

K:\TWC\_LDEV\KRAUS\_ANDERSON\SOUTH TOWN 13 Design\CAD\PlanSheets\CO-COVER SHEET.dwg June 27, 2024 - 4:10pm

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

# PRELIMINARY SITE DEVELOPMENT PLANS FOR SOUTHTOWN REDEVELOPMENT

SECTION 04, TOWNSHIP 27N, RANGE 24W  
BLOOMINGTON, HENNEPIN COUNTY, MN

**PROJECT TEAM:**

ENGINEER  
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: ARIK C. LOKENSGARD, P.E.  
14800 GALAXIE AVE S, SUITE 200  
APPLE VALLEY, MN 55124  
TELEPHONE (952) 905-2887

LANDSCAPE ARCHITECT  
KIMLEY-HORN AND ASSOCIATES, INC.  
PREPARED BY: RYAN HYLLESTED, P.L.A.  
14800 GALAXIE AVE S, SUITE 200  
APPLE VALLEY, MN 55124  
TELEPHONE (952) 905-2887

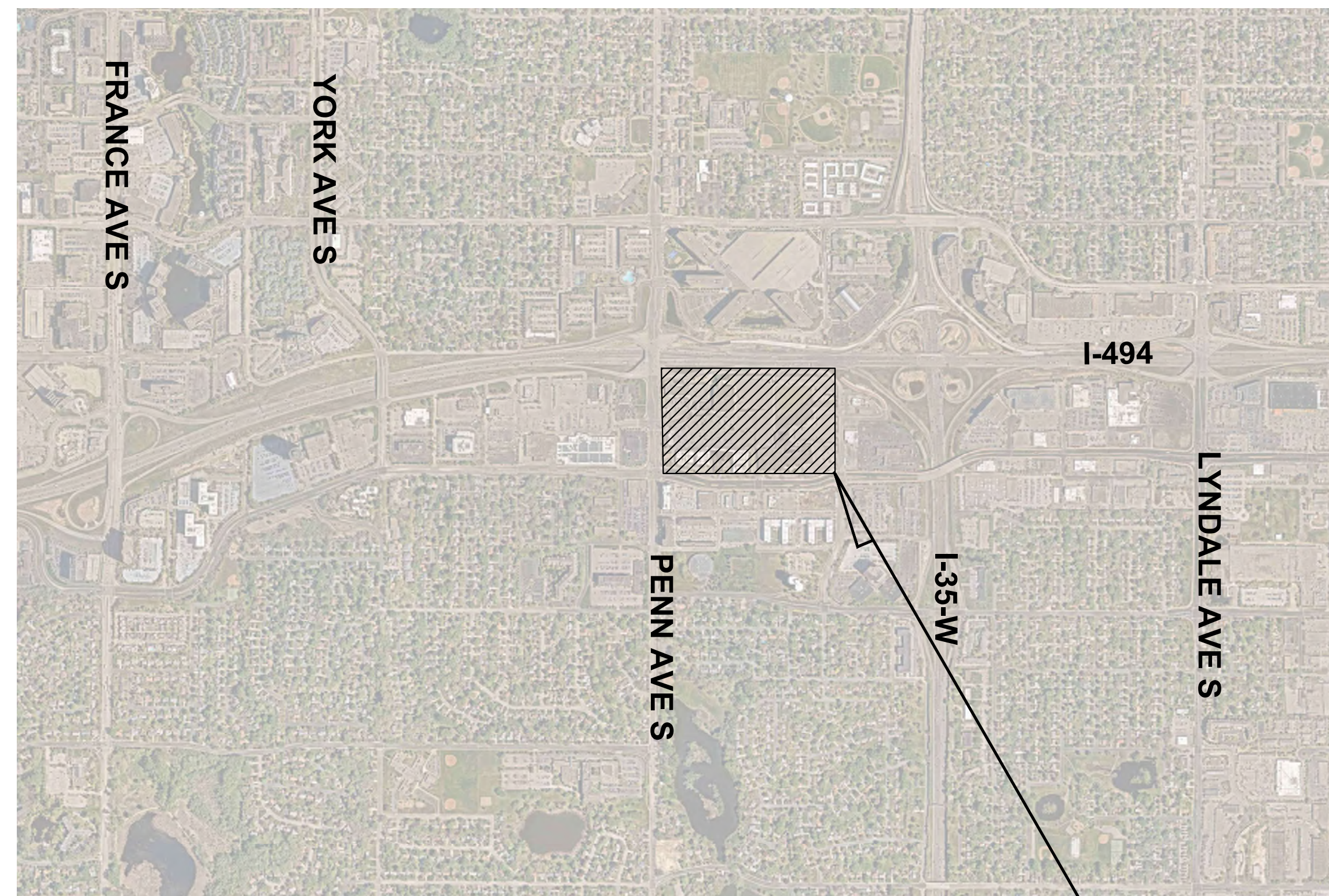
GEOTECHNICAL ENGINEER  
BRAUN INTERTEC CORPORATION  
11001 HAMPSHIRE AVE S.  
MINNEAPOLIS, MN 55438  
TELEPHONE: (612)-688-4132  
CONTACT: STEVEN B. MARTIN, P.E.

