

# ALTA/NSPS LAND TITLE SURVEY FOR: Kimley Horn & Associates, Inc.

## LEGAL DESCRIPTION:

Lot 1, Block 1, Southtown Shopping Center 3rd Addition, Hennepin County, Minnesota.  
Abstract Property.

## GENERAL SURVEY NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83--2011 Adj).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by First American Title Insurance Company National Commercial Services, Commitment No. NCS-1218137--MPLS dated April 29, 2024 at 7:30 AM.
- The surveyed property has direct access to Penn Avenue, Southtown Drive & American Boulevard West, all being public right of ways.
- The angular rotation measured clockwise from record bearings depicted on the plat of Southtown Shopping Center 3rd Addition to this survey is 00 degrees 07 minutes 10 seconds.

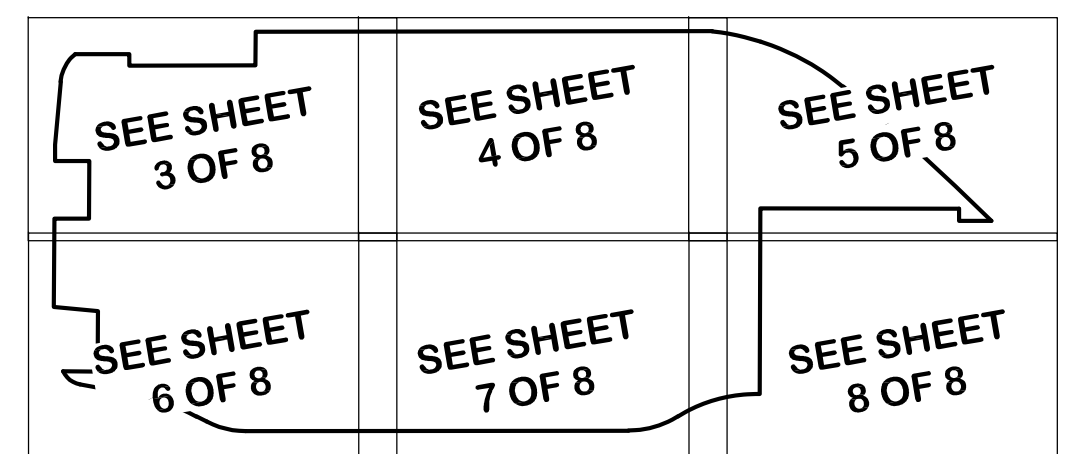
## GOPHER STATE ONE CALL NOTE:

List of utilities notified per Gopher State One Call Ticket Nos. 241142101 & 241141957.

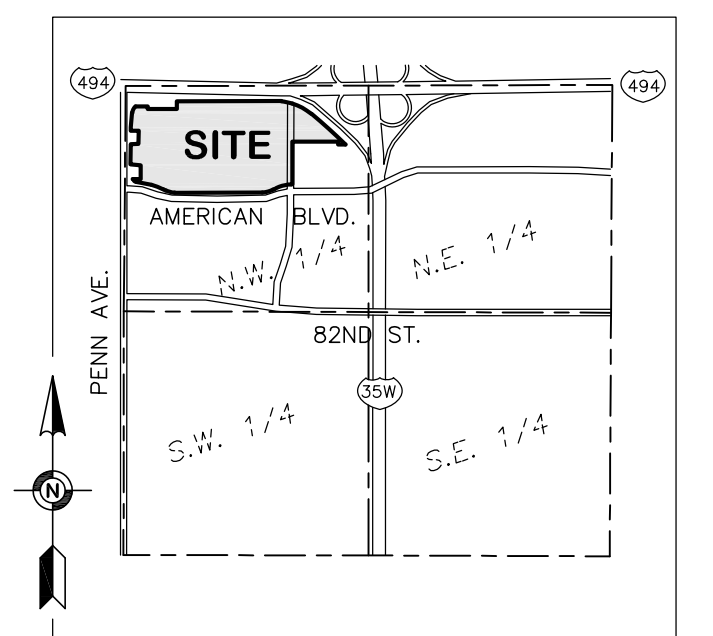
ARVIG AT&T TRANSMISSION BEST BUY COMPANY CENTER POINT ENERGY CITY OF BLOOMINGTON UTILITIES CITY OF BLOOMINGTON TRAFFIC CITY OF RICHFIELD COMCAST CENTURYLINK - CTQL CONSOLIDATED COMMUNICATIONS I	HENNEPIN COUNTY PUBLIC WORKS METRO TRANSIT FACILITIES MCI MNDOT SPRINT/COGENT COMMUNICATIONS VERIZON WIRELESS XCEL ENERGY ZAYO BANDWIDTH
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## SHEET LAYOUT DETAIL:

SEE SHEETS 3 THROUGH 8 FOR SITE IMPROVEMENTS



## SECTION 04, T 27 N, R 24 W



**VICINITY MAP**  
NO SCALE

## CERTIFICATION:

To Kraus-Anderson, Incorporated, a Minnesota corporation and First American Title Insurance Company National Commercial Services:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 8, 9, 11(a), 13, 16, 18 and 19 of Table A thereof. The fieldwork was completed on May 15, 2024.

Date of Plat or Map: May 29, 2024

  
Eric A. Roeser

Minnesota License No. 47476  
eroeser@fnsurvey.com

## OPTIONAL TABLE A ITEMS:

- Monuments have been placed at all major corners of the surveyed property described hereon, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner.
- The address of the property described hereon is 7803 Penn Avenue South, Bloomington, Minnesota 55431.
- The property described hereon lies within Flood Zone "X" (areas of minimal flood hazard) per Federal Insurance Rate Map No. 27053C 0456 F, dated November 4, 2016.
- The total area of the property described hereon is 1,609,228 square feet or 36.94279 acres.
- The contours depicted hereon are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.  
BENCHMARK: Top of MNDOT Geodetic Monument "Embassy".  
Elevation = 857.10 feet. (NAVD88)
- SITE BENCHMARK: Top nut of Hydrant located South of 7801 Southtown Drive. (See sheet 3)  
Elevation = 834.46 feet. (NAVD88)
- No zoning report or letter was received from the insurer pursuant to Optional Table A Item 6(a), as set forth in the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys.
- Exterior building dimensions are depicted hereon.
- The exterior building footprint areas at ground level are depicted hereon.
- Substantial features observed in the process of conducting the fieldwork are depicted hereon.
- As of the date of this survey the property described hereon contains a total of 1,772 parking spaces of which 1,715 are standard spaces and 57 are handicapped spaces.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket Nos. 241141957 & 241142101. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The names of adjoining owners according to current tax records are depicted hereon.
- As of the date of this survey there is observable evidence of current earth moving work, building construction or building additions on the property described hereon.
- The plottable offsite easements or servitudes disclosed in documents provided to the surveyor are depicted hereon.
- Professional Liability Insurance policy obtained by the surveyor to be in effect throughout the contract term.

