

PRELIMINARY PLAT FOR: Kimley Horn & Associates, Inc.

GENERAL SURVEY NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83–2011 Adj.).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by First American Title Insurance Company National Commercial Services, Commitment No. NCS-1218137-MPLS dated April 29, 2024 at 7:30 AM.
- The surveyed property has direct access to Penn Avenue, Southtown Drive & American Boulevard West, all being public right of ways.
- The angular rotation measured clockwise from record bearings depicted on the plat of Southtown Shopping Center 3rd Addition to this survey is 00 degrees 07 minutes 10 seconds.
- The address of the property described herein is 7803 Penn Avenue South, Bloomington, Minnesota 55431.
- The property described herein lies within Flood Zone "X" (areas of minimal flood hazard) per Federal Insurance Rate Map No. 27053C 0456 F, dated November 4, 2016.
- The total area of the property described herein is 1,609,228 square feet or 36.9428 acres.
- The contours depicted herein are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.

BENCHMARK: Top of MNDOT Geodetic Monument "Embassy".
Elevation = 857.10 feet. (NAVD88)

SITE BENCHMARK: Top nut of Hydrant located South of 7801 Southtown Drive. (See sheet 3)
Elevation = 834.46 feet. (NAVD88)

- As of the date of this survey the property described herein contains a total of 1,772 parking spaces of which 1,715 are standard spaces and 57 are handicapped spaces.
- Existing utilities, services and underground structures shown herein were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket Nos. 241141957 & 241142101. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.

SURVEY ITEMS PER SCHEDULE B:

- ITEM 12:** Drainage and utility easements as shown on the recorded plat of Southtown Shopping Center 3rd Addition, recorded March 27, 1995, as Document No. 6517123. Said easements affect the surveyed property and are depicted herein.
- ITEM 13:** Drainage and utility easements as shown on the recorded plat of Southtown Shopping Center 2nd Addition, recorded December 24, 1991, as Document No. 5858322, portions of which were vacated by Ordinance No. 95-20, a certified copy of which was recorded December 14, 1995, as Document No. 6512058. Said easements that have not been vacated affect the surveyed property and are depicted herein (see North line of surveyed property).
- ITEM 14:** Easement for sidewalk and bikeway purposes in favor of the City of Bloomington, as contained in Easement dated April 2, 1985, recorded April 11, 1985, as Document No. 4984008. Said easements affect the surveyed property and are depicted herein.
- ITEM 15:** Easement to erect and maintain temporary snow fences upon lands adjacent to highway acquired by the State of Minnesota, as evidenced of record by Final Certificate dated May 24, 1963, recorded May 28, 1963, in Book 2391 of Deeds, page 211, as Document No. 3408720, and by Final Certificate dated July 26, 1963, recorded August 9, 1963, in Book 2402 of Deeds, page 154, as Document No. 3422775. The right to erect and maintain temporary snow fences exists along the north line of the surveyed property.
- ITEM 16:** Easement for storm sewer in favor of the Village of Bloomington, as contained in Quit Claim Deed dated June 12, 1958, recorded September 19, 1958, in Book 2181 of Deeds, page 427, as Document No. 3137801. Said easement does not affect the surveyed property and is depicted herein for reference.
- ITEM 17:** Easement for gas mains, service pipes, and appurtenances thereto, in favor of Minneapolis Gas Company, as contained in Easement dated June 3, 1960, recorded June 10, 1960, in Book 2258 of Deeds, page 138, as Document No. 3236759. Amended by Amendment to Easement dated December 24, 1991, recorded December 24, 1991, as Document No. 5858337. Said easement affects the surveyed property and is depicted herein.
- ITEM 18:** Easement for gas mains, service pipes, and appurtenances thereto, in favor of Minneapolis Gas Company, as contained in Easement dated October 6, 1964, recorded December 1, 1964, in Book 2471 of Deeds, page 510, as Document No. 3514151. Said easement affects the surveyed property and is depicted herein.
- ITEM 19:** Easement for electric transmission lines, and rights incidental thereto, in favor of Northern States Power Company, as contained in instrument dated October 31, 1923, recorded December 11, 1923, in Book 1034 of Deeds, page 395, as Document No. 1186581. License to encroach onto said easement granted to Kraus-Anderson, Incorporated, by Encroachment License dated November 28, 1973, recorded December 12, 1973, as Document No. 4059064, and by Encroachment License Agreement dated August 20, 1996, recorded October 4, 1996, as Document No. 6643311. Said easement for transmission line purposes per Doc. No. 1186581 affects the surveyed property and is depicted herein. Said encroachment license agreement affects the surveyed property. The area affected by said agreement is depicted herein.
- ITEM 20:** Easement for electric transmission lines, and rights incidental thereto, in favor of Northern States Power Company, as contained in Easement dated December 3, 1952, recorded March 20, 1953, in Book 1954 of Deeds, page 455, as Document No. 2802866. Said easement affects Lot 2, Block 1, SOUTHTOWN SHOPPING CENTER 2ND ADDITION (1800 American Boulevard W Parcel) and does not affect the surveyed property. Said easement is depicted herein for reference.
- ITEM 21:** Easement for sanitary sewer purposes for the benefit of Lot 1, Block 1, Sam and Estelle Rosenberg 1st Addition, as contained in Quit Claim Deed dated February 5, 1975, recorded February 13, 1975, as Document No. 4128452. Amended by Amendment No. 1 to Easement Agreement dated December 22, 1995, recorded December 27, 1995, as Document No. 6516750, and by Amendment No. 2 to Easement Agreement dated March 13, 1996, recorded March 15, 1996, as Document No. 6549984. Said easement per Doc. No. 6549984 affects the surveyed property and is depicted herein.
- ITEM 22:** Easement for utility and traffic signal purposes in favor of the City of Bloomington, as contained in Quit Claim Deed dated April 1, 1981, recorded May 8, 1981, as Document No. 4641980. Said easement affects Lot 1, Block 1, SOUTHTOWN SHOPPING CENTER 4TH ADDITION (7901 Penn Avenue S Parcel) and does not affect the surveyed property. Said easement is depicted herein for reference.
- ITEM 23:** Easement for sanitary sewer in favor of Sleek and Ale of Minnesota, Inc., as contained in Easement Agreement dated December 16, 1981, recorded June 3, 1982, as Document No. 4720041. Said easement affects the surveyed property and is depicted herein.

SURVEY ITEMS PER SCHEDULE B:

- ITEM 24:** Utility easement in favor of the City of Bloomington, as contained in Quit Claim Deed dated October 17, 1965, recorded February 14, 1967, in Book 2579 of Deeds, page 525, as Document No. 3645185. Said easement affects the surveyed property and is depicted herein. The temporary easements contained in said document expired on October 1, 1967.
- ITEM 25:** Easement for sidewalk and bikeway purposes in favor of the City of Bloomington, as contained in Easement dated July 23, 1982, recorded August 5, 1982, as Document No. 4732298. Said easement is fully embraced within the right of way of American Boulevard West (FKA West 80th Street) and does not affect the surveyed property. No plottable items to depict.
- ITEM 26:** Easement for utility and traffic control device purposes in favor of the City of Bloomington, as contained in Easement dated October 4, 1989, recorded November 8, 1989, as Document No. 5593085. Said easement affects the surveyed property and is depicted herein.
- ITEM 27:** Easement for ingress and egress for the benefit of part of Lot 1, Block 1, Southtown Shopping Center, as contained in Access Easement Agreement (North) dated December 24, 1991, recorded December 24, 1991, as Document No. 5858330. Amended by Amendment No. 1 to Access Easement Agreement (North) dated December 28, 1995, recorded December 28, 1995, as Document No. 6517340. Said easement benefits Lot 1, Block 1, SOUTHTOWN SHOPPING CENTER 4TH ADDITION (7901 Penn Avenue S Parcel). Said easement affects the surveyed property and is depicted herein.
- ITEM 28:** Easement for ingress and egress for the benefit of part of Lot 1, Block 1, Southtown Shopping Center, as contained in Access Easement Agreement (South) dated December 24, 1991, recorded December 24, 1991, as Document No. 5858331. Amended by Amendment No. 1 to Access Easement Agreement (South) dated December 28, 1995, recorded December 28, 1995, as Document No. 6517341. Said easement benefits Lot 1, Block 1, JIFFY LUBE ADDITION (7999 Penn Avenue S Parcel). Said easement affects the surveyed property and is depicted herein.
- ITEM 29:** Easement for parking motor vehicles for the benefit of Lot 2, Block 1, Southtown Shopping Center 2nd Addition, as contained in Declaration of Parking Easement dated December 24, 1991, recorded December 24, 1991, as Document No. 5858332. Said easement affects the surveyed property and is depicted herein.
- ITEM 30:** Easement for ingress and egress for the benefit of Lot 2, Block 1, Southtown Shopping Center 2nd Addition, as contained in Declaration of Access Easement dated December 24, 1991, recorded December 24, 1991, as Document No. 5858329. Said easement affects the surveyed property and is depicted herein.
- ITEM 31:** Easements for street purposes, for sidewalk and bikeway purposes, for sidewalk, bikeway and utility purposes, for sidewalk, bikeway, utility and traffic control device purposes, and for traffic control device purposes, all in favor of the City of Bloomington, as contained in Easement dated December 24, 1991, recorded December 24, 1991, as Document No. 5858333. The easements contained in said document that affect the surveyed property are depicted herein. All other easements that are embraced within dedicated rights of way do not affect the surveyed property and are not depicted herein.
- ITEM 32:** Easement for sidewalk, bikeway, traffic signal, and transportation facility purposes in favor of the City of Bloomington, as contained in Easement dated December 28, 1995, recorded December 28, 1995, as Document No. 6517342. Said easement affects the surveyed property and is depicted herein.
- ITEM 33:** Easement for sidewalk, utility and traffic control device purposes in favor of the City of Bloomington, as contained in Easement dated June 13, 1996, recorded June 14, 1996, as Document No. 6589698. Said easement affects the surveyed property and is depicted herein.
- ITEM 34:** Terms and conditions of Development Agreement dated December 18, 1995, recorded December 21, 1995, as Document No. 6514891. Amended by First Amendment to Development Agreement dated August 3, 2015, recorded August 28, 2015, as Document No. A10323457. Said agreement affects the surveyed property. No plottable items to depict.
- ITEM 35:** Terms and conditions of Planned Development Agreement dated October 21, 1991, recorded December 23, 1991, as Document No. 5858292. Said agreement affects the surveyed property. No plottable items to depict.
- ITEM 36:** Terms and conditions of Ordinance No. 2000-24, a certified copy of which was recorded October 3, 2000, as Document No. 7362933. Said ordinance adopts an official map identifying portions of parcels needed for the Penn Avenue interchange. Said ordinance only identifies areas, but no acquisition process was executed through this ordinance. No plottable items to depict.
- ITEM 37:** Permanent easement for wall maintenance purposes, limitation of access to Interstate Highway No. 494 and/or Southtown Drive, and limitation of access to Penn Avenue South, all acquired by the City of Bloomington in condemnation, as evidenced of record by Final Certificate dated November 18, 2002, recorded November 20, 2002, as Document No. 7865761. Said wall maintenance easement affects the surveyed property and is depicted herein. Said limitations of access to Interstate Highway 494 and Penn Avenue affect the surveyed property. The locations of said limitations of access are depicted herein.
- ITEM 38:** Permanent easements for sidewalk, bikeway and utility purposes and for utility and traffic signal facility purposes acquired by the City of Bloomington in condemnation, as evidenced of record by Final Certificate dated February 24, 2004, recorded February 26, 2004, as Document No. 8300361. Said easement affects the surveyed property and is depicted herein.
- ITEM 39:** Covenant Not to Compete in favor of McDonald's Corporation dated May 17, 1996, recorded May 20, 1996, as Document No. 6576737. Said covenant affects the surveyed property. No plottable items to depict.
- ITEM 40:** Lease by and between Southtown Center, Inc., a Minnesota corporation, as Landlord, and Montgomery Ward & Co., Incorporated, an Illinois corporation, dated July 10, 1957, recorded March 20, 1958, in Book 799 of Misc., page 366, as Document No. 3109440. Amended by Supplemental Agreement dated February 26, 1960, recorded May 31, 1960, in Book 860 of Misc., page 542, as Document No. 3235012, by Supplemental Agreement dated June 23, 1960, recorded September 12, 1960, in Book 869 of Misc., page 597, as Document No. 3251411, by Supplemental Agreement dated August 10, 1960, recorded January 9, 1961, in Book 879 of Misc., page 5, as Document No. 3272347, and by Supplemental Agreement dated January 7, 1966, recorded April 26, 1966, in Book 1037 of Misc., page 107, as Document No. 3600965. Tenant's interest assigned to G.R. Herberger's, Inc., a Delaware corporation, by Assignment of Lease and Assumption Agreement dated October 29, 1998, recorded November 2, 1998, as Document No. 6995929. As affected by Subordination, Non-Disturbance and Attornment Agreement dated June 9, 2016, recorded June 22, 2016, as Document No. A10325927.
- ITEM 41:** Unrecorded sublease dated July 7, 1989, by and between Montgomery Ward & Co., Incorporated, as Landlord, and Toys "R" Us, Inc., a Delaware corporation, as Tenant, as evidenced of record by Memorandum of Lease dated July 7, 1989, recorded August 29, 1989, as Document No. 5568236.