OWNER / DEVELOPER  
KRAUS ANDERSON

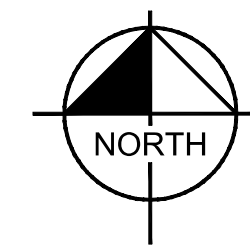


501 S 8TH STREET  
MINNEAPOLIS, MN 55404  
TELEPHONE: (612) 332-7281  
CONTACT: BOB CUNNINGHAM

SURVEYOR  
EGAN, FIELD & NOWAK, INC.  
475 OLD HWY 8 NW  
NEW BRIGHTON, MN 55112  
TELEPHONE: (612) 466-3300  
CONTACT: ERIC ROESER



VICINITY  
N.T.S.



SITE

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	GENERAL NOTES
C200	SITE DEMOLITION PLAN
C300	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
C301	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
C400	SITE DIMENSION PLAN
C500	GRADING AND DRAINAGE PLAN
C600	UTILITY PLAN
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS

**NOTES:**

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24x36 SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.



Know what's below.  
Call before you dig.

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
2023 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EULISTE STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-466-4197  
WWW.KIMLEY-HORN.COM

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
ARIK C. LOKENSGARD, P.E.  
DATE: XX/XX/XXXX INC. NO. 60551

KHA PROJECT  
15051008  
DATE  
06/27/2024  
SCALE AS SHOWN  
DESIGNED BY  
DRAWN BY  
CHECKED BY  
ACI  
NJB  
WDM

**COVER SHEET**

PRELIMINARY - NOT FOR CONSTRUCTION

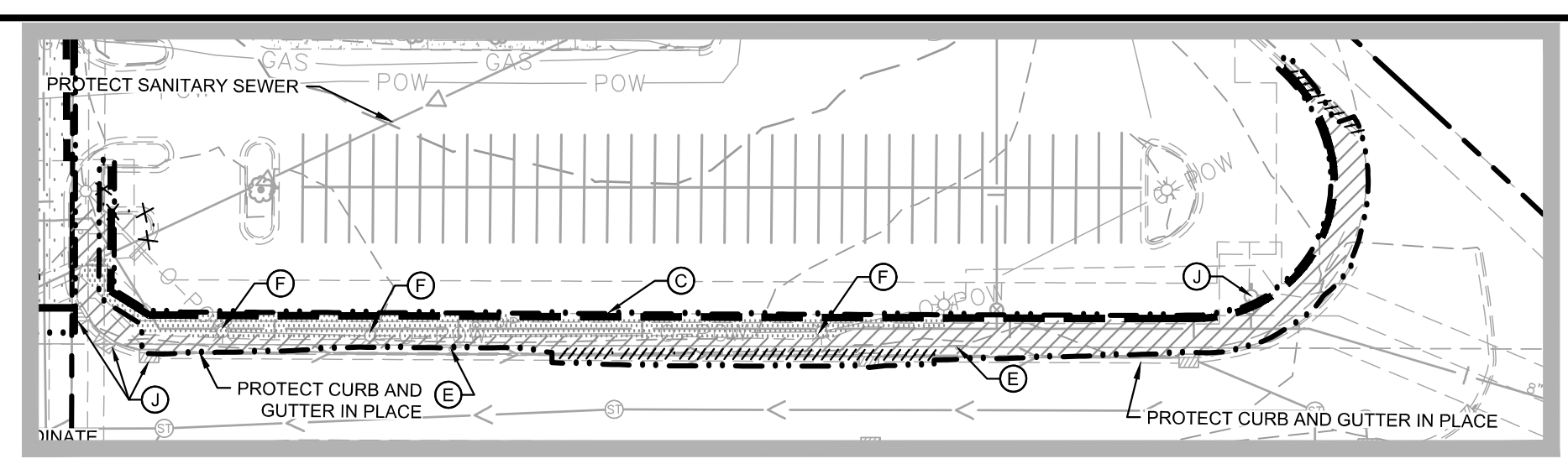
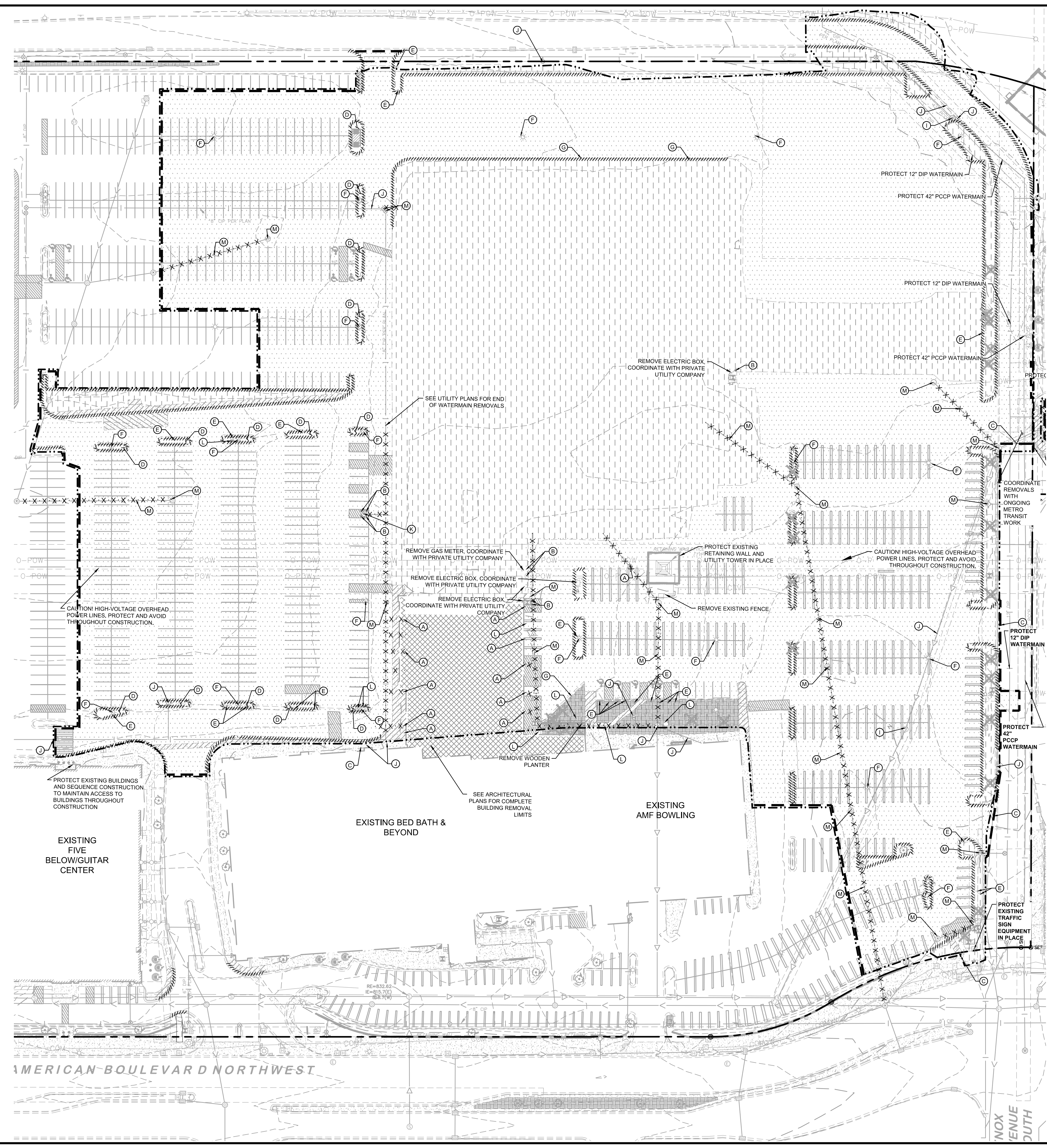
SOUTHTOWN REDEVELOPMENT  
PREPARED FOR  
KRAUS ANDERSON