## SURVEY ITEMS PER SCHEDULE B:

- Drainage and utility easements as shown on the recorded plat of Southtown Shopping Center 3rd Addition, recorded March 27, 1995, as Document No. 6517123. Said easements affect the surveyed property and are depicted hereon.
- Drainage and utility easements as shown on the recorded plat of Southtown Shopping Center 2nd Addition, recorded December 24, 1991, as Document No. 5858322, portions of which were vacated by Ordinance No. 95-20, a certified copy of which was recorded December 14, 1995, as Document No. 6512058. Said easements that have not been vacated affect the surveyed property and are depicted hereon (see North line of surveyed property).
- Easement for sidewalk and bikeway purposes in favor of the City of Bloomington, as contained in Easement dated April 2, 1995, recorded April 11, 1985, as Document No. 4984008. Said easements affect the surveyed property and are depicted hereon.
- Easement to erect and maintain temporary snow fences upon lands adjacent to highway acquired by the State of Minnesota in condemnation, as evidenced of record by Final Certificate dated May 24, 1963, recorded May 28, 1963, in Book 2391 of Deeds, page 211, as Document No. 3408720, and by Final Certificate dated July 26, 1963, recorded August 9, 1963, in Book 2402 of Deeds, page 154, as Document No. 3422775. The right to erect and maintain temporary snow fences exists along the north line of the surveyed property.
- Easement for storm sewer in favor of the Village of Bloomington, as contained in Quit Claim Deed dated June 12, 1958, recorded September 19, 1958, in Book 2181 of Deeds, page 427, as Document No. 3137801. Said easement does not affect the surveyed property and is depicted hereon for reference.
- Easement for gas mains, service pipes, and appurtenances thereto, in favor of Minneapolis Gas Company, as contained in Easement dated June 3, 1960, recorded June 10, 1960, in Book 2258 of Deeds, page 138, as Document No. 3236759. Amended by Amendment to Easement dated December 24, 1991, recorded December 24, 1991, as Document No. 5858337. Said easement affects the surveyed property and is depicted hereon.
- Easement for gas mains, service pipes, and appurtenances thereto, in favor of Minneapolis Gas Company, as contained in Easement dated October 6, 1964, recorded December 1, 1964, in Book 2471 of Deeds, page 510, as Document No. 3514151. Said easement affects the surveyed property and is depicted hereon.
- Easement for electric transmission lines, and rights incidental thereto, in favor of Northern States Power Company, as contained in instrument dated October 31, 1923, recorded December 11, 1923, in Book 1034 of Deeds, page 395, as Document No. 1186581. License to encroach onto said easement granted to Kraus-Anderson, Incorporated, by Encroachment License dated November 28, 1973, recorded December 12, 1973, as Document No. 405624, and by Encroachment License Agreement dated August 20, 1996, recorded October 4, 1996, as Document No. 6643311. Said easement for transmission line purposes per Doc. No. 1186581 affects the surveyed property and is depicted hereon. Said encroachment license agreement affects the surveyed property. The area affected by said agreement is depicted hereon.
- Easement for electric transmission lines, and rights incidental thereto, in favor of Northern States Power Company, as contained in Easement dated December 3, 1952, recorded March 20, 1953, in Book 1954 of Deeds, page 455, as Document No. 2802866. Said easement affects Lot 2, Block 1, SOUTHTOWN SHOPPING CENTER 2ND ADDITION (1800 American Boulevard W Parcel) and does not affect the surveyed property. Said easement is depicted hereon for reference.
- Easement for sanitary sewer purposes for the benefit of Lot 1, Block 1, Sam and Estelle Rosenberg 1st Addition, as contained in Quit Claim Deed dated February 5, 1975, recorded February 13, 1975, as Document No. 4128452. Amended by Amendment No. 1 to Easement Agreement dated December 22, 1995, recorded December 27, 1995, as Document No. 6516750, and by Amendment No. 2 to Easement Agreement dated March 13, 1996, recorded March 15, 1996, as Document No. 6549984. Said easement per Doc. No. 6549984 affects the surveyed property and is depicted hereon.
- Easement for utility and traffic signal purposes in favor of the City of Bloomington, as contained in Quit Claim Deed dated April 1, 1981, recorded May 8, 1981, as Document No. 4641980. Said easement affects Lot 1, Block 1, SOUTHTOWN SHOPPING CENTER 4TH ADDITION (7901 Penn Avenue S Parcel) and does not affect the surveyed property. Said easement is depicted hereon for reference.
- Easement for sanitary sewer in favor of Steak and Ale of Minnesota, Inc., as contained in Easement Agreement dated December 16, 1981, recorded June 3, 1982, as Document No. 4720041. Said easement affects the surveyed property and is depicted hereon.

## SURVEY ITEMS PER SCHEDULE B:

- Utility easement in favor of the City of Bloomington, as contained in Quit Claim Deed dated October 17, 1965, recorded February 14, 1967, in Book 2578 of Deeds, page 525, as Document No. 3645185. Said easement affects the surveyed property and is depicted hereon. The temporary easements contained in said document expired on October 1, 1967.
- Easement for sidewalk and bikeway purposes in favor of the City of Bloomington, as contained in Easement dated July 23, 1982, recorded August 5, 1982, as Document No. 4732298. Said easement is fully embraced within the right of way of American Boulevard West (FKA West 80th Street) and does not affect the surveyed property. No plottable items to depict.
- Easement for utility and traffic control device purposes in favor of the City of Bloomington, as contained in Easement dated October 4, 1989, recorded November 8, 1989, as Document No. 5593085. Said easement affects the surveyed property and is depicted hereon.
- Easement for ingress and egress for the benefit of part of Lot 1, Block 1, Southtown Shopping Center, as contained in Access Easement Agreement (North) dated December 24, 1991, recorded December 24, 1991, as Document No. 5858330. Amended by Amendment No. 1 to Access Easement Agreement (North) dated December 28, 1995, recorded December 28, 1995, as Document No. 6517340. Said easement benefits Lot 1, Block 1, SOUTHTOWN SHOPPING CENTER 4TH ADDITION (7901 Penn Avenue S Parcel). Said easement affects the surveyed property and is depicted hereon.
- Easement for ingress and egress for the benefit of part of Lot 1, Block 1, Southtown Shopping Center, as contained in Access Easement Agreement (South) dated December 24, 1991, recorded December 24, 1991, as Document No. 5858331. Amended by Amendment No. 1 to Access Easement Agreement (South) dated December 28, 1995, recorded December 28, 1995, as Document No. 6517341. Said easement benefits Lot 1, Block 1, JIFFY LUBE ADDITION (7999 Penn Avenue S Parcel). Said easement affects the surveyed property and is depicted hereon.
- Easement for parking motor vehicles for the benefit of Lot 2, Block 1, Southtown Shopping Center 2nd Addition, as contained in Declaration of Parking Easement dated December 24, 1991, recorded December 24, 1991, as Document No. 5858332. Said easement affects the surveyed property and is depicted hereon.
- Easement for ingress and egress for the benefit of Lot 2, Block 1, Southtown Shopping Center 2nd Addition, as contained in Declaration of Access Easement dated December 24, 1991, recorded December 24, 1991, as Document No. 5858329. Said easement affects the surveyed property and is depicted hereon.
- Easements for street purposes, for sidewalk and bikeway purposes, for sidewalk, bikeway and utility purposes, for sidewalk, bikeway, utility and traffic control device purposes, and for traffic control device purposes, all in favor of the City of Bloomington, as contained in Easement dated December 24, 1991, recorded December 24, 1991, as Document No. 5858333. The easements contained in said document that affect the surveyed property are depicted hereon. All other easements that are embraced within dedicated rights of way do not affect the surveyed property and are not depicted hereon.
- Easement for sidewalk, bikeway, traffic signal, and transportation facility purposes in favor of the City of Bloomington, as contained in Easement dated December 28, 1995, recorded December 28, 1995, as Document No. 6517342. Said easement affects the surveyed property and is depicted hereon.
- Easement for sidewalk, utility and traffic control device purposes in favor of the City of Bloomington, as contained in Easement dated June 13, 1996, recorded June 14, 1996, as Document No. 6589698. Said easement affects the surveyed property and is depicted hereon.
- Terms and conditions of Development Agreement dated December 18, 1995, recorded December 21, 1995, as Document No. 6514891. Amended by First Amendment to Development Agreement dated August 3, 2015, recorded August 28, 2015, as Document No. A10232457. Said agreement affects the surveyed property. No plottable items to depict.
- Terms and conditions of Planned Development Agreement dated October 21, 1991, recorded December 23, 1991, as Document No. 5858292. Said agreement affects the surveyed property. No plottable items to depict.
- Terms and conditions of Ordinance No. 2000-24, a certified copy of which was recorded October 3, 2000, as Document No. 7362933. Said ordinance adopts an official map identifying portions of parcels needed for the Penn Avenue interchange. Said ordinance only identifies areas, but no acquisition process was executed through this ordinance. No plottable items to depict.
- Permanent easement for wall maintenance purposes, limitation of access to Interstate Highway No. 494 and/or Southtown Drive, and limitation of access to Penn Avenue South, all acquired by the City of Bloomington in condemnation, as evidenced of record by Final Certificate dated November 18, 2002, recorded November 20, 2002, as Document No. 7865761. Said wall maintenance easement affects the surveyed property and is depicted hereon. Said limitations of access to Interstate Highway 494 and Penn Avenue affect the surveyed property. The locations of said limitations of access are depicted hereon.
- Permanent easements for sidewalk, bikeway and utility purposes and for utility and traffic signal facility purposes acquired by the City of Bloomington in condemnation, as evidenced of record by Final Certificate dated February 24, 2004, recorded February 26, 2004, as Document No. 8300361. Said easement affects the surveyed property and is depicted hereon.
- Covenant Not to Compete in favor of McDonald's Corporation dated May 17, 1996, recorded May 20, 1996, as Document No. 6576737. Said covenant affects the surveyed property. No plottable items to depict.
- Lease by and between Southtown Center, Inc., a Minnesota corporation, as Landlord, and Montgomery Ward & Co., Incorporated, an Illinois corporation, dated July 10, 1957, recorded March 20, 1958, in Book 799 of Misc., page 366, as Document No. 3109440. Amended by Supplemental Agreement dated February 26, 1960, recorded May 31, 1960, in Book 860 of Misc., page 542, as Document No. 3235012, by Supplemental Agreement dated June 23, 1960, recorded September 12, 1960, in Book 869 of Misc., page 597, as Document No. 3251411, by Supplemental Agreement dated August 10, 1960, recorded January 9, 1961, in Book 879 of Misc., page 5, as Document No. 3272347, and by Supplemental Agreement dated January 7, 1966, recorded April 26, 1966, in Book 1037 of Misc., page 107, as Document No. 3600965. Tenant's interest assigned to G.R. Herberger's, Inc., a Delaware corporation, by Assignment of Lease and Assumption Agreement dated October 29, 1998, recorded November 2, 1998, as Document No. 6995929. As affected by Subordination, Non-Disturbance and Attornment Agreement dated June 9, 2016, recorded June 22, 2016, as Document No. A10325927.
- Unrecorded sublease dated July 7, 1989, by and between Montgomery Ward & Co., Incorporated, as Landlord, and Toys "R" Us, Inc., a Delaware corporation, as Tenant, as evidenced of record by Memorandum of Lease dated July 7, 1989, recorded August 29, 1989, as Document No. 5568236.