SURVEY ITEMS PER SCHEDULE B:

- ITEM 42:** Lease by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Minnesota Fabrics, Inc., a Minnesota corporation, as Tenant, dated July 26, 1991, recorded September 27, 1991, as Document No. 5829451. Amended by unrecorded letter agreement dated August 12, 1996, as to Tenant, and August 30, 1996, as to Landlord, and by unrecorded Amendment No. 2 to Lease dated May 17, 2001, as evidenced of record by Memorandum of Amendment No. 2 to Lease by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Hancock Fabrics, Inc., a Delaware corporation, successor by merger to Minnesota Fabrics, Inc., a Minnesota corporation, as Tenant, dated May 17, 2001, recorded June 12, 2001, as Document No. 7486492. Amended by Memorandum of Amendment No. 3 dated August 26, 2010, recorded September 13, 2010, recorded September 13, 2010, as Document No. A9558774.
- ITEM 43:** Unrecorded Ground Lease dated February 5, 1996, amended May 8, 1996, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and McDonald's Corporation, a Delaware corporation, as Tenant, as evidenced of record by Memorandum of Lease dated May 8, 1996, recorded May 20, 1996, as Document No. 6576736. Supplemented by Supplement to Lease dated August 29, 1996, recorded February 13, 1997, as Document No. 6589722. Said lease affects the surveyed property. The location of the described lease area is depicted herein.
- ITEM 44:** Unrecorded lease dated January 16, 1996, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Kohl's Department Stores, Inc., a Delaware corporation, as Tenant, as evidenced of record by Memorandum of Lease dated May 15, 1996, recorded May 23, 1996, as Document No. 6578521.
- ITEM 45:** Unrecorded lease dated September 6, 1995, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Norstar Bagel Bakeries, Inc., a Minnesota corporation, as Tenant, as evidenced of record by Memorandum of Lease dated June 5, 1996, recorded June 26, 1996, as Document No. 6597726. The Tenant's interest was collaterally assigned to Banknorth, National Association, by Collateral Assignment of Lease dated January 30, 2004, recorded September 16, 2004, as Document No. 8438503.
- ITEM 46:** Unrecorded Agreement of Lease dated May 5, 1997, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Bed Bath & Beyond Inc., a New York corporation, as Tenant, as evidenced of record by Memorandum of Lease dated May 5, 1997, recorded May 27, 1997, as Document No. 6738116. As affected by Subordination, Nondisturbance and Attornment Agreement dated June 9, 2016, recorded June 9, 2016, as Document No. A10320702. As affected by Amendment to Memorandum of Lease dated March 23, 2017, recorded August 23, 2017, as Document No. A1047644.
- ITEM 47:** Unrecorded lease dated October 1, 1996, as amended by lease amendments dated June 11, 1997, and March 18, 1998, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and AMF Bowling Centers, Inc., a Virginia corporation, as Tenant, as evidenced of record by Short Form Lease dated May 28, 1998, recorded July 16, 1998, as Document No. 6930986. As affected by Subordination, Nondisturbance and Attornment Agreement dated June 9, 2016, recorded June 9, 2016, as Document No. A10320701.
- ITEM 48:** Unrecorded Shopping Center Lease Agreement dated June 30, 2004, by and between Kraus-Anderson, Incorporated, a Minnesota corporation, as Landlord, and Apple American Limited Partnership of Minnesota, a Minnesota limited partnership, as Tenant. As affected by Landlord Agreement dated October 27, 2010, recorded November 8, 2010, as Document No. A9582679.
- ITEM 49:** Unrecorded Leases in favor of Panda Express, Inc., a California corporation, Tenant, as evidenced by Subordination, Non-Disturbance and Attornment Agreement dated September 17, 2010, recorded October 10, 2010, as Document No. A9573969.
- ITEM 50:** Mortgage and Security Agreement and Fixture Financing Statement dated June 9, 2016, recorded June 9, 2016, as Document No. A10320698, between Kraus-Anderson, Incorporated, a Minnesota corporation, Mortgagor, and Thrivent Financial for Lutherans, Mortgagor, in the original amount of \$20,000,000.00.
- ITEM 51:** Assignment of Leases and Rents dated June 9, 2016, recorded June 9, 2016, as Document No. A10320699, between Kraus-Anderson, Incorporated, a Minnesota corporation, Assignor, and Thrivent Financial for Lutherans, Assignee.
- ITEM 52:** Unrecorded Lease between Kraus-Anderson, Incorporated, Landlord, and TJX Companies, Inc., Tenant, as evidenced by Short Form Lease Agreement dated November 5, 1982, recorded February 3, 1983, as Document No. 4770020. As amended by First Amendment to Short Form Lease dated November 5, 1991, recorded December 23, 1991, as Document No. 5858291. As affected by Subordination, Non-Disturbance and Attornment Agreement dated June 15, 2016, recorded June 20, 2016, as Document No. A10324930.
- ITEM 53:** Terms and conditions of a Lease between Kraus-Anderson, Incorporated, a Minnesota corporation, Lessor, and Verizon Wireless, Lessee, as evidenced by Memorandum of Lease Supplement dated November 21, 2016, recorded November 28, 2016, as Document No. A10385060. Said lease affects the surveyed property. The location of said lease is not described and the approximate locations of the utility centerline and pole are depicted herein.
- There are time limit terms associated with said lease that involve renewal processes. See document for more information.
- ITEM 54:** Terms and conditions of a Lease between Kraus-Anderson, Incorporated, a Minnesota corporation, Lessor, and Verizon Wireless, Lessee, as evidenced by Memorandum of Lease Supplement dated November 21, 2016, recorded November 28, 2016, as Document No. A10385093. Said lease affects the surveyed property. The location of said lease is not described and its approximate locations of the utility centerline and pole are depicted herein.
- There are time limit terms associated with said lease that involve renewal processes. See document for more information.
- ITEM 55:** Terms and conditions of Conditional User Permit as contained in Planning Commission Resolution No. 2017-1 dated January 12, 2017, recorded February 15, 2017, as Document No. A10413528. Said conditional use permit affects the surveyed property. No plottable items to depict.
- ITEM 56:** Easements in favor of the City of Bloomington as contained in Easement dated April 24, 2019, recorded May 23, 2019, as Document No. A10661199. Said easement affects the surveyed property and is depicted herein.
- ITEM 57:** Easements in favor of the Metropolitan Council as contained in Final Certificate dated March 29, 2022, recorded April 20, 2022, as Document No. 11099706. Said easements affect the surveyed property and depicted herein. The temporary easements contained in said document expired on June 30, 2021.
- ITEM 58:** Easements in favor of Minnesota Department of Transportation as contained in Temporary Easement Agreement dated December 29, 2023, recorded January 2, 2024, as Document No. 11254904. Said temporary easement affects the surveyed property and is depicted herein. Said temporary easement expires December 1, 2028.
- ITEM 59:** Rights of tenants under unrecorded leases.

GOPHER STATE ONE CALL NOTE:

List of utilities notified per Gopher State One Call Ticket Nos. 241142101 & 241141957.

ARVO	HENNEPIN COUNTY PUBLIC WORKS
AT&T TRANSMISSION	METRO TRANSIT FACILITIES
BEST BUY COMPANY	MCI
CENTER POINT ENERGY	MNDOT
CITY OF BLOOMINGTON UTILITIES	SPRINT/COGENT COMMUNICATIONS
CITY OF BLOOMINGTON TRAFFIC	VERIZON WIRELESS
CITY OF RICHFIELD	XCEL ENERGY
COMCAST	ZAYO BANDWIDTH
CENTURYLINK - CTQL	
CONSOLIDATED COMMUNICATIONS I	

EXISTING LEGAL DESCRIPTION:

Lot 1, Block 1, Southtown Shopping Center 3rd Addition, Hennepin County, Minnesota.

Abstract Property.

PROPOSED LEGAL DESCRIPTIONS:

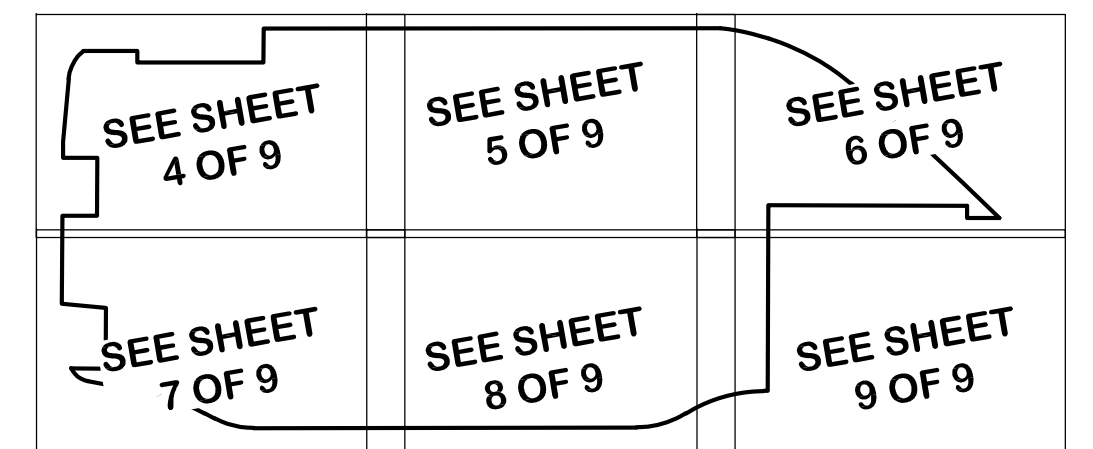
Lot 1, Lot 2, Lot 3 & Lot 4, Block 1, SOUTHTOWN SHOPPING CENTER 5TH ADDITION, Hennepin County, Minnesota.