BLOOMINGTON MN

SHEET NUMBER  
**C000**



K:\TWC\_LDEVKRAUS\_ANDERSONSOUTHOWN3 Design\CAD\PlanSheets\C2-DEMO PLAN.dwg June 27, 2024 - 4:10pm  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

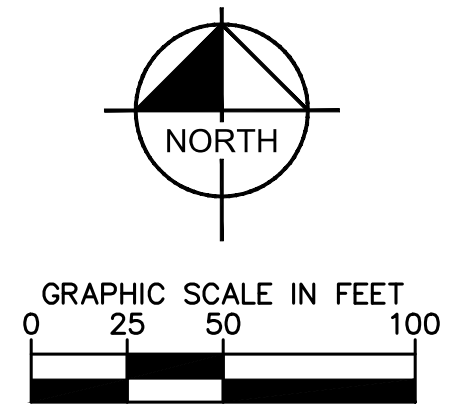


**1 SITE DEMOLITION PLAN** SCALE: 1"=60'

- ### DEMOLITION PLAN NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
  - THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE LOCAL AND STATE AGENCIES. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE, INCLUDING THE TYPE OF DEBRIS AND LOCATION WHERE IT WAS DISPOSED.
  - THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
  - THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
  - THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
  - EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PROCEEDING WITH THE PROPOSED WORK.
  - ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
  - CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.
  - CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
  - PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
  - CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
  - THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
  - IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
  - IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
  - CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINILE IS ENCOUNTERED ON SITE; ACTIVE DRAINILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
  - IF CONTAMINATED MATERIAL IS ENCOUNTERED ON THE PROJECT SITE, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.