## SURVEY ITEMS PER SCHEDULE B:

- Lease by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Minnesota Fabrics, Inc., a Minnesota corporation, as Tenant, dated July 26, 1991, recorded September 27, 1991, as Document No. 5829451. Amended by unrecorded letter agreement dated August 12, 1996, as to Tenant, and August 30, 1996, as to Landlord, and by unrecorded Amendment No. 2 to Lease dated May 17, 2001, as evidenced of record by Memorandum of Amendment No. 2 to Lease by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Hancock Fabrics, Inc., a Delaware corporation, successor by merger to Minnesota Fabrics, Inc., a Minnesota corporation, as Tenant, dated May 17, 2001, recorded June 12, 2001, as Document No. 7486492. Amended by Memorandum of Amendment No. 3 dated August 26, 2010, recorded September 13, 2010, recorded September 13, 2010, as Document No. A9558774.
- Unrecorded Ground Lease dated February 5, 1996, amended May 8, 1996, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and McDonald's Corporation, a Delaware corporation, as Tenant, as evidenced of record by Memorandum of Lease dated May 8, 1996, recorded May 20, 1996, as Document No. 6576736. Supplemented by Supplement to Lease dated August 29, 1996, recorded February 13, 1997, as Document No. 6589722. Said lease affects the surveyed property. The location of the described lease area is depicted hereon.
- Unrecorded lease dated January 16, 1996, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Kohl's Department Stores, Inc., a Delaware corporation, as Tenant, as evidenced of record by Memorandum of Lease dated May 15, 1996, recorded May 23, 1996, as Document No. 6587521.
- Unrecorded lease dated September 6, 1995, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Norstar Baga Bakeries, Inc., a Minnesota corporation, as Tenant, as evidenced of record by Memorandum of Lease dated June 5, 1996, recorded June 26, 1996, as Document No. 6597726. The Tenant's interest was collaterally assigned to Banknorth, National Association, by Collateral Assignment of Lease dated January 30, 2004, recorded September 16, 2004, as Document No. 8435503.
- Unrecorded Agreement of Lease dated May 5, 1997, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Bed Bath & Beyond Inc., a New York corporation, as Tenant, as evidenced of record by Memorandum of Lease dated May 5, 1997, recorded May 27, 1997, as Document No. 6738116. As affected by Subordination, Nondisturbance and Attornment Agreement dated June 9, 2016, recorded June 9, 2016, as Document No. A10320702. As affected by Amendment to Memorandum of Lease dated March 23, 2017, recorded August 23, 2017, as Document No. A1047644.
- Unrecorded lease dated October 1, 1996, as amended by lease amendments dated June 11, 1997, and March 18, 1998, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and AMF Bowling Centers, Inc., a Virginia corporation, as Tenant, as evidenced of record by Short Form Lease dated May 28, 1998, recorded July 16, 1998, as Document No. 6930986. As affected by Subordination, Nondisturbance and Attornment Agreement dated June 9, 2016, recorded June 9, 2016, as Document No. A10320701.
- Unrecorded Shopping Center Lease Agreement dated June 30, 2004, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Apple American Limited Partnership of Minnesota, a Minnesota limited partnership, as Tenant. As affected by Landlord Agreement dated October 27, 2010, recorded November 8, 2010, as Document No. A9582679.
- Unrecorded Leases in favor of Panda Express, Inc., a California corporation, Tenant, as evidenced by Subordination, Non-Disturbance and Attornment Agreement dated September 17, 2010, recorded October 10, 2010, as Document No. A9573969.
- Mortgage and Security Agreement and Fixture Financing Statement dated June 9, 2016, recorded June 9, 2016, as Document No. A10320698, between Kraus-Anderson, Incorporated, a Minnesota corporation, Mortgagor, and Thrivent Financial for Lutherans, Mortgagor, in the original amount of \$20,000,000.00.
- Assignment of Leases and Rents dated June 9, 2016, recorded June 9, 2016, as Document No. A10320699, between Kraus-Anderson, Incorporated, a Minnesota corporation, Assignor, and Thrivent Financial for Lutherans, Assignee.
- Unrecorded Lease between Kraus-Anderson, Incorporated, Landlord, and TJX Companies, Inc., Tenant, as evidenced by Short Form Lease Agreement dated November 5, 1982, recorded February 3, 1983, as Document No. 4770020. As amended by First Amendment to Short Form Lease dated November 5, 1991, recorded December 23, 1991, as Document No. 5858291. As affected by Subordination, Non-Disturbance and Attornment Agreement dated June 15, 2016, recorded June 20, 2016, as Document No. A10324930.
- Terms and conditions of a Lease between Kraus-Anderson, Incorporated, a Minnesota corporation, Lessor, and Verizon Wireless, Lessee, as evidenced by Memorandum of Lease Supplement dated November 21, 2016, recorded November 28, 2016, as Document No. A10385060. Said lease affects the surveyed property. The location of said lease is not described and the approximate locations of the utility centerline and pole are depicted hereon.  
There are time limit terms associated with said lease that involve renewal processes. See document for more information.
- Terms and conditions of a Lease between Kraus-Anderson, Incorporated, a Minnesota corporation, Lessor, and Verizon Wireless, Lessee, as evidenced by Memorandum of Lease Supplement dated November 21, 2016, recorded November 28, 2016, as Document No. A10385093. Said lease affects the surveyed property. The location of said lease is not described and its approximate locations of the utility centerline and pole are depicted hereon.  
There are time limit terms associated with said lease that involve renewal processes. See document for more information.
- Terms and conditions of Conditional User Permit as contained in Planning Commission Resolution No. 2017-1 dated January 12, 2017, recorded February 15, 2017, as Document No. A10413528. Said conditional use permit affects the surveyed property. No plottable items to depict.
- Easements in favor of the City of Bloomington as contained in Easement dated April 24, 2019, recorded May 23, 2019, as Document No. A10661199. Said easement affects the surveyed property and is depicted hereon.
- Easements in favor of the Metropolitan Council as contained in Final Certificate dated March 29, 2022, recorded April 20, 2022, as Document No. 11099706. Said easements affect the surveyed property and depicted hereon. The temporary easements contained in said document expired on June 30, 2021.
- Easements in favor of Minnesota Department of Transportation as contained in Temporary Easement Agreement dated December 29, 2023, recorded January 2, 2024, as Document No. 11254904. Said temporary easement affects the surveyed property and is depicted hereon. Said temporary easement expires December 1, 2028.
- Rights of tenants under unrecorded leases.