PROPOSED LOT SUMMARY:

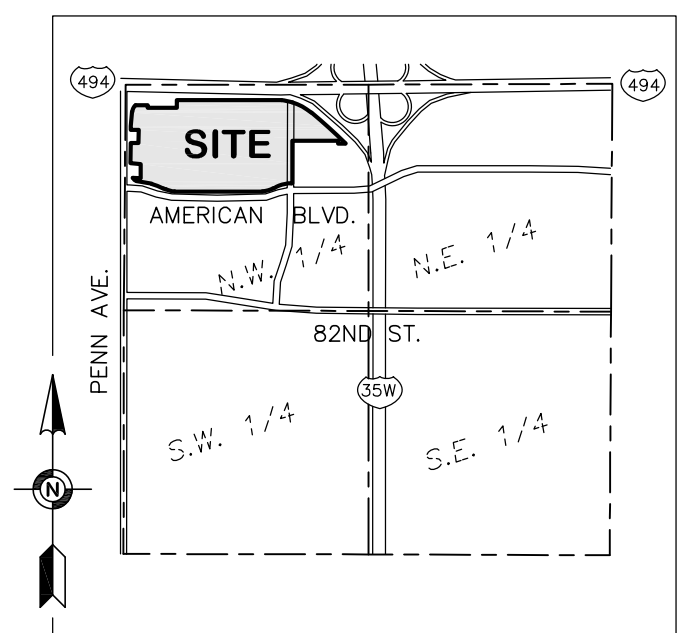
Lot 1, Block 1:	21.5870 Acres	940,329 Square Feet
Lot 2, Block 1:	4.8414 Acres	202,180 Square Feet
Lot 3, Block 1:	5.4063 Acres	235,497 Square Feet
Lot 4, Block 1:	5.3081 Acres	231,222 Square Feet
Total:	36.9428 Acres	1,609,228 Square Feet

SHEET LAYOUT DETAIL:

SEE SHEETS 3 THROUGH 8 FOR SITE IMPROVEMENTS



SECTION 04, T 27 N, R 24 W



VICINITY MAP
NO SCALE

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: May 15, 2024.
Date of signature: June 14, 2024.



Eric A. Roeser
Minnesota License No. 47476
eroeser@efnsurvey.com

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
		AV	NO.	DATE
		DRAWN BY:	1	2024/06/27
		DAY		
		CAT		
		CHECKED BY:		
		EAR		
DRAWING NAME:				
39947 2024 Preliminary Plat				
JOB NO. 39947				
FILE NO.				

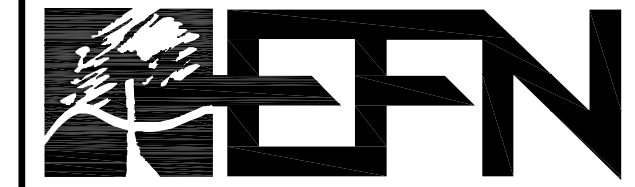
PRELIMINARY PLAT OF SOUTHTOWN SHOPPING CENTER 5TH ADDITION

SURVEY FOR:

Kimley Horn & Associates, Inc.

PROPERTY ADDRESS:

**7803 Penn Avenue South
Bloomington, Minnesota 55431**



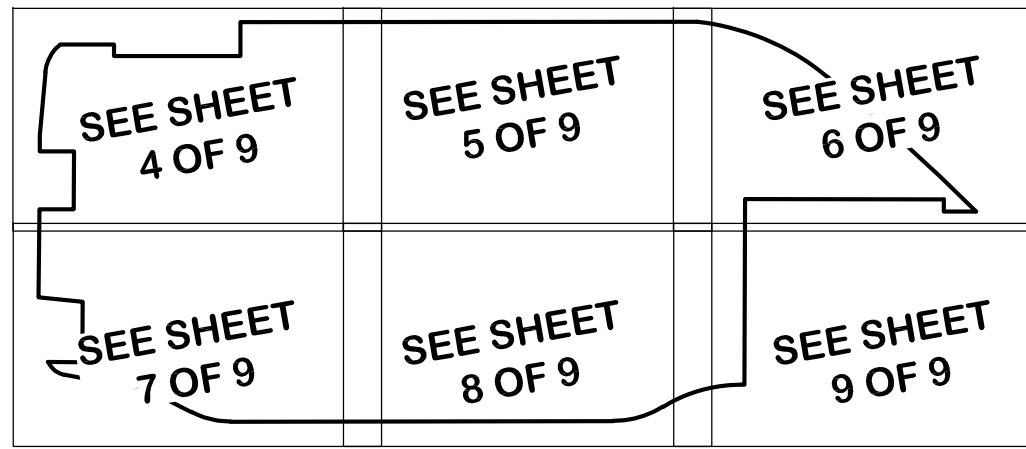
Egan, Field & Nowak, Inc.
land surveyors since 1872

475 Old Highway 8 NW, Suite 200
New Brighton, Minnesota 55112
PHONE: (612) 466-3300
WWW.EFNSURVEY.COM

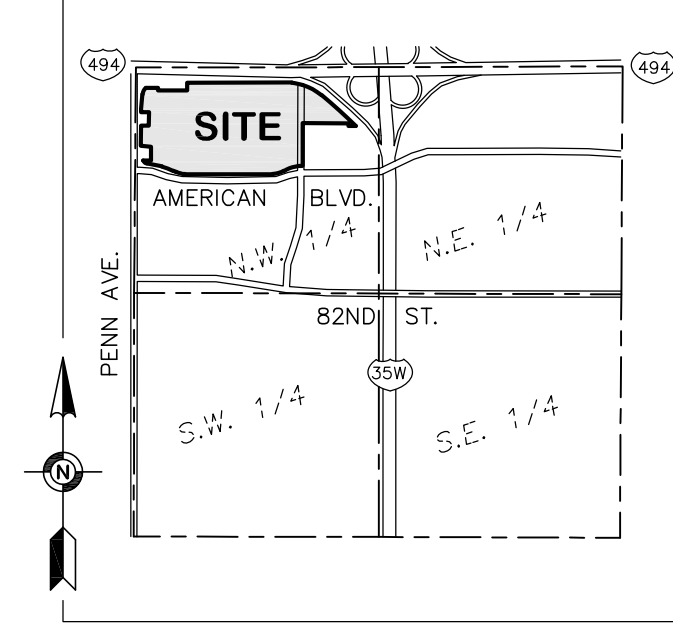
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SHEET LAYOUT DETAIL:

SEE SHEETS 4 THROUGH 9 FOR SITE IMPROVEMENTS



SECTION 04, T 27 N, R 24 W



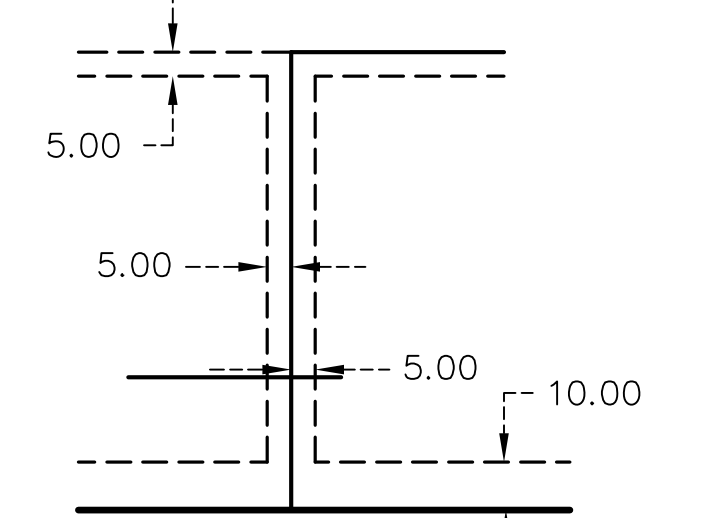
VICINITY MAP
NO SCALE

GENERAL SURVEY NOTES:

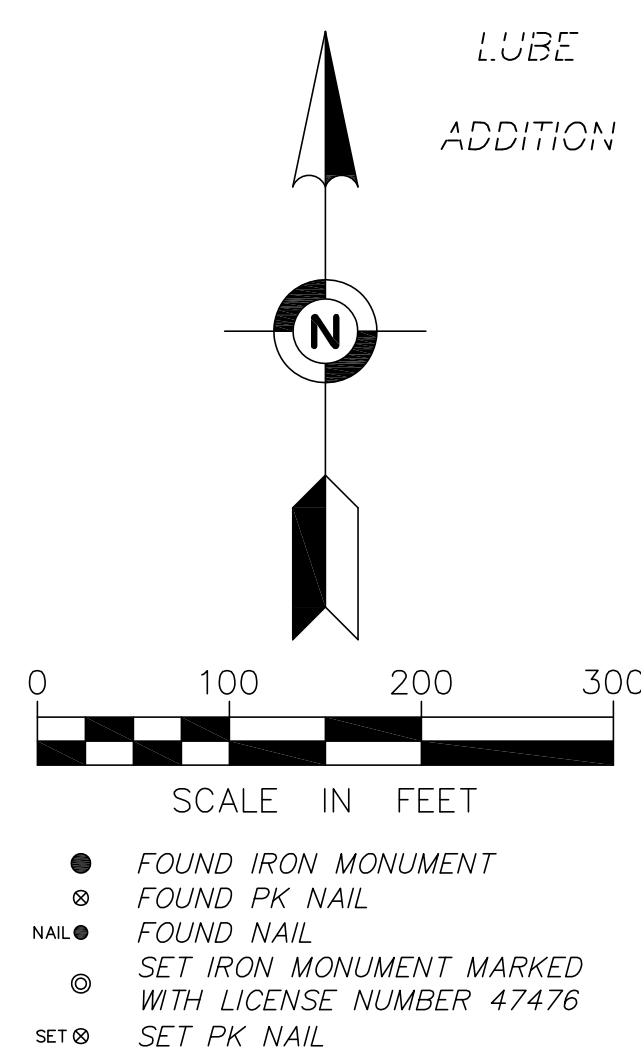
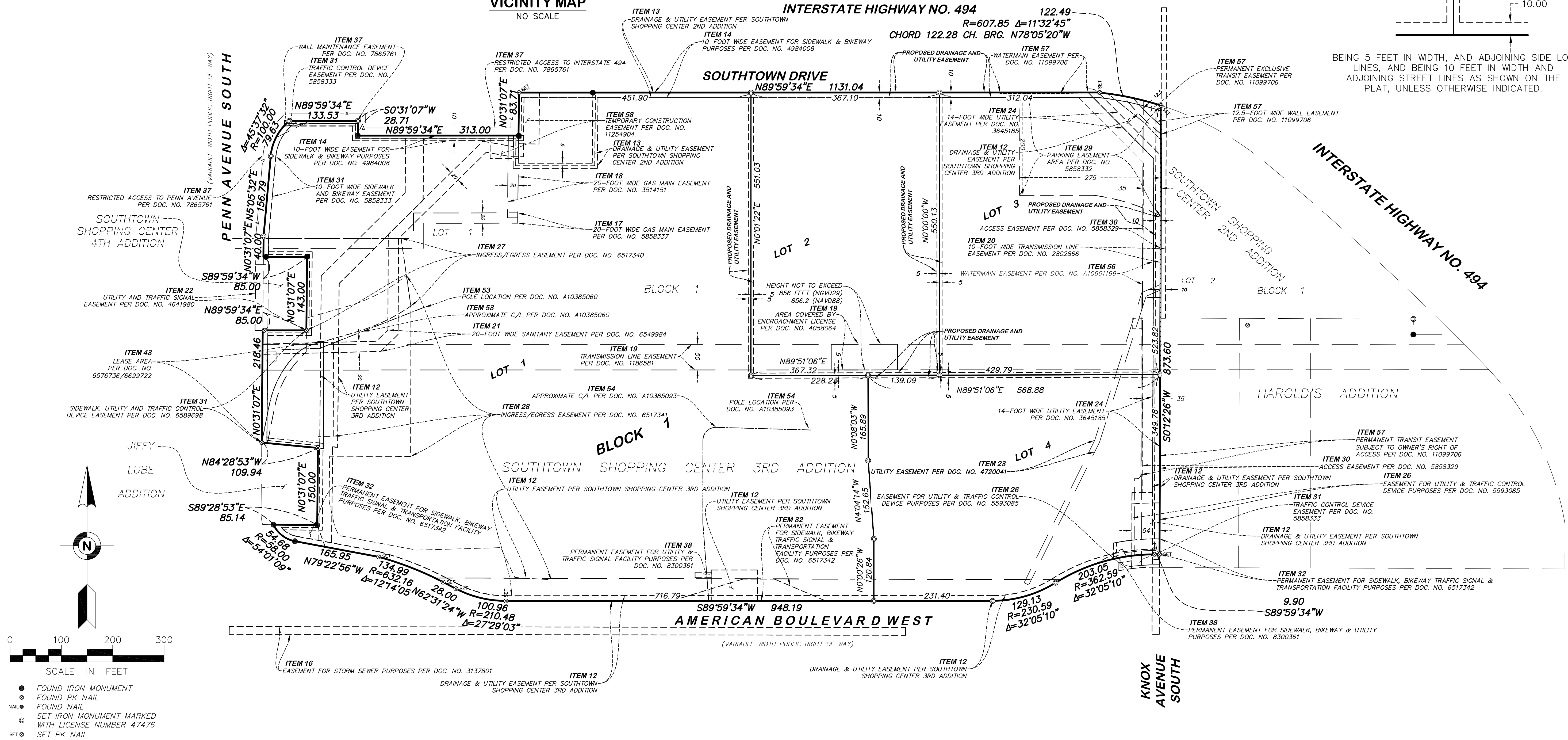
- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-2011 Adj.).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by First American Title Insurance Company National Commercial Services, Commitment No. NCS-1218137-MPLS dated April 29, 2024 at 7:30 AM.
- The surveyed property has direct access to Penn Avenue, Southtown Drive & American Boulevard West, all being public right of ways.
- The angular rotation measured clockwise from record bearings depicted on the plot of Southtown Shopping Center 3rd Addition to this survey is 00 degrees 07 minutes 10 seconds.

**PRELIMINARY PLAT FOR:
Kimley Horn & Associates, Inc.**

PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH, AND ADJOINING SIDE LOT LINES, AND BEING 10 FEET IN WIDTH AND ADJOINING STREET LINES AS SHOWN ON THE PLAT, UNLESS OTHERWISE INDICATED.



- FOUND IRON MONUMENT
- FOUND PK NAIL
- FOUND NAIL
- ⊙ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476
- ⊙ SET PK NAIL

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
		AV	NO.	DATE	DESCRIPTION
		DRAWN BY:	1	2024/06/27	REVISED PROPOSED PROPERTY LINES
DRAWING NAME:		CHECKED BY:			
39947 2024 Preliminary Plat		EAR			
JOB NO. 39947					
FILE NO.					

**PRELIMINARY PLAT
OF
SOUTHTOWN SHOPPING
CENTER 5TH ADDITION**

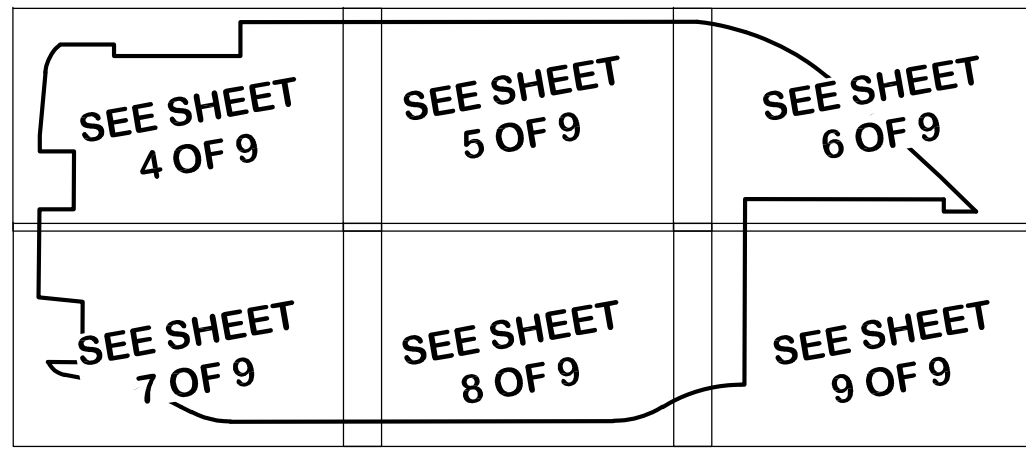
SURVEY FOR:
Kimley Horn & Associates, Inc.

PROPERTY ADDRESS:
**7803 Penn Avenue South
Bloomington, Minnesota 55431**

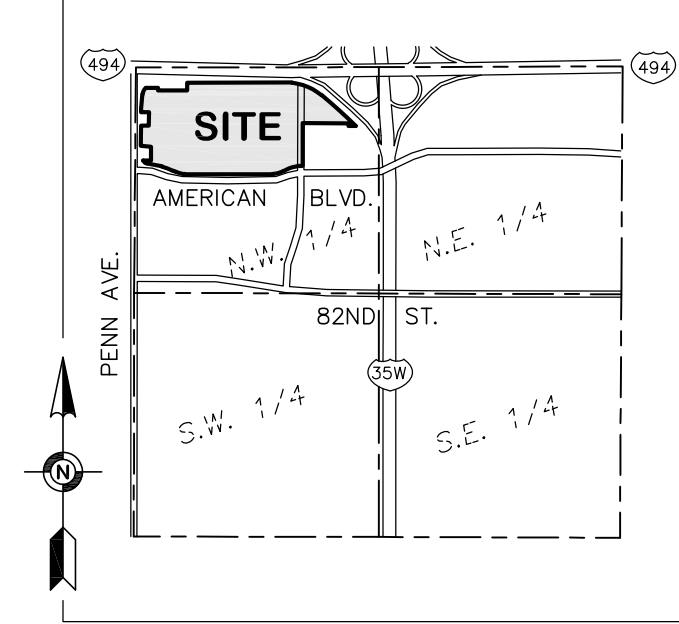
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New Brighton, Minnesota 55112
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land surveyors since 1872

SHEET LAYOUT DETAIL:

SEE SHEETS 4 THROUGH 9 FOR SITE IMPROVEMENTS



SECTION 04, T 27 N, R 24 W



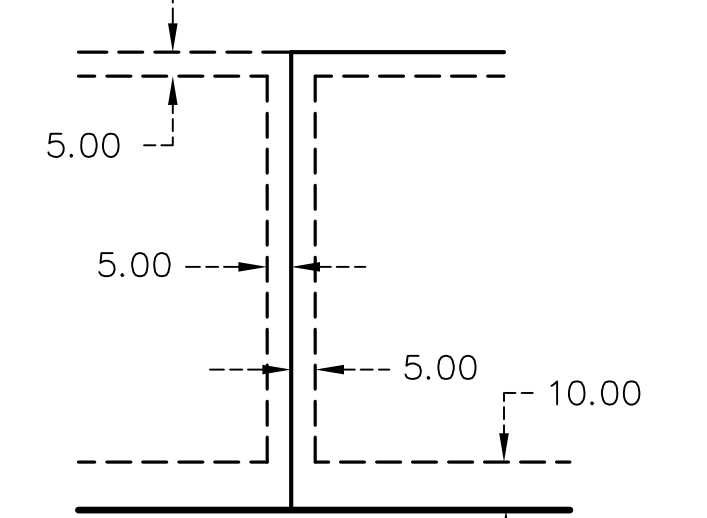
VICINITY MAP
NO SCALE

GENERAL SURVEY NOTES:

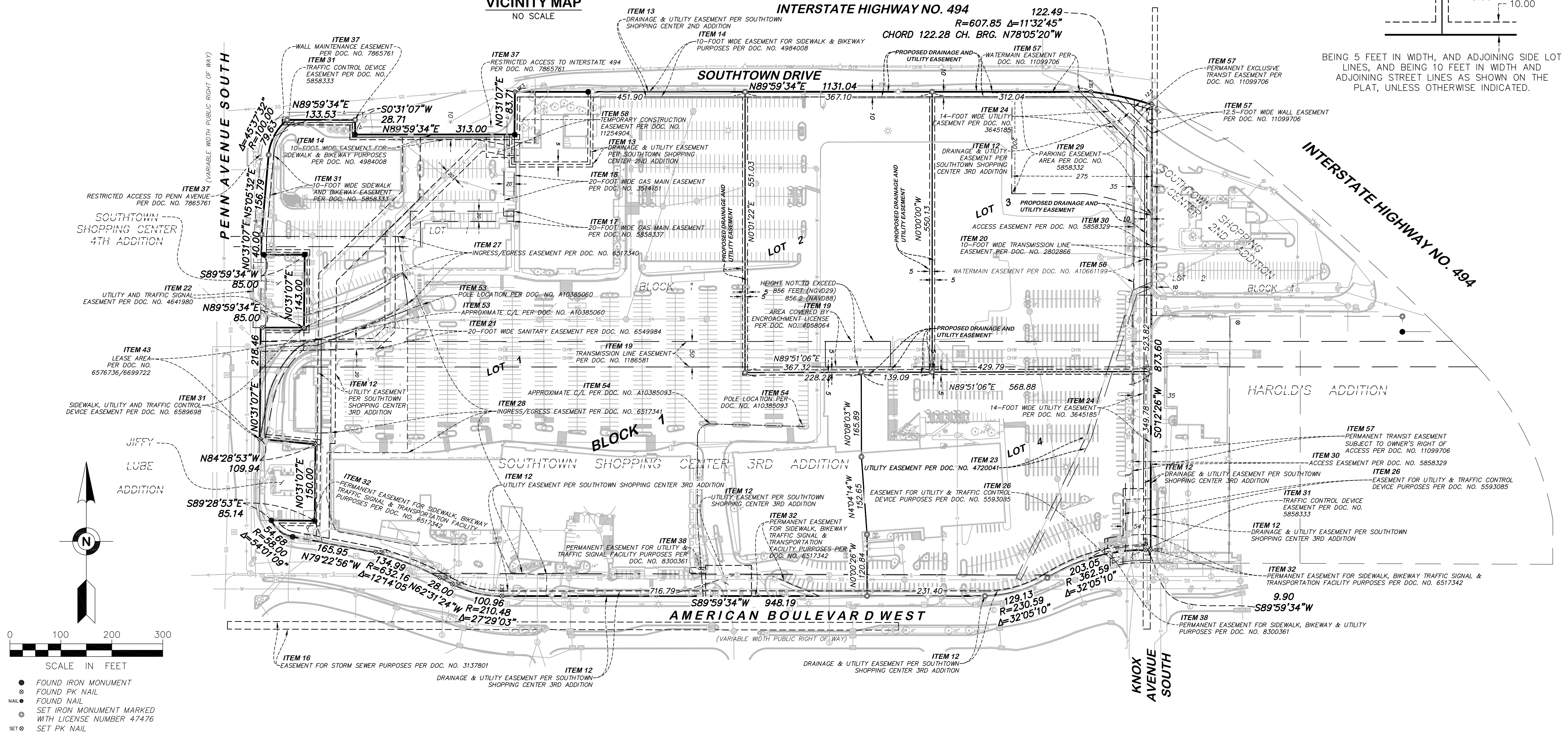
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Kimley Horn & Associates, Inc.

PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH, AND ADJOINING SIDE LOT LINES, AND BEING 10 FEET IN WIDTH AND ADJOINING STREET LINES AS SHOWN ON THE PLAT, UNLESS OTHERWISE INDICATED.



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
			NO.	DATE	DESCRIPTION
		AV	1	2024/06/27	REVISED PROPOSED PROPERTY LINES
DRAWING NAME:					
39947 2024 Preliminary Plat					
JOB NO. 39947					
FILE NO.					

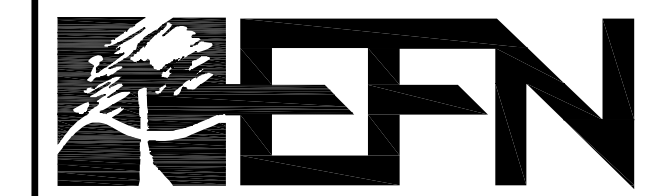
PRELIMINARY PLAT
OF
SOUTHTOWN SHOPPING
CENTER 5TH ADDITION

SURVEY FOR:

Kimley Horn & Associates, Inc.

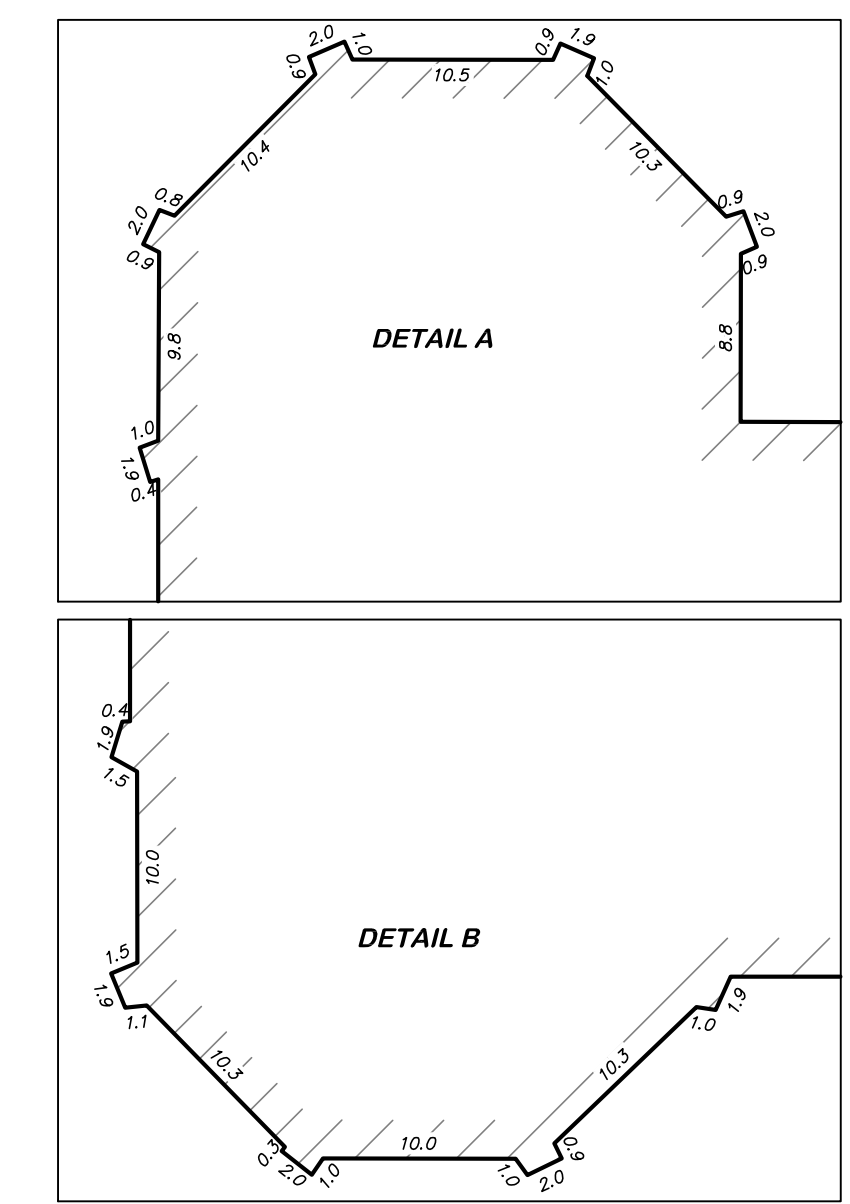
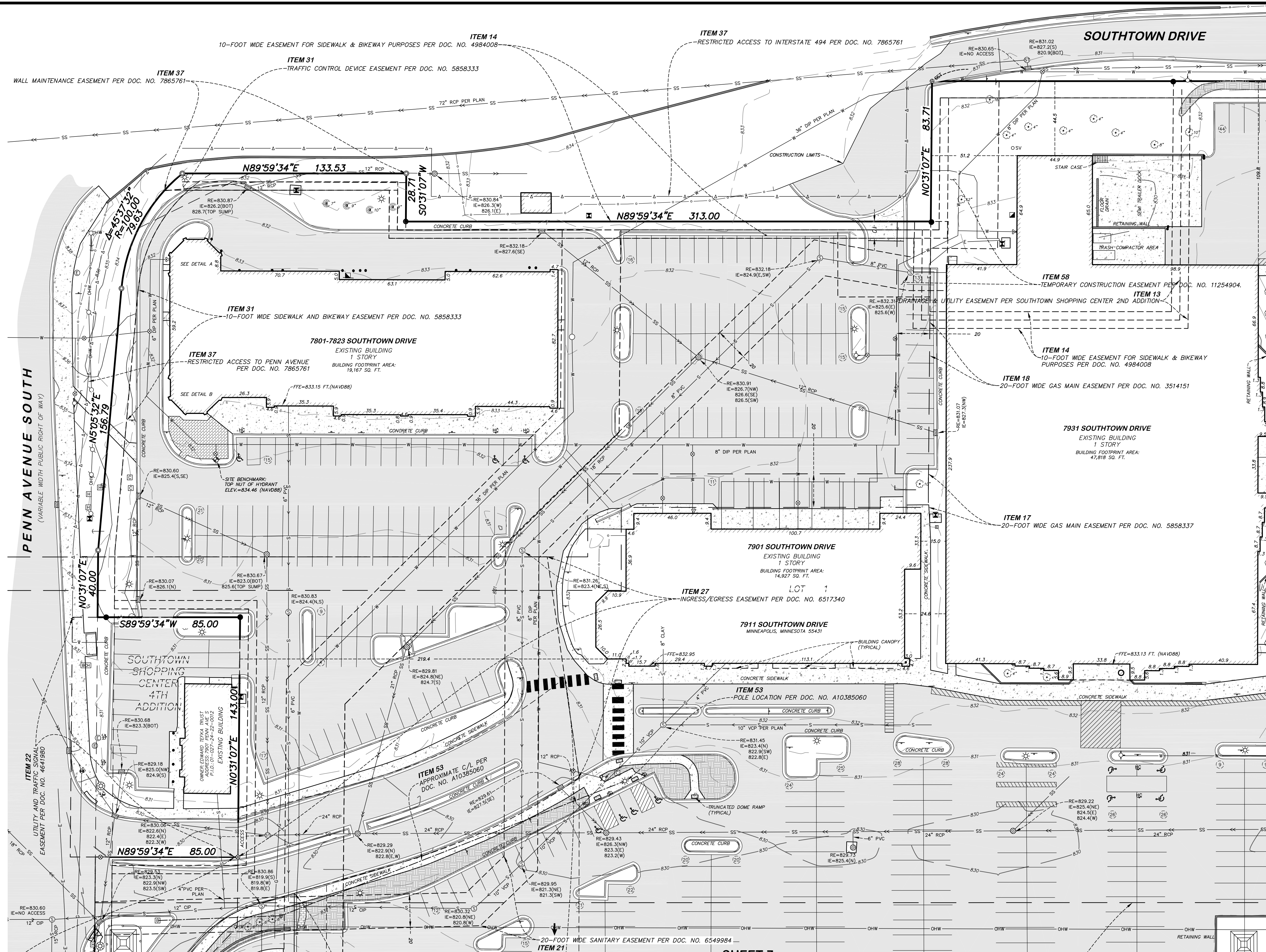
PROPERTY ADDRESS:

7803 Penn Avenue South
Bloomington, Minnesota 55431



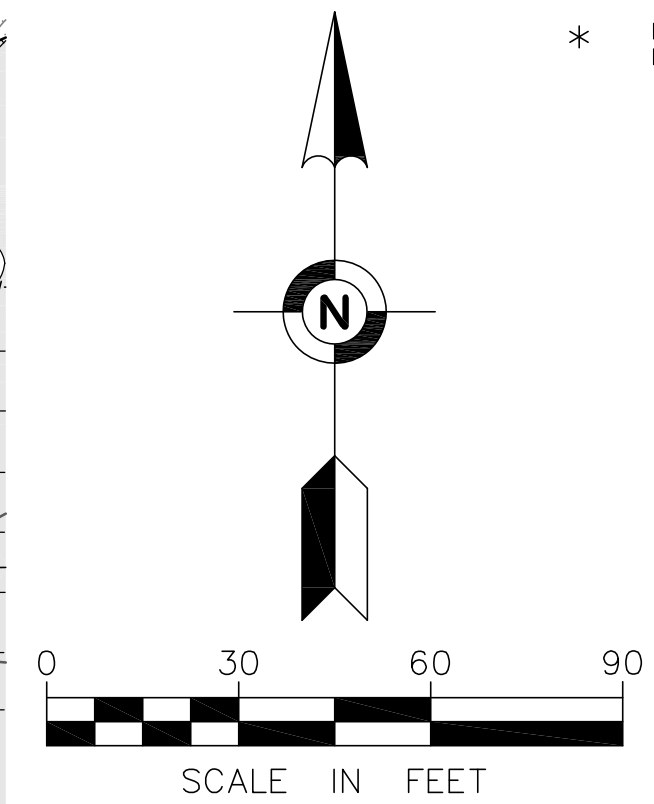
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PRELIMINARY PLAT FOR:
Kimley Horn & Associates, Inc.