- ### LEGEND
- |  |                                |
|--|--------------------------------|
|  | PROPERTY LINE                  |
|  | REMOVE BITUMINOUS SURFACE      |
|  | REMOVE CONCRETE SURFACE        |
|  | REMOVE BUILDING                |
|  | CLEARING & GRUBBING            |
|  | FULL DEPTH SAWCUT              |
|  | REMOVE TREE                    |
|  | REMOVE CONCRETE CURB & GUTTER  |
|  | REMOVE UTILITY LINES           |
|  | FILL & ABANDON UTILITY LINES   |
|  | LIMITS OF CONSTRUCTION         |
|  | EXISTING OVERHEAD POWER LINE   |
|  | EXISTING CHAINLINK FENCE       |
|  | EXISTING J-BARRIER             |
|  | EXISTING RETAINING WALL        |
|  | EXISTING SANITARY SEWER        |
|  | EXISTING STORM SEWER           |
|  | EXISTING WATERMAIN             |
|  | EXISTING GAS MAIN              |
|  | EXISTING UNDERGROUND TELEPHONE |
|  | EXISTING UNDERGROUND CABLE     |
|  | EXISTING CONTOUR               |
|  | EXISTING CURB & GUTTER         |
|  | EXISTING SIGN                  |
|  | EXISTING FLARED END SECTION    |
|  | EXISTING STORM MANHOLE         |
|  | EXISTING STORM CATCHBASIN      |
|  | EXISTING GAS METER             |
|  | EXISTING POST INDICATOR VALVE  |
|  | EXISTING WELL                  |
|  | EXISTING AUTOMATIC SPRINKLER   |
|  | EXISTING ROOF DRAIN            |
|  | EXISTING GATE VALVE            |
|  | EXISTING HYDRANT               |
|  | EXISTING METAL COVER           |
|  | EXISTING ELECTRICAL METER      |
|  | EXISTING AIR CONDITIONER       |
|  | EXISTING TELEPHONE MANHOLE     |
|  | EXISTING CABLE BOX             |
|  | EXISTING GUY WIRE              |
|  | EXISTING POWER POLE            |
|  | EXISTING LIGHT POLE            |
|  | EXISTING TREE                  |
|  | EXISTING TREE LINE             |

- ### KEYNOTE LEGEND
- |     |   |
|-----|---|
| (A) | REMOVE EXISTING WATER AND SANITARY SEWER SERVICES                               |
| (B) | REMOVE BOLLARD  |
| (C) | MATCH EXISTING EDGE OF PAVEMENT/CURB & GUTTER                                   |
| (D) | REMOVE LANDSCAPE ROCK   |
| (E) | REMOVE AND SALVAGE EXISTING SIGN  |
| (F) | REMOVE EXISTING LIGHTING UNIT   |
| (G) | REMOVE CONCRETE RETAINING WALL  |
| (H) | REMOVE CONCRETE STEPS   |
| (I) | ADJUST FRAME AND RING CASTING   |
| (J) | EXISTING UTILITY TO REMAIN, PROTECTED IN PLACE                                  |
| (K) | REMOVE AND SALVAGE EXISTING FIRE HYDRANT AND REMOVE WATERMAIN LEAD TO MAIN LINE |
| (L) | REMOVE EXISTING PRIVATE UTILITY, COORDINATE WITH PRIVATE UTILITY COMPANY        |
| (M) | REMOVE EXISTING UTILITY   |



KHA PROJECT  
16051008

DATE  
06/27/2024

SCALE  
AS SHOWN

DESIGNED BY  
NJB

DRAWN BY  
WDJ

CHECKED BY

## SITE DEMOLITION PLAN

PREPARED FOR  
**KRAUS ANDERSON**

BLOOMINGTON, MN

NO.

REVISIONS

DATE

BY

2023 KIMLEY-HORN AND ASSOCIATES, INC.  
167 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-465-4197  
WWW.KIMLEY-HORN.COM