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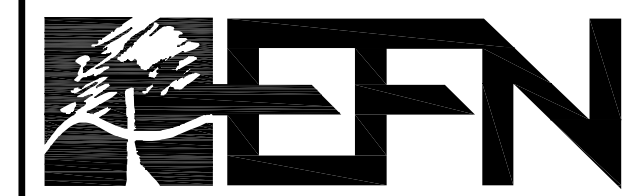
# ALTA/NSPS LAND TITLE SURVEY

## SURVEY FOR:

Kimley Horn & Associates, Inc.

## PROPERTY ADDRESS:

7803 Penn Avenue South  
Bloomington, Minnesota 55431



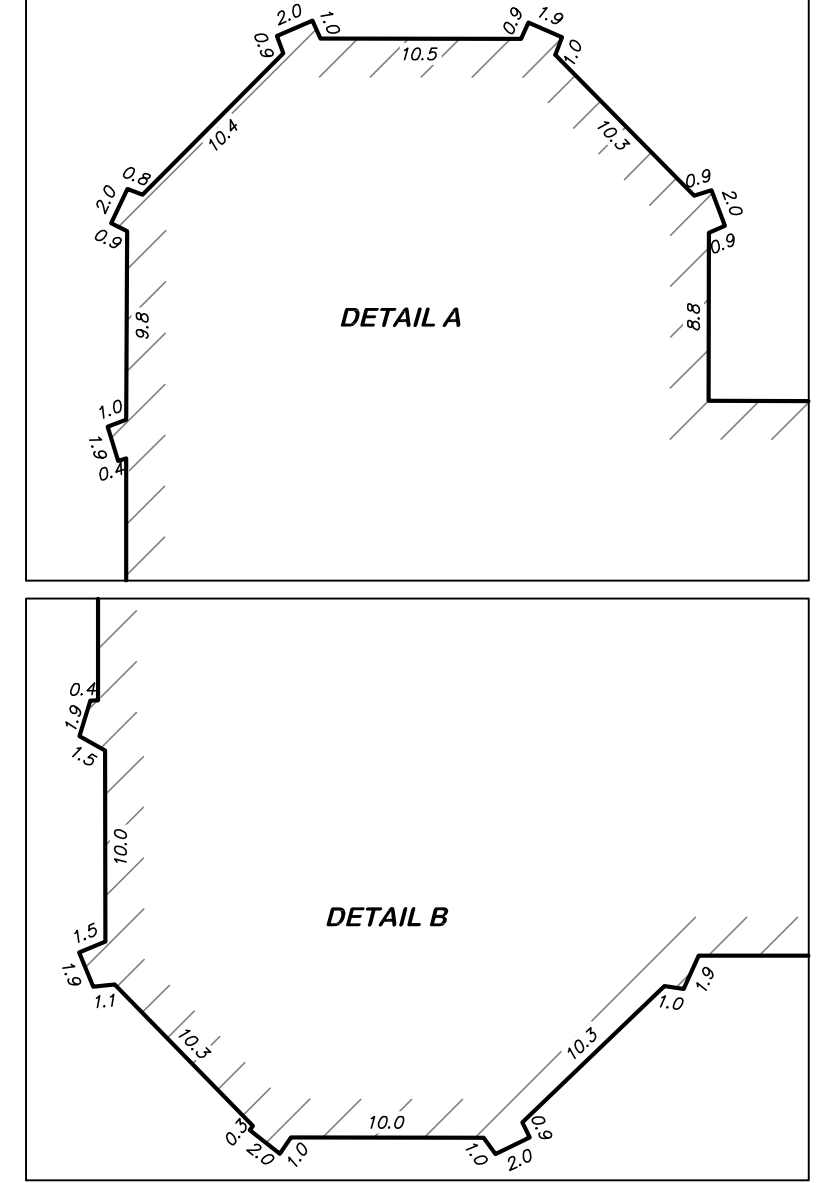
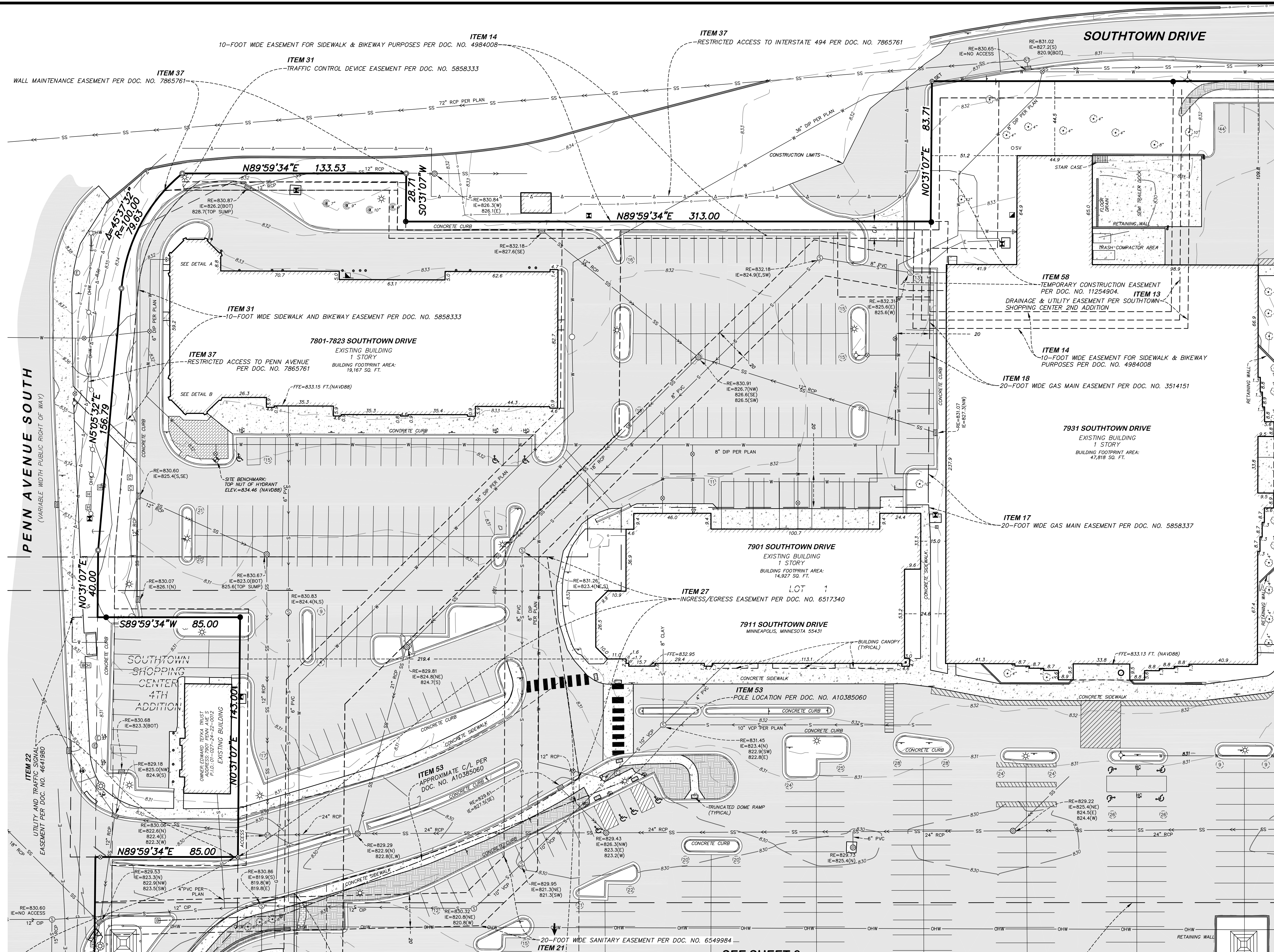
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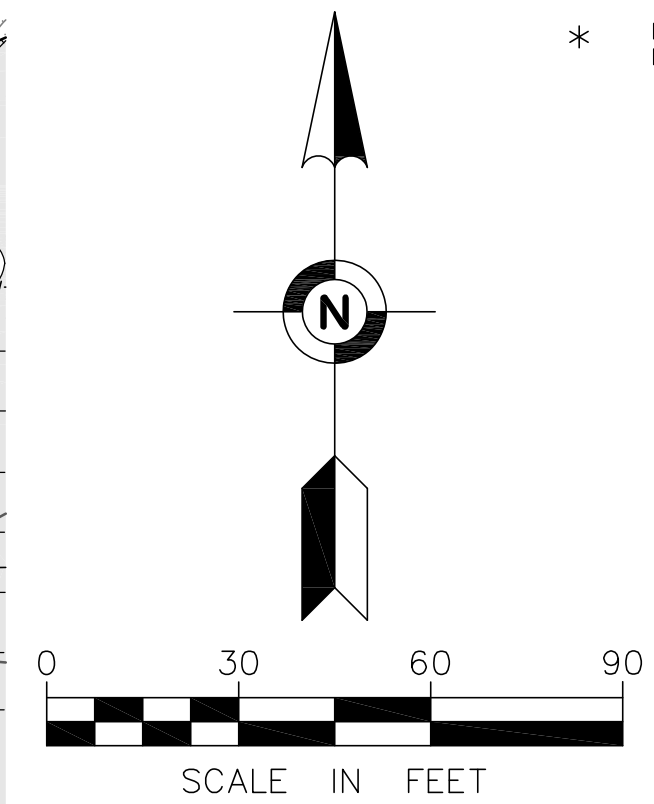


