTING WALLS TO BE REMOVED. SEE NOTES BELOW.
 - STAINLESS STEEL COUNTERTOP
 - BOOS BUTCHER BLOCK COUNTERTOP (MAPLE)

- DEMO GENERAL NOTES:
- THIS IS NOT A DEMOLITIONS PLAN. THIS DOCUMENT IS AN OVERLAY OF THE AS-BUILT PLAN AND THE PROPOSED NEW FLOOR PLAN FOR THE PURPOSES OF PLAN ORIENTATION. THE GENERAL CONTRACTOR MUST WALK THROUGH THE SITE WITH THE BUILDING OWNER TO DETERMINE THE SCOPE OF DEMOLITION.
 - GENERAL CONTRACTOR MUST CONSULT WITH OWNER ON WHAT IS TO BE SALVAGED.
 - DASHED LINES ON PLANS INDICATE EXISTING CONSTRUCTION TO BE REMOVED.
 - GENERAL CONTRACTOR MUST PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED TO SUPPORT EXISTING STRUCTURES DURING DEMOLITION AND CONSTRUCTION.
 - GENERAL CONTRACTOR MUST VERIFY FIELD CONDITIONS AND CONTACT ARCHITECT WITH ANY DISCREPANCIES.
 - VERIFY WALLS ARE NON BEARING BEFORE REMOVING - TYPICAL THROUGHOUT.
 - VERIFY MULLIONS ARE NON BEARING BEFORE REMOVING - TYPICAL THROUGHOUT.
 - VERIFY W/STRUCTURAL ENGINEER ANY STRUCTURAL CONCERNS THAT MAY ARISE DURING DEMO BEFORE CONTINUING.

- Must meet 2020 MN State Building Code
- Must meet 2020 MN Accessibility Code.
- Building plans must be signed by a MN licensed architect.
- SAC review by MET council will be required.
- Provide a detailed code analysis with the plans.
- Plumbing fixture count shall meet requirements of Table 2902.1 of 2020 MN Building Code.

1 PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

Hydrant coverage shall be provided within 50' of the FDC and within 150' of all portions of the structure.

Ensure landscaping doesn't interfere with access to the building, hydrants and/or FDC.

Appliances/cooking producing grease laden vapors requires a hood and suppression system.

Building/property shall be adequately signed for emergency response.

Sprinkler protection may be required for the patio.

FDC to be moved to the front (south side) of the building.

PLAY AREA

Is this an accessible means of egress (exit)?

Patio exits shall be separated by at least 1/3 the diagonal per MSFC 1007.1.1

Knox box/key box location to be determined by Fire Prevention

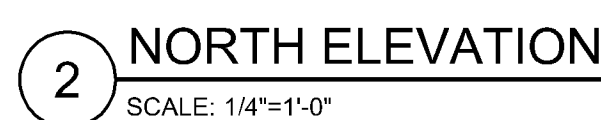
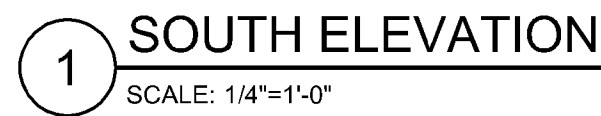
Entire space(s) shall have fully Code complying sprinkler protection.



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EXTERIOR ELEVATIONS

A200

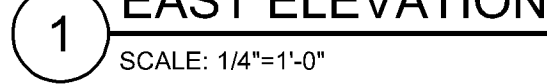
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