WE HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ARK C. LORENSGARD, P.E.  
DATE: XX/XX/XXXX  
INC. NO. 60551

PRELIMINARY - NOT FOR CONSTRUCTION

SOUTHTOWN REDEVELOPMENT

811

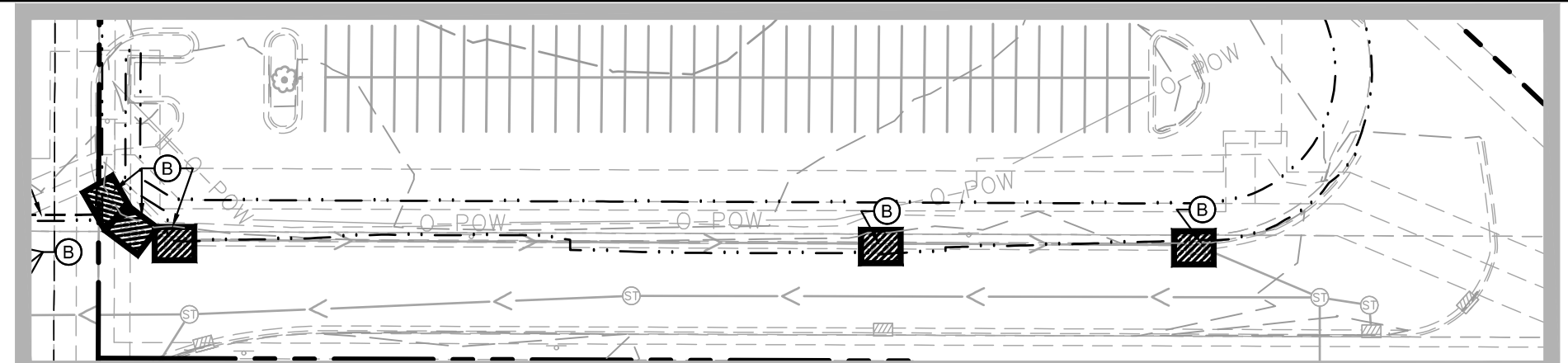
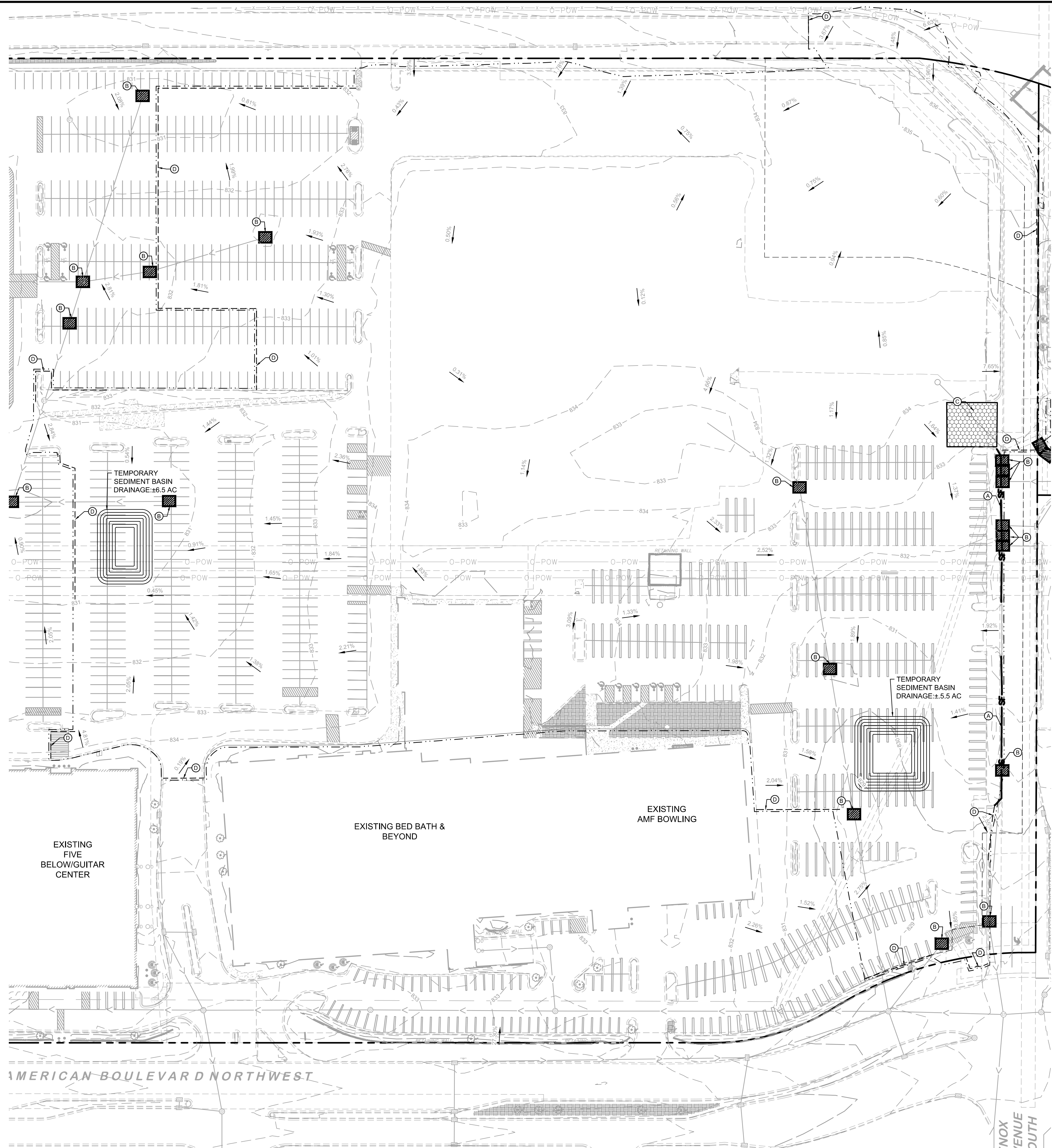
Know what's below.  
Call before you dig.