**ALTA/NSPS LAND TITLE SURVEY FOR:  
Kimley Horn & Associates, Inc.**



- LEGEND**
- ⊙ SANITARY MANHOLE
  - ⊙ STORM MANHOLE
  - ⊙ CATCH BASIN
  - ⊙ AUTO SPRINKLER
  - ⊙ GATE VALVE
  - ⊙ HYDRANT
  - ⊙ POST INDICATOR VALVE
  - ⊙ ELECTRIC BOX
  - ⊙ LIGHT
  - ⊙ SEMAPHORE
  - ⊙ COMMUNICATION BOX
  - ⊙ GAS METER
  - ⊙ SIGN
  - ⊙ PEDESTRIAN POST
  - ⊙ BOLLARD
  - ⊙ HANDICAPPED PARKING SPACE
  - ⊙ HANDICAPPED PARKING SIGN
  - ⊙ STORM SEWER
  - ⊙ SANITARY SEWER
  - ⊙ WATERMAIN
  - ⊙ UNDERGROUND GAS
  - ⊙ EXISTING CONTOUR LINE
  - ⊙ TREE
  - BITUMINOUS SURFACE
  - CONCRETE SURFACE
  - GRAVEL SURFACE
  - LANDSCAPE SURFACE
  - RETAINING WALL
  - \* INVERT MEASUREMENT NOT ACCESSIBLE. ELEVATIONS SHOWN PER RECORD DRAWINGS.

SEE SHEET 4



- FOUND IRON MONUMENT
- FOUND PK NAIL
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- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476
- SET PK NAIL

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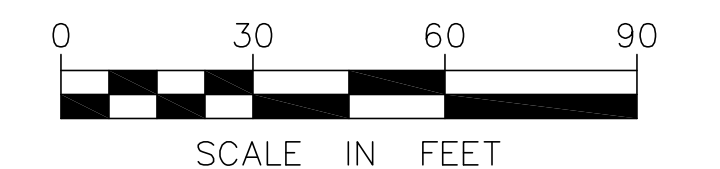
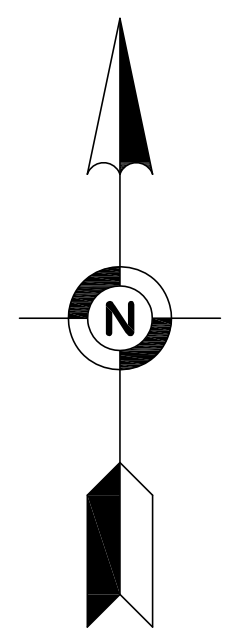
**ALTA/NSPS  
LAND TITLE SURVEY**

SEE SHEET 6  
**SURVEY FOR:**  
Kimley Horn & Associates, Inc.

**PROPERTY ADDRESS:**  
7803 Penn Avenue South  
Bloomington, Minnesota 55431

**Egan, Field & Nowak, Inc.**  
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**ALTA/NSPS LAND TITLE SURVEY FOR:  
Kimley Horn & Associates, Inc.**



- FOUND IRON MONUMENT
- FOUND PK NAIL
- FOUND NAIL
- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476
- SET PK NAIL

**LEGEND**

- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
- ⊙ AUTO SPRINKLER
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ POST INDICATOR VALVE
- ⊙ SPRINKLER BOX
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC OUTLET POST
- ⊙ LIGHT
- ⊙ SEMAPHORE
- ⊙ COMMUNICATION BOX
- ⊙ GAS METER
- ⊙ SIGN
- ⊙ PEDESTRIAN POST
- ⊙ BOLLARD
- ⊙ HANDICAPPED PARKING SPACE
- ⊙ HANDICAPPED PARKING SIGN
- S — SANITARY SEWER
- SS — STORM SEWER
- W — WATERMAIN
- G — UNDERGROUND GAS
- 920 — EXISTING CONTOUR LINE
- ⊙ OR ⊙ TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- LANDSCAPE SURFACE
- RETAINING WALL
- \* INVERT MEASUREMENT NOT ACCESSIBLE. ELEVATIONS SHOWN PER RECORD DRAWINGS.

SEE SHEET 2

SEE SHEET 4

SEE SHEET 6

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
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**ALTA/NSPS  
LAND TITLE SURVEY**

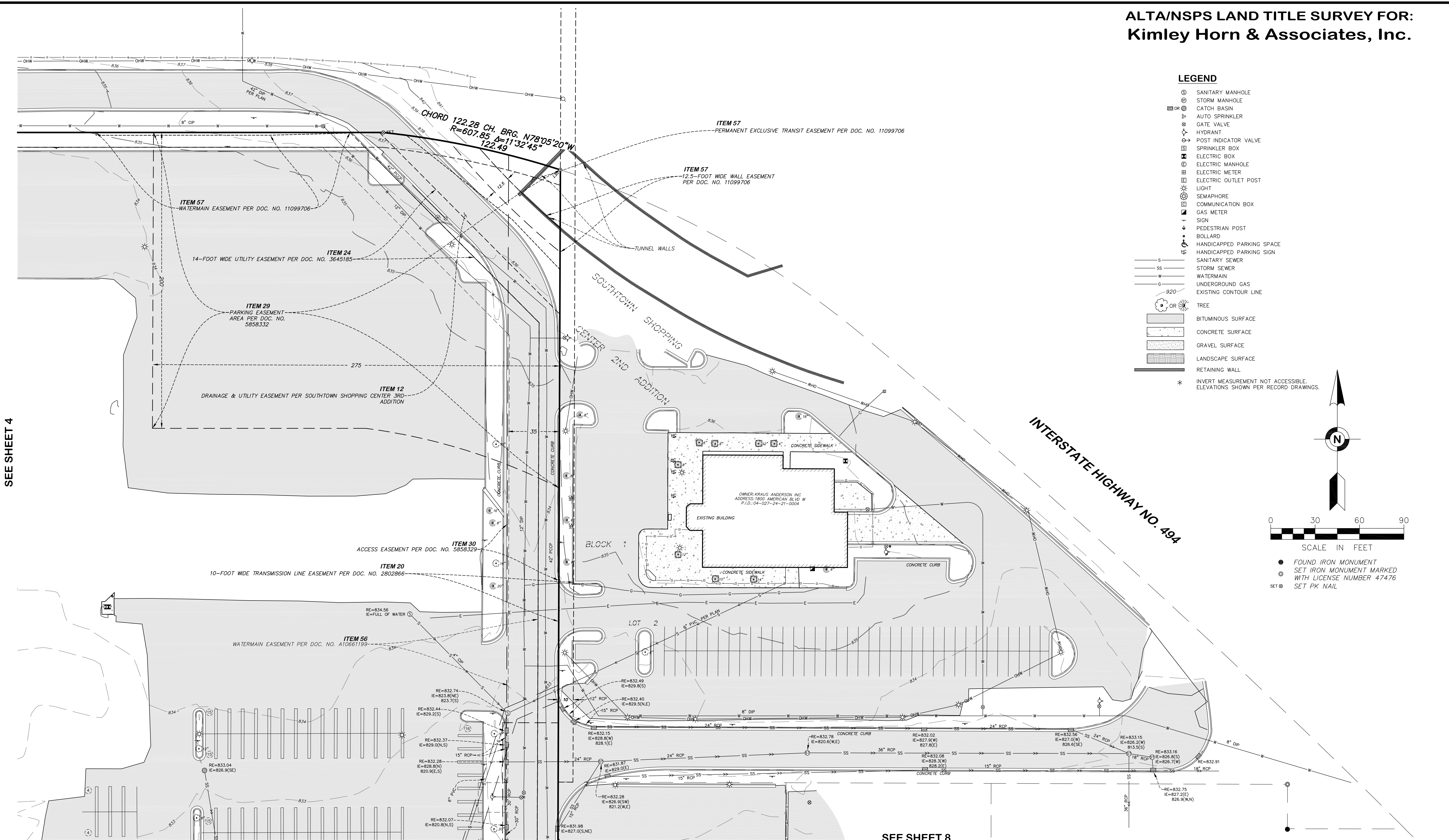
**SURVEY FOR:  
Kimley Horn & Associates, Inc.**