- LEGEND**
- ⊙ SANITARY MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ CATCH BASIN
 - ⊙ AUTO SPRINKLER
 - ⊙ GATE VALVE
 - ⊙ HYDRANT
 - ⊙ POST INDICATOR VALVE
 - ⊙ ELECTRIC BOX
 - ⊙ LIGHT
 - ⊙ SEMAPHORE
 - ⊙ COMMUNICATION BOX
 - ⊙ GAS METER
 - ⊙ SIGN
 - ⊙ PEDESTRIAN POST
 - ⊙ BOLLARD
 - ⊙ HANDICAPPED PARKING SPACE
 - ⊙ HANDICAPPED PARKING SIGN
 - ⊙ STORM SEWER
 - ⊙ SANITARY SEWER
 - ⊙ WATERMAIN
 - ⊙ UNDERGROUND GAS
 - ⊙ EXISTING CONTOUR LINE
 - ⊙ TREE
 - ▨ BITUMINOUS SURFACE
 - ▨ CONCRETE SURFACE
 - ▨ GRAVEL SURFACE
 - ▨ LANDSCAPE SURFACE
 - ▨ RETAINING WALL
- * INVERT MEASUREMENT NOT ACCESSIBLE.
ELEVATIONS SHOWN PER RECORD DRAWINGS.

SEE SHEET 5



- FOUND IRON MONUMENT
- FOUND PK NAIL
- FOUND NAIL
- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476
- SET PK NAIL

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
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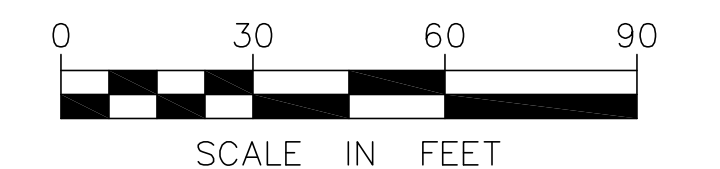
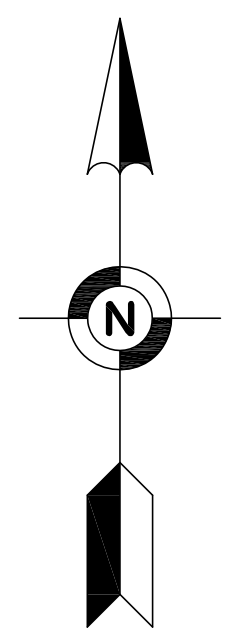
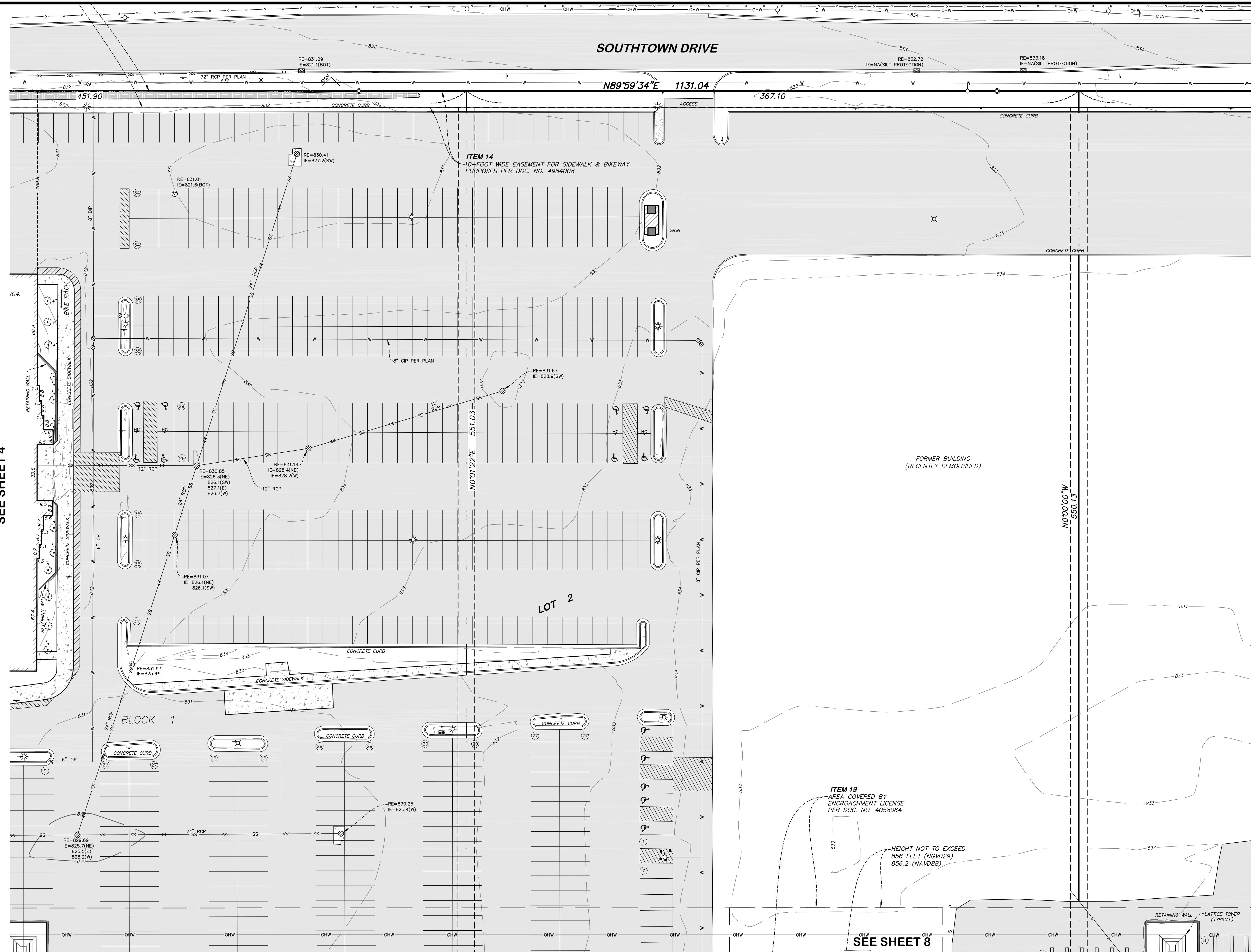
PRELIMINARY PLAT
OF
SOUTHTOWN SHOPPING CENTER 5TH ADDITION

SHEET 7
SURVEY FOR:
Kimley Horn & Associates, Inc.

PROPERTY ADDRESS:
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Bloomington, Minnesota 55431

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- FOUND IRON MONUMENT
- FOUND PK NAIL
- FOUND NAIL
- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476
- SET PK NAIL

LEGEND

- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
- ⊙ AUTO SPRINKLER
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ POST INDICATOR VALVE
- ⊙ SPRINKLER BOX
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC OUTLET POST
- ⊙ LIGHT
- ⊙ SEMAPHORE
- ⊙ COMMUNICATION BOX
- ⊙ GAS METER
- ⊙ SIGN
- ⊙ PEDESTRIAN POST
- ⊙ BOLLARD
- ⊙ HANDICAPPED PARKING SPACE
- ⊙ HANDICAPPED PARKING SIGN
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- UNDERGROUND GAS
- EXISTING CONTOUR LINE
- ⊙ TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- LANDSCAPE SURFACE
- RETAINING WALL
- * INVERT MEASUREMENT NOT ACCESSIBLE. ELEVATIONS SHOWN PER RECORD DRAWINGS.

SEE SHEET 4

SEE SHEET 6

SEE SHEET 8

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
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PRELIMINARY PLAT
OF
SOUTHTOWN SHOPPING CENTER 5TH ADDITION