PREPARED FOR  
**KRAUS ANDERSON**

BLOOMINGTON, MN

SHEET NUMBER  
**C200**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### 1 EROSION AND SEDIMENT CONTROL PLAN - PHASE 1

SCALE 1"=50'

AREA SUMMARY	
TOTAL PROPERTY AREA	±36.94 AC
EXISTING PERVIOUS AREA	±0.60 AC
EXISTING IMPERVIOUS AREA	±13.91 AC
PROPOSED PERVIOUS AREA	±1.76AC
PROPOSED IMPERVIOUS AREA	±12.75 AC
TOTAL DISTURBED AREA	±14.51 AC

PHASE I BMP QUANTITIES	
SILT FENCE	±310 LF
INLET PROTECTION	24 EA
ROCK CONSTRUCTION ENTRANCE	1 EA
BIO ROLL	±1,330 LF

#### KEYNOTE LEGEND

- (A) SILT FENCE
- (B) INLET PROTECTION
- (C) ROCK CONSTRUCTION ENTRANCE
- (D) BIOROLL

#### LEGEND

- ROCK ENTRANCE
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE - OFFSET FOR CLARITY
- BIOROLL

#### EROSION CONTROL PLAN NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDINGS, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
- EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

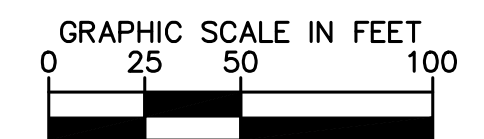
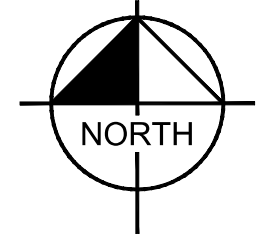
#### SWPPP UPDATES & AMENDMENTS

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

#### PHASE 1 SEQUENCE OF CONSTRUCTION

- INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT EXISTING STORMWATER INLETS.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT BASINS.
- CLEAR AND GRUB THE SITE.
- BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
- START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).

NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

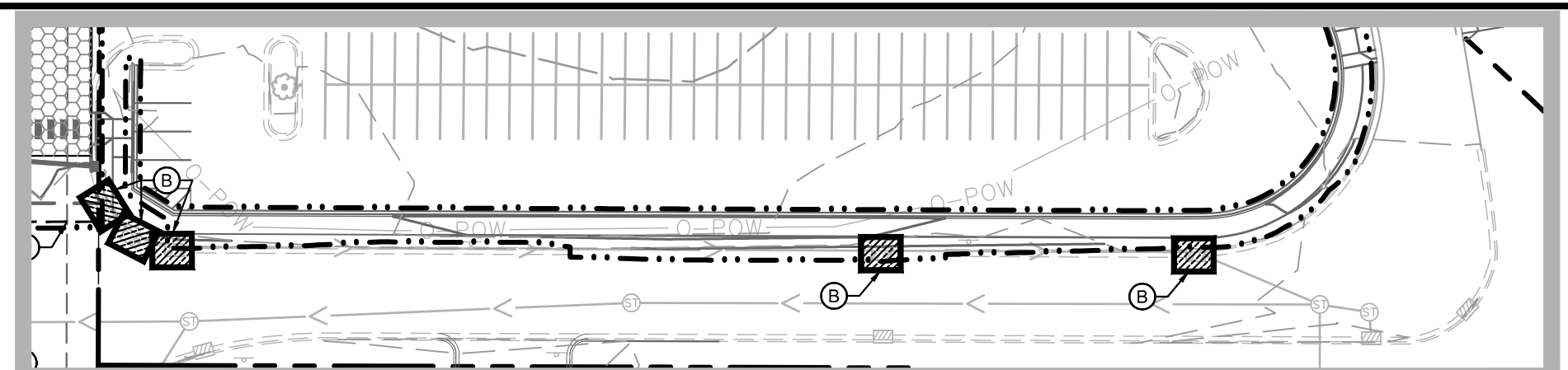
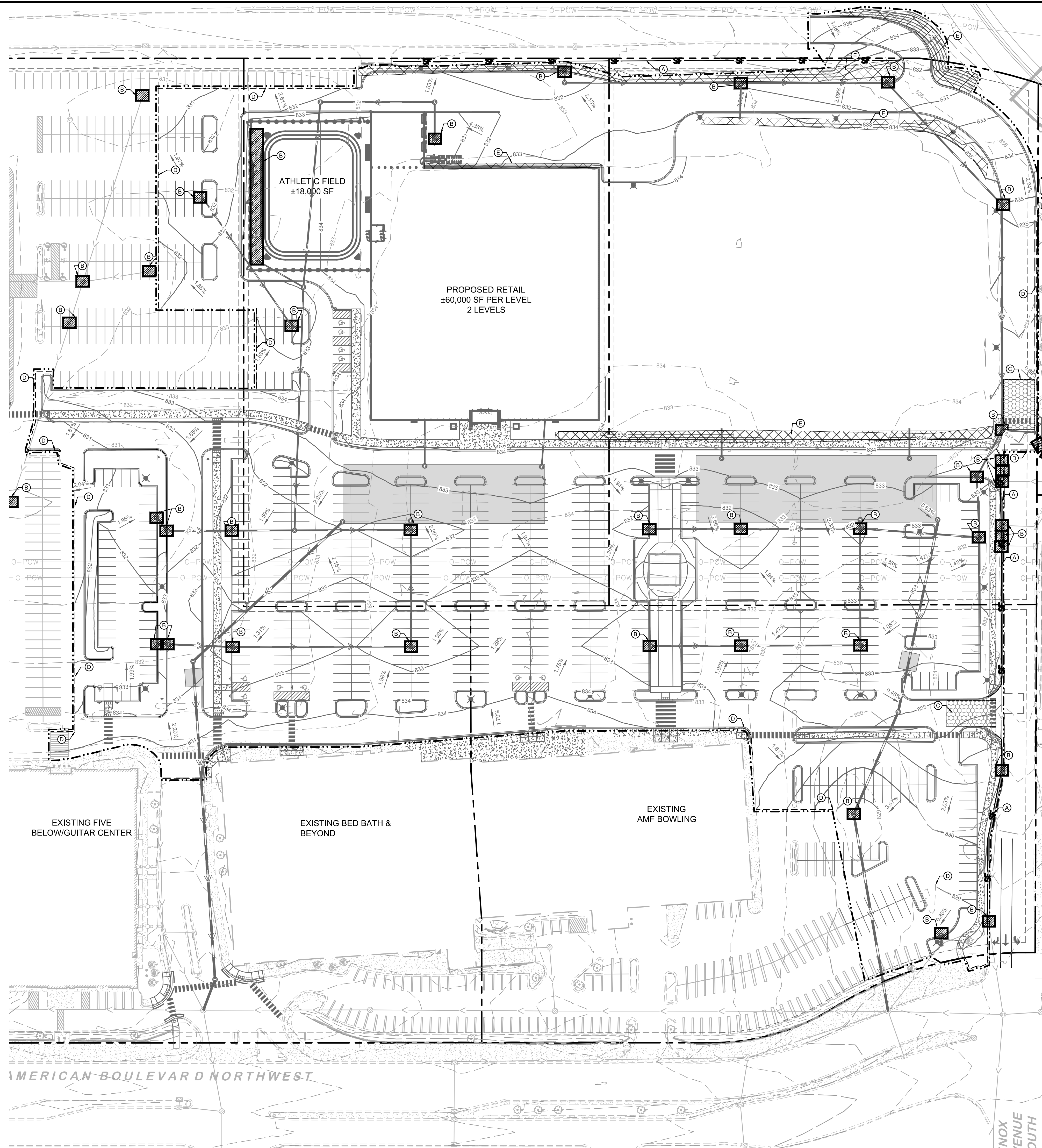