**PROPERTY ADDRESS:  
7803 Penn Avenue South  
Bloomington, Minnesota 55431**

**Egan, Field & Nowak, Inc.**  
475 Old Highway 8 NW, Suite 200  
New Brighton, Minnesota 55112  
PHONE: (612) 466-3300  
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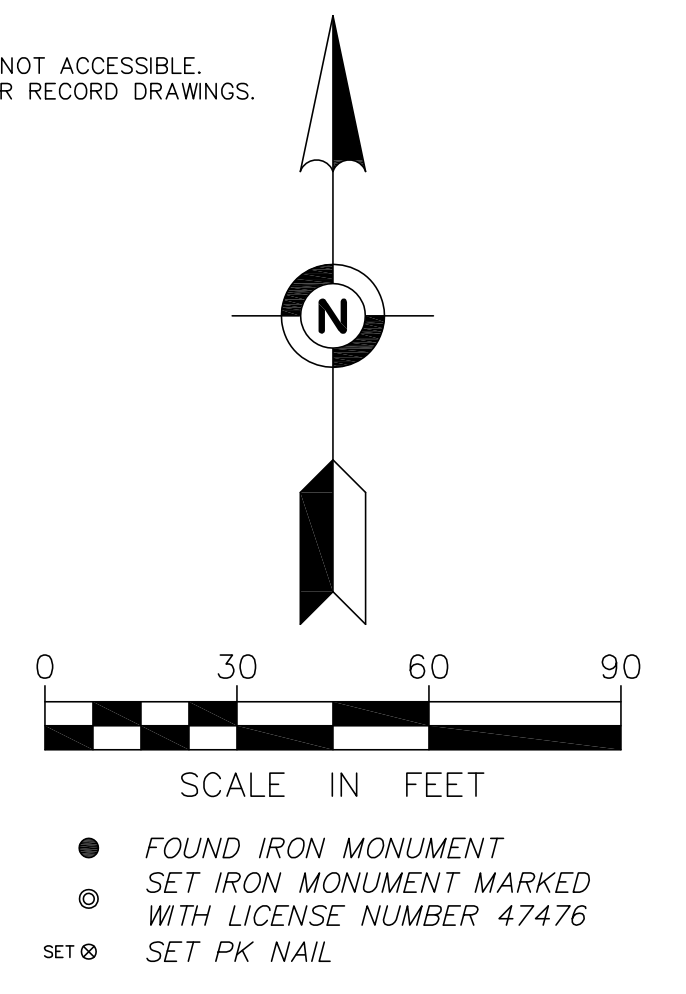


**ALTA/NSPS LAND TITLE SURVEY FOR:  
Kimley Horn & Associates, Inc.**



**LEGEND**

- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
- ⊙ AUTO SPRINKLER
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ POST INDICATOR VALVE
- ⊙ SPRINKLER BOX
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC OUTLET POST
- ⊙ LIGHT
- ⊙ SEMAPHORE
- ⊙ COMMUNICATION BOX
- ⊙ GAS METER
- ⊙ SIGN
- ⊙ PEDESTRIAN POST
- ⊙ BOLLARD
- ⊙ HANDICAPPED PARKING SPACE
- ⊙ HANDICAPPED PARKING SIGN
- S SANITARY SEWER
- SS STORM SEWER
- W WATERMAIN
- G UNDERGROUND GAS
- 920 EXISTING CONTOUR LINE
- OR TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- LANDSCAPE SURFACE
- RETAINING WALL
- \* INVERT MEASUREMENT NOT ACCESSIBLE. ELEVATIONS SHOWN PER RECORD DRAWINGS.



SEE SHEET 4

SEE SHEET 8

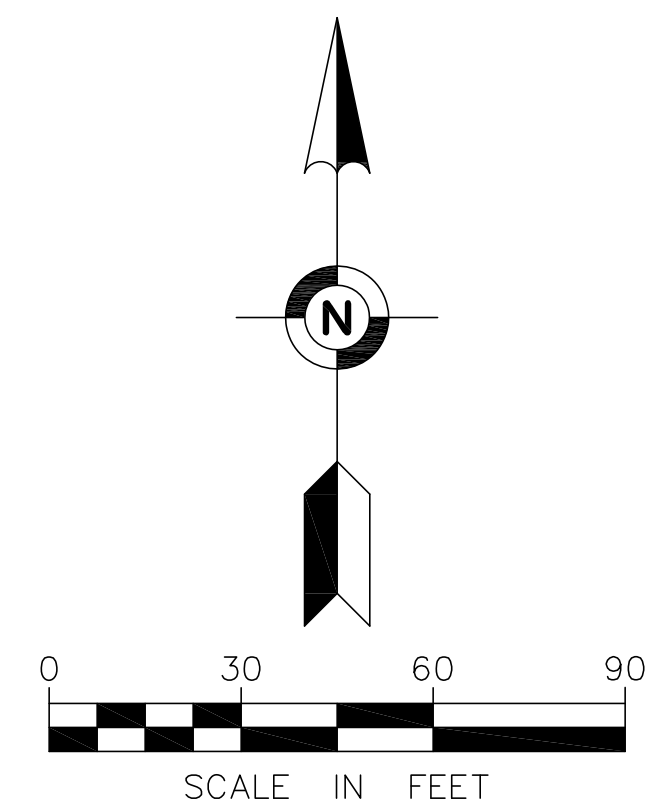
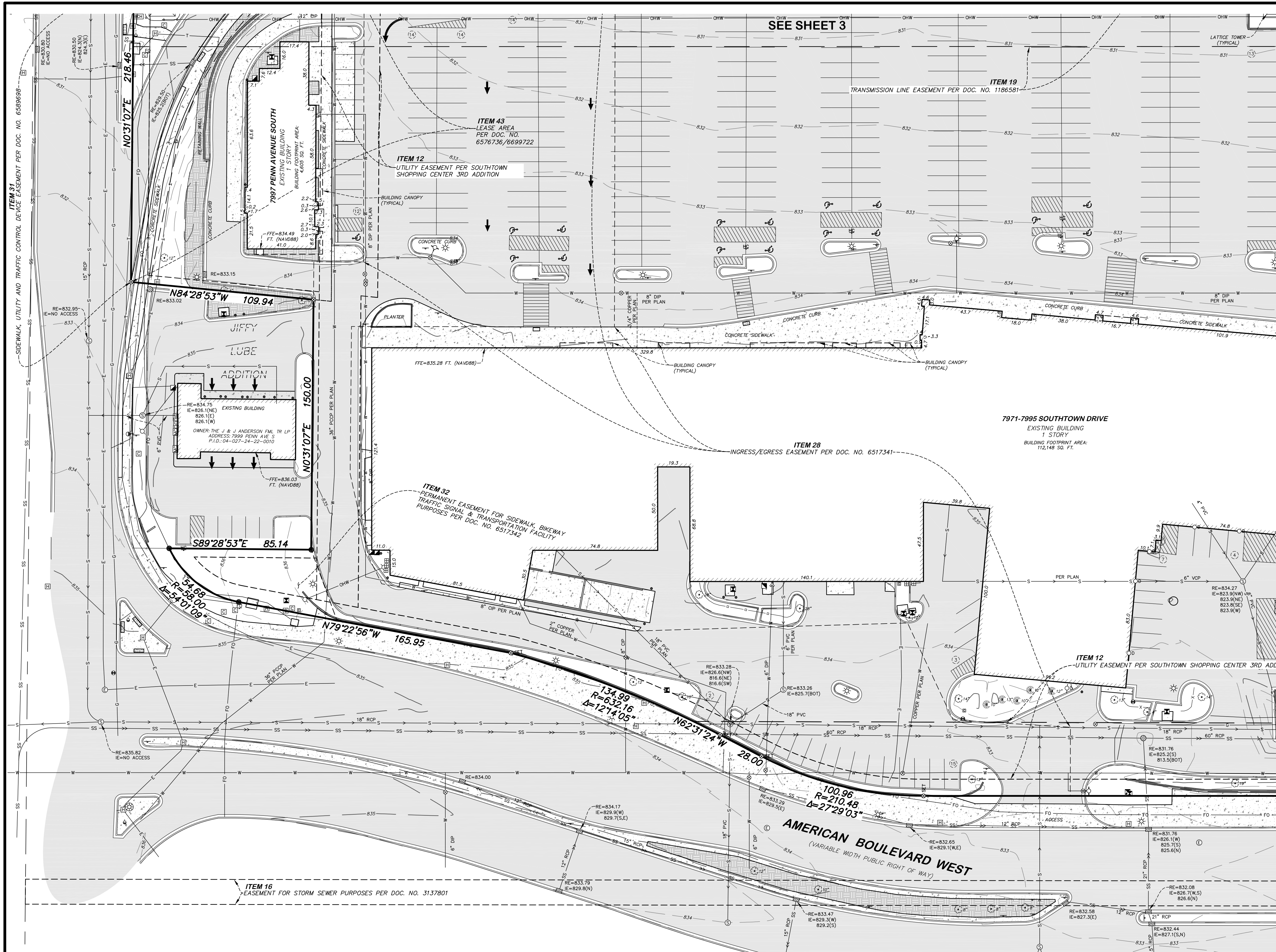
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DAV					
CHECKED BY:					
EAR					