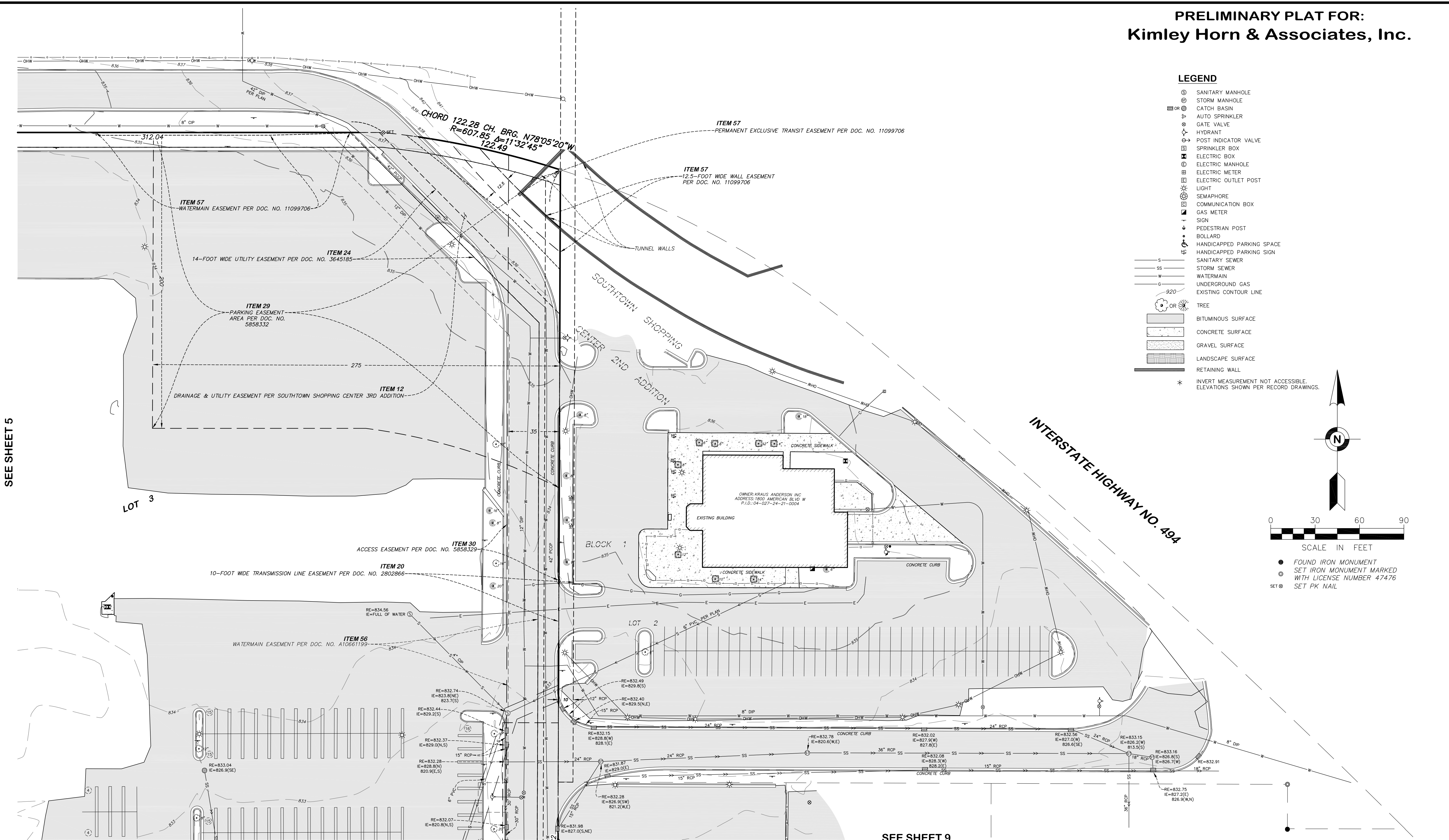
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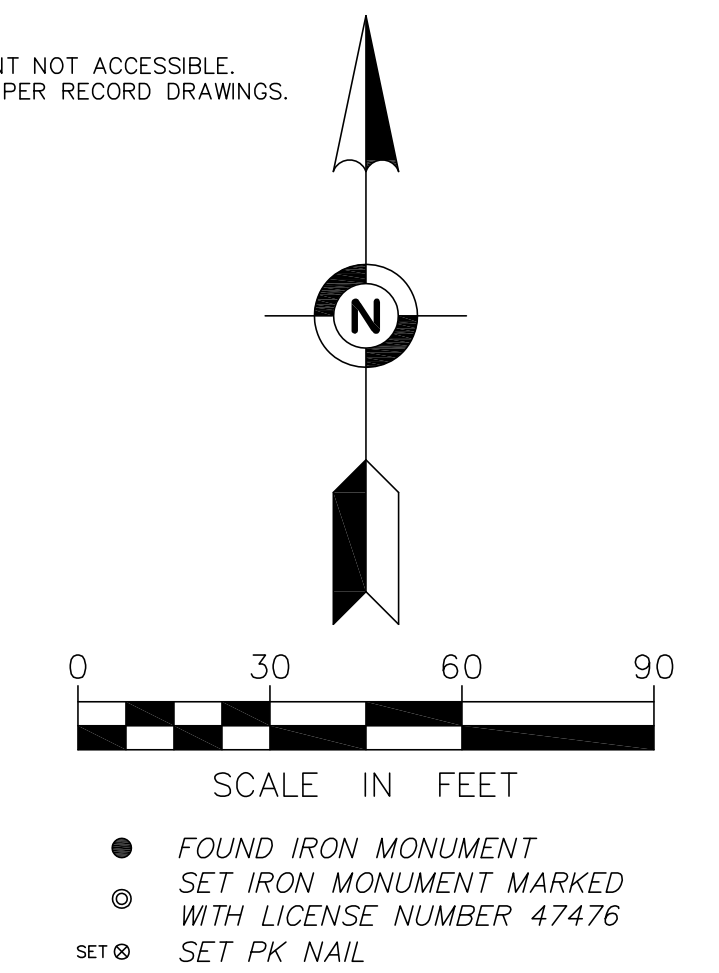
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LEGEND

- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
- ⊙ AUTO SPRINKLER
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ POST INDICATOR VALVE
- ⊙ SPRINKLER BOX
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC MANHOLE
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- ⊙ COMMUNICATION BOX
- ⊙ GAS METER
- ⊙ SIGN
- ⊙ PEDESTRIAN POST
- ⊙ BOLLARD
- ⊙ HANDICAPPED PARKING SPACE
- ⊙ HANDICAPPED PARKING SIGN
- S SANITARY SEWER
- SS STORM SEWER
- W WATERMAIN
- G UNDERGROUND GAS
- EXISTING CONTOUR LINE
- OR TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- LANDSCAPE SURFACE
- RETAINING WALL
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SEE SHEET 5

SEE SHEET 9

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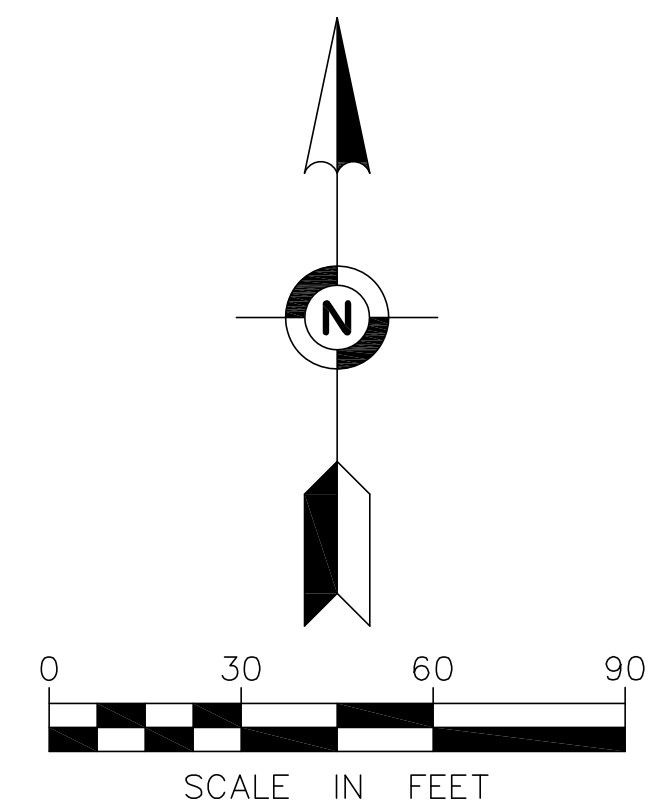
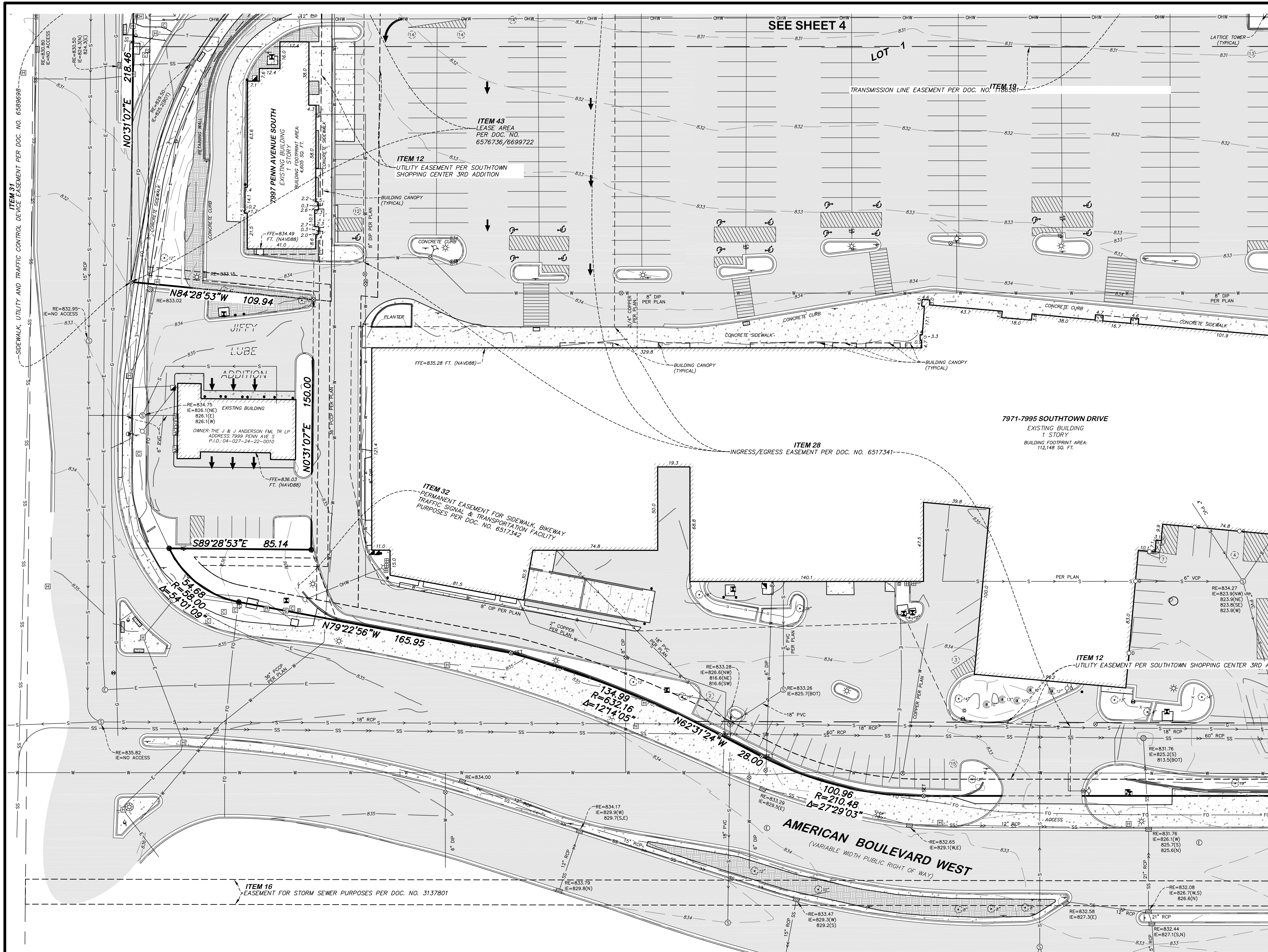
**PRELIMINARY PLAT
OF
SOUTHTOWN SHOPPING
CENTER 5TH ADDITION**

SURVEY FOR:
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PROPERTY ADDRESS:
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SCALE IN FEET

- FOUND IRON MONUMENT
- FOUND NAIL
- ⊙ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476

LEGEND

- ⊙ SANITARY MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ CATCH BASIN
 - ⊙ AUTO SPRINKLER
 - ⊙ GATE VALVE
 - ⊙ HYDRANT
 - ⊙ POST INDICATOR VALVE
 - ⊙ SPRINKLER BOX
 - ⊙ ELECTRIC BOX
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC METER
 - ⊙ ELECTRIC OUTLET POST
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 - ⊙ SEMAPHORE
 - ⊙ COMMUNICATION BOX
 - ⊙ GAS METER
 - ⊙ SIGN
 - ⊙ PEDESTRIAN POST
 - ⊙ BOLLARD
 - ⊙ HANDICAPPED PARKING SPACE
 - ⊙ HANDICAPPED PARKING SIGN
 - S — SANITARY SEWER
 - SS — STORM SEWER
 - W — WATERMAIN
 - G — UNDERGROUND GAS
 - — EXISTING CONTOUR LINE
 - ⊙ TREE
 - BITUMINOUS SURFACE
 - CONCRETE SURFACE
 - GRAVEL SURFACE
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- * INVERT MEASUREMENT NOT ACCESSIBLE. ELEVATIONS SHOWN PER RECORD DRAWINGS.