Know what's below.  
Call before you dig.

<h2 style="margin: 0;">KRAUS AND ANDERSON</h2> <h3 style="margin: 0;">SOUTH TOWN REDEVELOPMENT</h3> <p style="margin: 0;">PREPARED FOR</p> <h2 style="margin: 0;">KRAUS ANDERSON</h2> <p style="margin: 0;">BLOOMINGTON, MN</p>	<h2 style="margin: 0;">EROSION AND SEDIMENT CONTROL PLAN - PHASE 1</h2> <p style="margin: 0;">SHEET NUMBER</p> <h2 style="margin: 0;">C300</h2>												
<p style="font-size: small; margin: 0;">I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER REGISTERED UNDER THE LAWS OF THE STATE OF MINNESOTA.</p> <p style="font-size: x-small; margin: 0;">ARK C. LORENSGARD, P.E. DATE: XX/XX/XXXX INC. NO. 69551</p>	<p style="font-size: x-small; margin: 0;">KHA PROJECT 15051008 DATE 06/27/2024 SCALE AS SHOWN DESIGNED BY ACL DRAWN BY NUB CHECKED BY WDM</p>												
<p style="font-size: x-small; margin: 0;">2023 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE 651-465-4197 WWW.KIMLEY-HORN.COM</p>													
<p style="font-size: x-small; margin: 0;">This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">NO.</th> <th style="width: 50%;">REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISIONS										
NO.	REVISIONS												

PRELIMINARY - NOT FOR CONSTRUCTION

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**1 EROSIONS AND SEDIMENT CONTROL PLAN - PHASE 2**  
SCALE: 1"=50'

AREA SUMMARY	
TOTAL PROPERTY AREA	±36.94 AC
EXISTING PERVIOUS AREA	±0.60 AC
EXISTING IMPERVIOUS AREA	±13.91 AC
PROPOSED PERVIOUS AREA	±1.76 AC
PROPOSED IMPERVIOUS AREA	±12.75 AC
TOTAL DISTURBED AREA	±14.51 AC

PHASE 2 BMP QUANTITIES	
SILT FENCE	±970 LF
INLET PROTECTION	44 EA
ROCK CONSTRUCTION ENTRANCE	2 EA
BIO ROLL	±1,600 LF
EROSION MAT	±15,270 SF