**ALTA/NSPS  
LAND TITLE SURVEY**

**SURVEY FOR:**  
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SCALE IN FEET

- FOUND IRON MONUMENT
- FOUND NAIL
- ⊙ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476

- LEGEND**
- ⊙ SANITARY MANHOLE
  - ⊙ STORM MANHOLE
  - ⊙ CATCH BASIN
  - ⊙ AUTO SPRINKLER
  - ⊙ GATE VALVE
  - ⊙ HYDRANT
  - ⊙ POST INDICATOR VALVE
  - ⊙ SPRINKLER BOX
  - ⊙ ELECTRIC BOX
  - ⊙ ELECTRIC MANHOLE
  - ⊙ ELECTRIC METER
  - ⊙ ELECTRIC OUTLET POST
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  - ⊙ SEMAPHORE
  - ⊙ COMMUNICATION BOX
  - ⊙ GAS METER
  - ⊙ SIGN
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  - ⊙ HANDICAPPED PARKING SIGN
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  - ⊙ TREE
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  - GRAVEL SURFACE
  - LANDSCAPE SURFACE
  - RETAINING WALL
  - \* INVERT MEASUREMENT NOT ACCESSIBLE. ELEVATIONS SHOWN PER RECORD DRAWINGS.

SEE SHEET 7

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JOB NO. 39947		CHECKED BY:			
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**ALTA/NSPS  
LAND TITLE SURVEY**

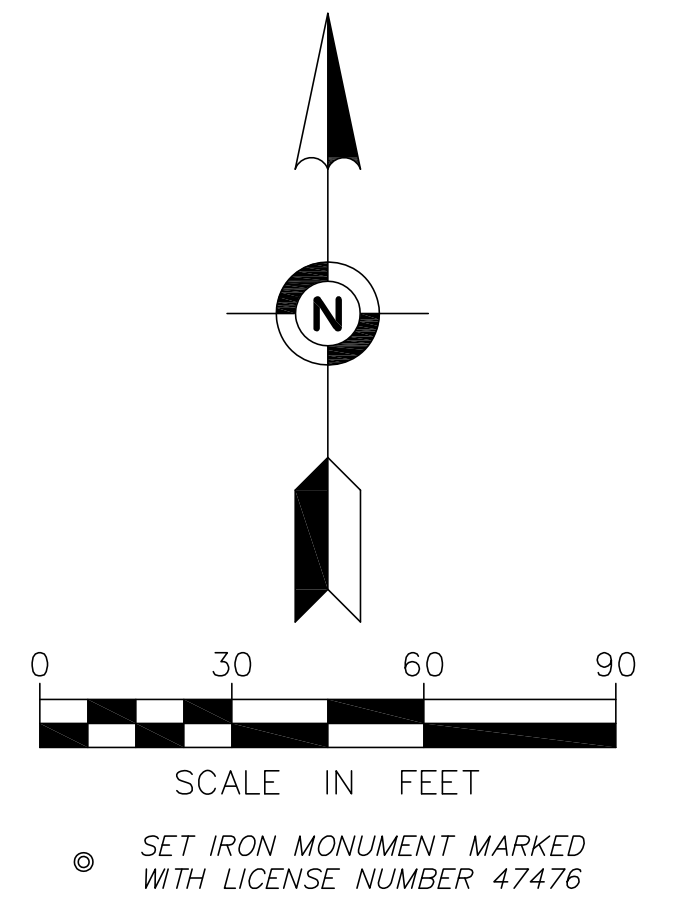
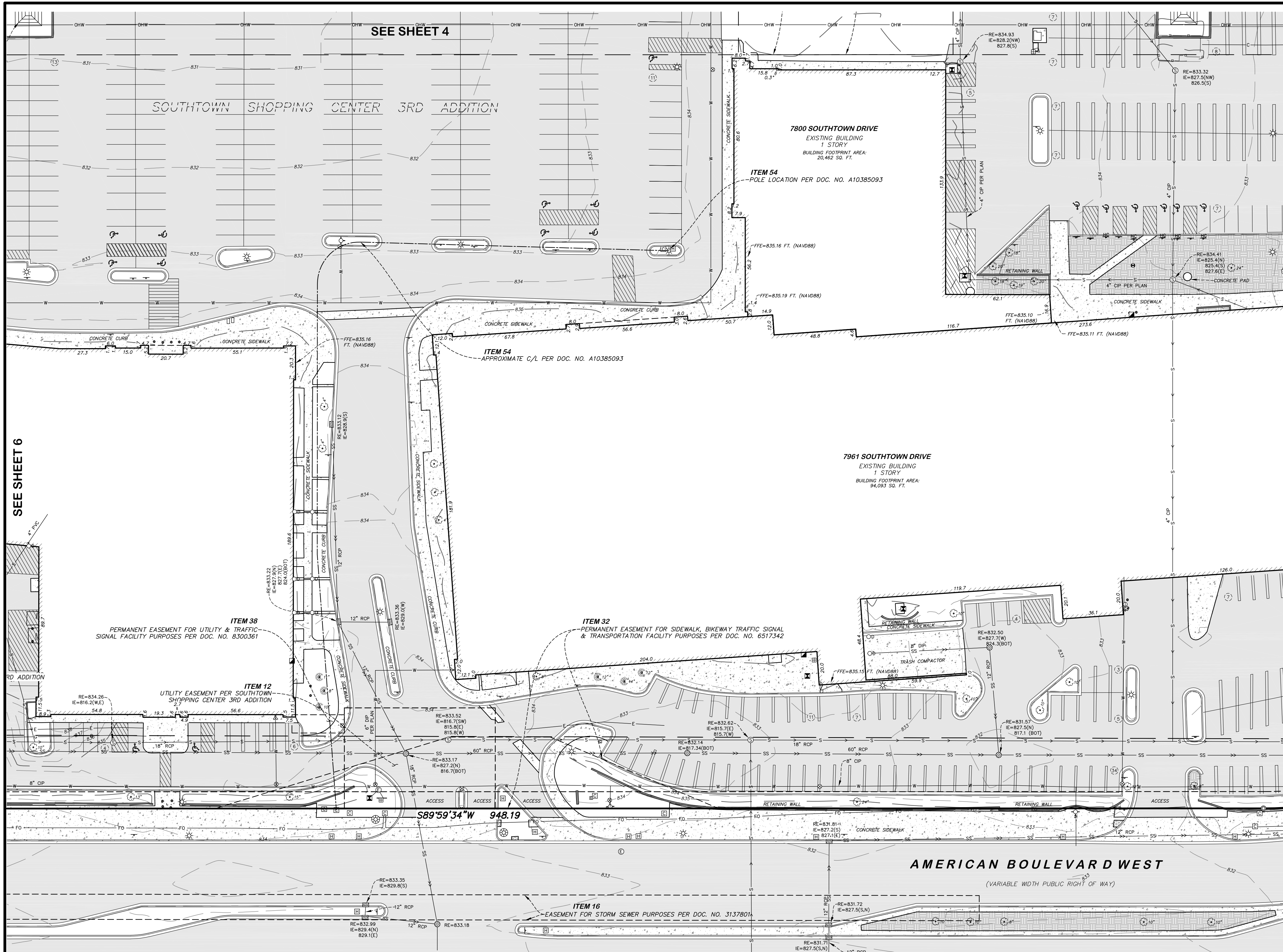
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- LEGEND**
- ⊙ SANITARY MANHOLE
  - ⊙ STORM MANHOLE
  - ⊙ CATCH BASIN
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  - GRAVEL SURFACE
  - LANDSCAPE SURFACE
  - RETAINING WALL
- \* INVERT MEASUREMENT NOT ACCESSIBLE. ELEVATIONS SHOWN PER RECORD DRAWINGS.