SEE SHEET 8

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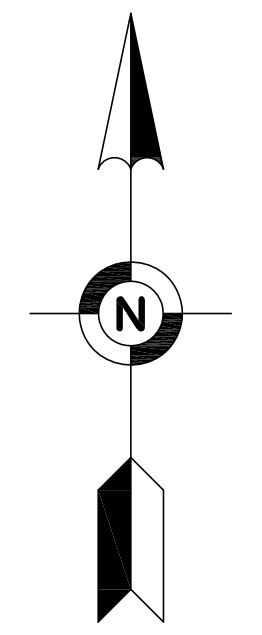
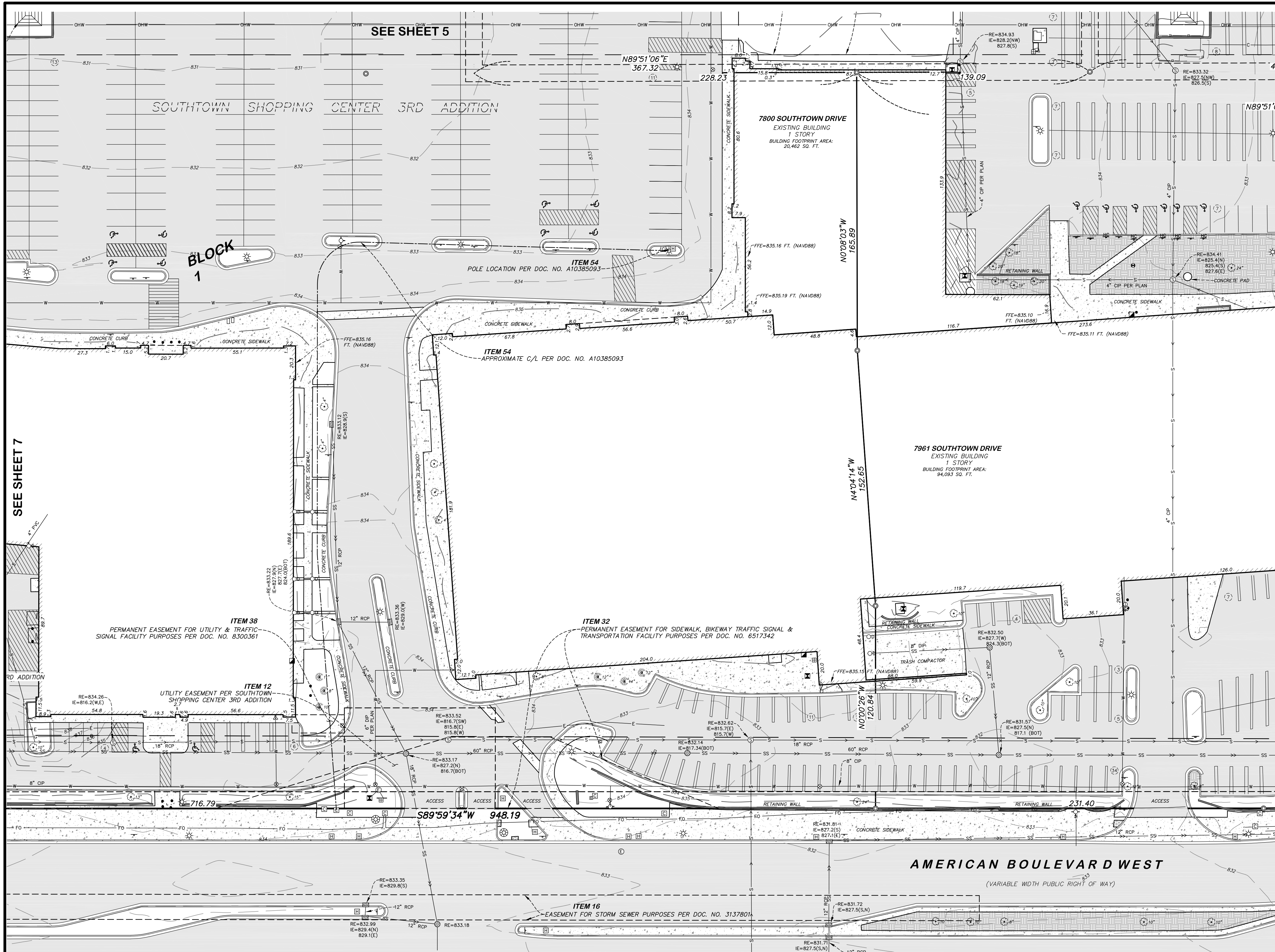
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SCALE IN FEET
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LEGEND

- ⊙ SANITARY MANHOLE
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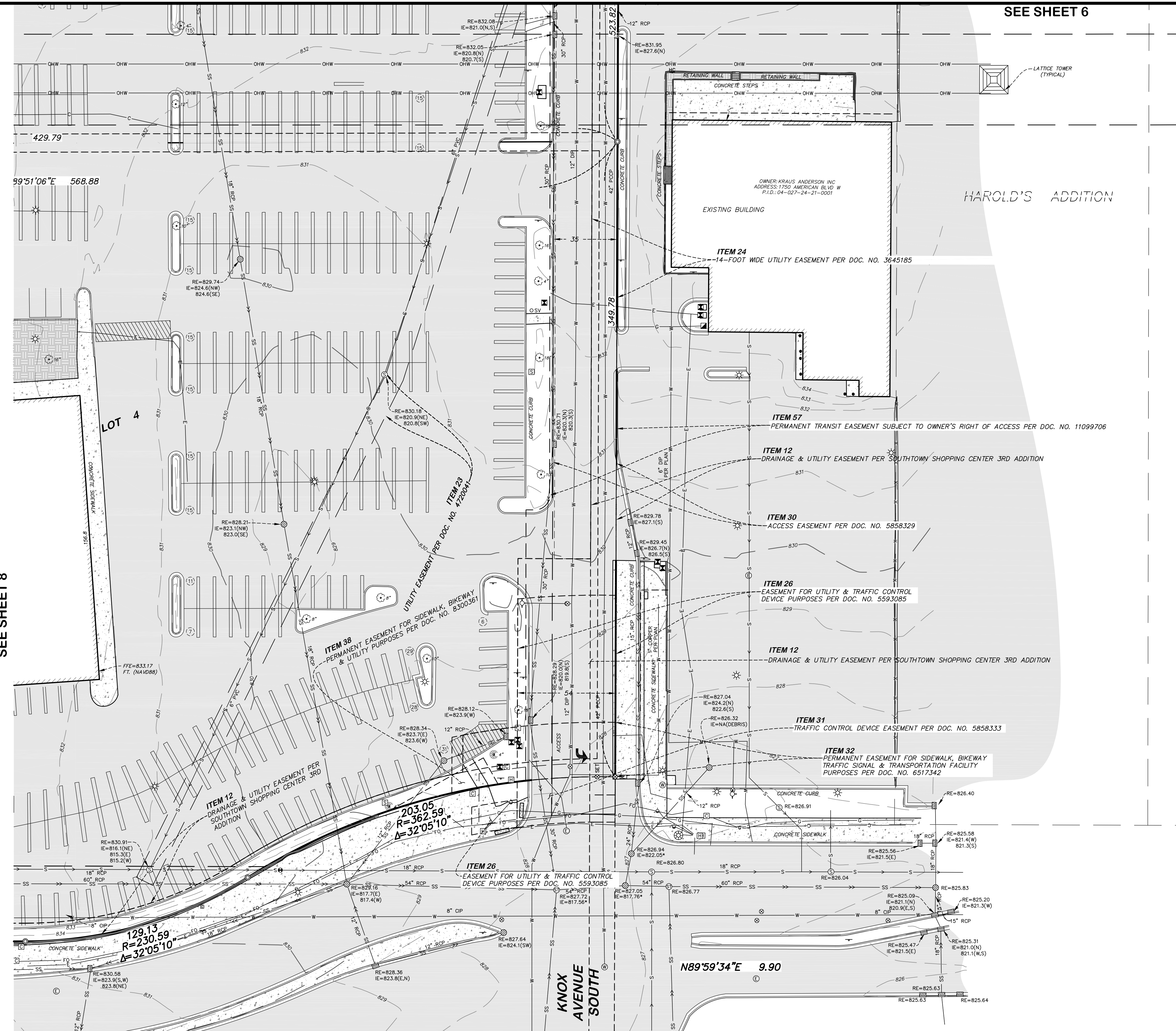
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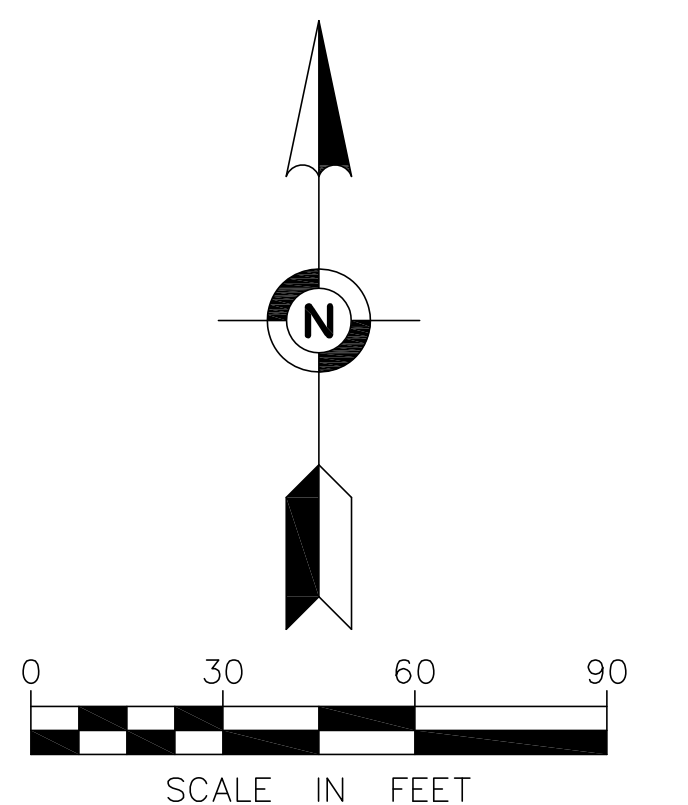
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**PRELIMINARY PLAT FOR:
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SEE SHEET 6

SEE SHEET 8



SCALE IN FEET
 NAIL ● FOUND NAIL
 SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476

- LEGEND**
- ⊙ SANITARY MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ CATCH BASIN
 - ⊙ AUTO SPRINKLER
 - ⊙ GATE VALVE
 - ⊙ HYDRANT
 - ⊙ POST INDICATOR VALVE
 - ⊙ SPRINKLER BOX
 - ⊙ ELECTRIC BOX
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC METER
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 - ⊙ BOLLARD
 - ⊙ HANDICAPPED PARKING SPACE
 - ⊙ HANDICAPPED PARKING SIGN
 - S — SANITARY SEWER
 - SS — STORM SEWER
 - W — WATERMAIN
 - G — UNDERGROUND GAS
 - 920 — EXISTING CONTOUR LINE
 - ⊙ OR ⊙ TREE
 - ▭ BITUMINOUS SURFACE
 - ▭ CONCRETE SURFACE
 - ▭ GRAVEL SURFACE
 - ▭ LANDSCAPE SURFACE
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**PRELIMINARY PLAT
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SOUTHTOWN SHOPPING
CENTER 5TH ADDITION**

**SURVEY FOR:
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**PROPERTY ADDRESS:
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