SEE SHEET 6

SEE SHEET 8

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
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**ALTA/NSPS  
LAND TITLE SURVEY**

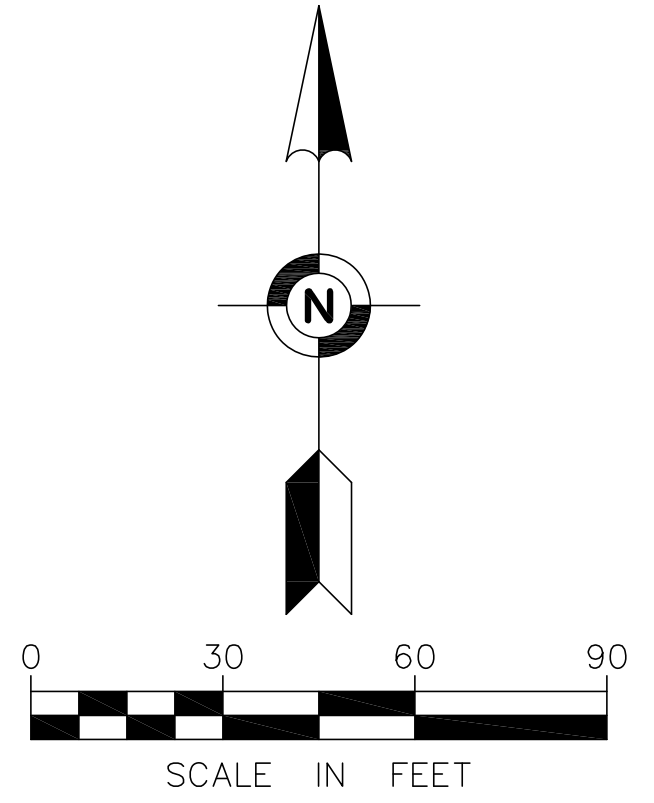
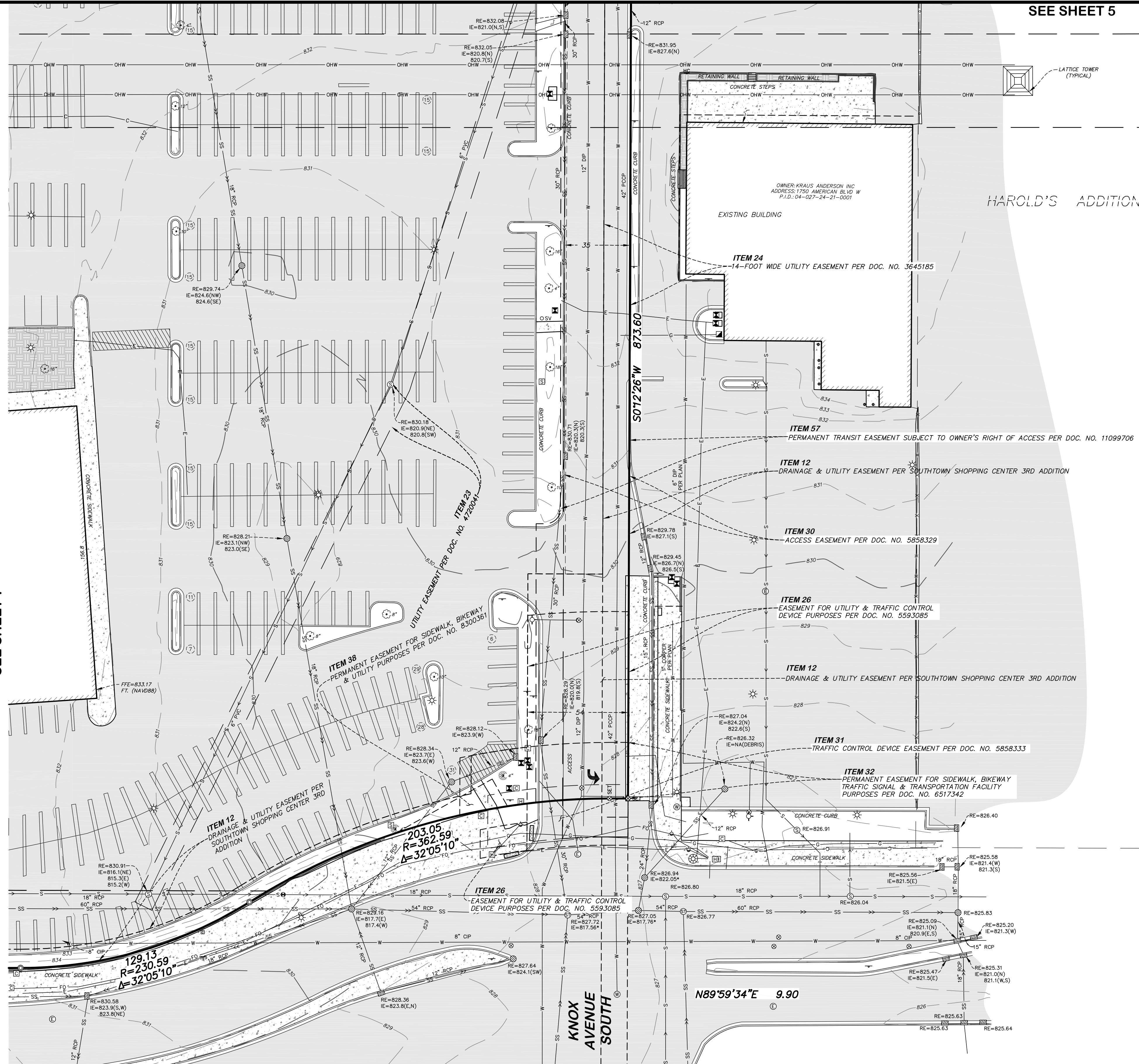
**SURVEY FOR:**  
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Kimley Horn & Associates, Inc.**

SEE SHEET 5



SCALE IN FEET

● FOUND NAIL  
⊙ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476

- LEGEND**
- ⊙ SANITARY MANHOLE
  - ⊙ STORM MANHOLE
  - ⊙ CATCH BASIN
  - ⊙ AUTO SPRINKLER
  - ⊙ GATE VALVE
  - ⊙ HYDRANT
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  - ⊙ SPRINKLER BOX
  - ⊙ ELECTRIC BOX
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  - ⊙ SEMAPHORE
  - ⊙ COMMUNICATION BOX
  - ⊙ GAS METER
  - ⊙ SIGN
  - ⊙ PEDESTRIAN POST
  - ⊙ BOLLARD
  - ⊙ HANDICAPPED PARKING SPACE
  - ⊙ HANDICAPPED PARKING SIGN
  - S — SANITARY SEWER
  - SS — STORM SEWER
  - W — WATERMAIN
  - G — UNDERGROUND GAS
  - 920 — EXISTING CONTOUR LINE
  - ⊙ OR ⊙ TREE
  - ▭ BITUMINOUS SURFACE
  - ▭ CONCRETE SURFACE
  - ▭ GRAVEL SURFACE
  - ▭ LANDSCAPE SURFACE
  - ▭ RETAINING WALL
- \* INVERT MEASUREMENT NOT ACCESSIBLE. ELEVATIONS SHOWN PER RECORD DRAWINGS.

SEE SHEET 7

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
			NO.	DATE	DESCRIPTION
		AV			
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OAV					
CHECKED BY:					
EAR					

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LAND TITLE SURVEY**

**SURVEY FOR:**  
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