**KEYNOTE LEGEND**

- (A) SILT FENCE
- (B) INLET PROTECTION
- (C) ROCK CONSTRUCTION ENTRANCE
- (D) BIO ROLL
- (E) EROSION BLANKET

**LEGEND**

- ROCK ENTRANCE
- EROSION BLANKET
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE - OFFSET FOR CLARITY
- BIOROLL

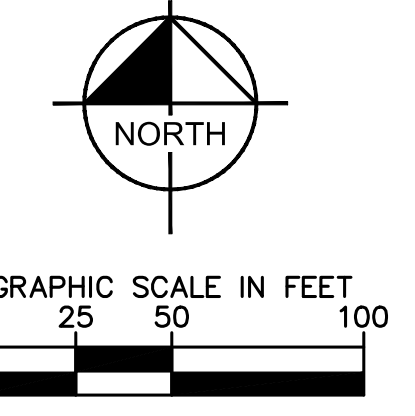
**EROSION CONTROL PLAN NOTES**

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
- EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

**PHASE 2 SEQUENCE OF CONSTRUCTION**

- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDEED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
- CONSTRUCT UNDERGROUND SITE UTILITIES AND STORM SEWER, INCLUDING UNDERGROUND STORMWATER MANAGEMENT SYSTEM.
- INSTALL APPROPRIATE INLET PROTECTION AT ANY NEW STORM SEWER STRUCTURES AS EACH STRUCTURE IS CONSTRUCTED.
- COMPLETE SITE GRADING AND PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PLACE PAVEMENT BASE MATERIAL AND INSTALL SUBDRAINAGE SYSTEM.
- CONSTRUCT PAVEMENTS, CURB & GUTTER, AND SIDEWALKS.
- AS APPROPRIATE, REPLACE & MAINTAIN INLET PROTECTION DEVICES WITHIN PAVED AREAS AS WORK PROGRESSES.
- COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING, SODDING, ETC.) WITHIN LANDSCAPED AREAS.
- WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE EROSION CONTROL PERMITS, REMOVE ALL REMAINING TEMPORARY EROSION & SEDIMENT CONTROL BMP'S AND RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL.

NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.



PRELIMINARY - NOT FOR CONSTRUCTION

NOX AVENUE SOUTH
AMERICAN BOULEVARD NORTHWEST

**EROSION AND SEDIMENT CONTROL PLAN - PHASE 2**

PREPARED FOR  
**KRAUS ANDERSON**

SOUTH TOWN REDEVELOPMENT

BLOOMINGTON, MN

SHEET NUMBER  
**C301**

DESIGNED BY  
**ACL**

DRAWN BY  
**NJB**

CHECKED BY  
**WDW1**

DATE  
06/27/2024

SCALE  
AS SHOWN

DATE  
06/27/2024

DATE  
06/27/2024

SCALE  
AS SHOWN

DATE  
06/27/2024

SCALE  
AS SHOWN

DATE  
06/27/2024

SCALE  
AS SHOWN

**Kimley-Horn**

2023 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-465-4197  
WWW.KIMLEY-HORN.COM

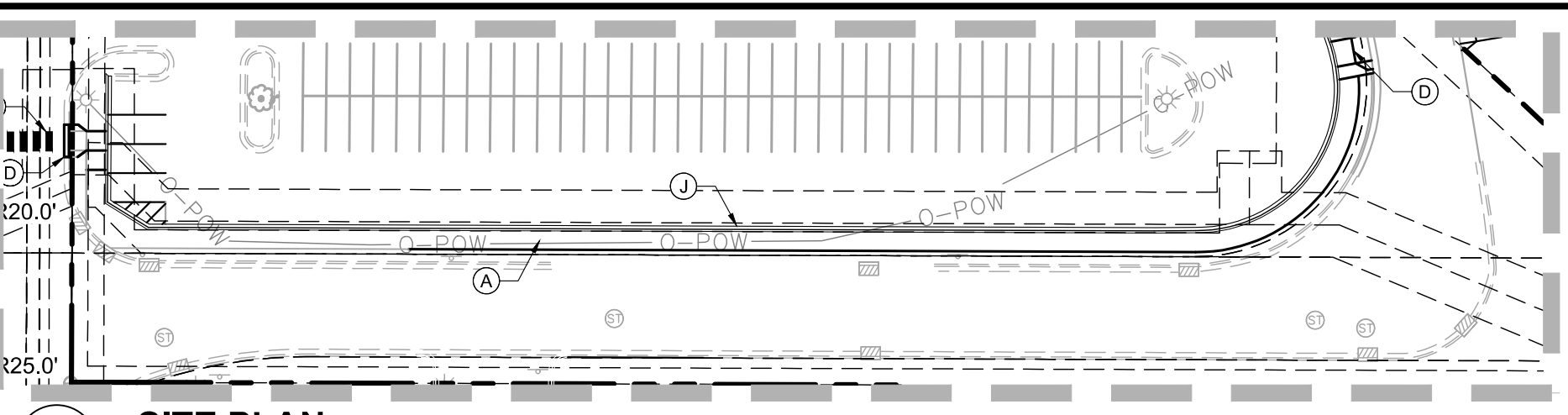
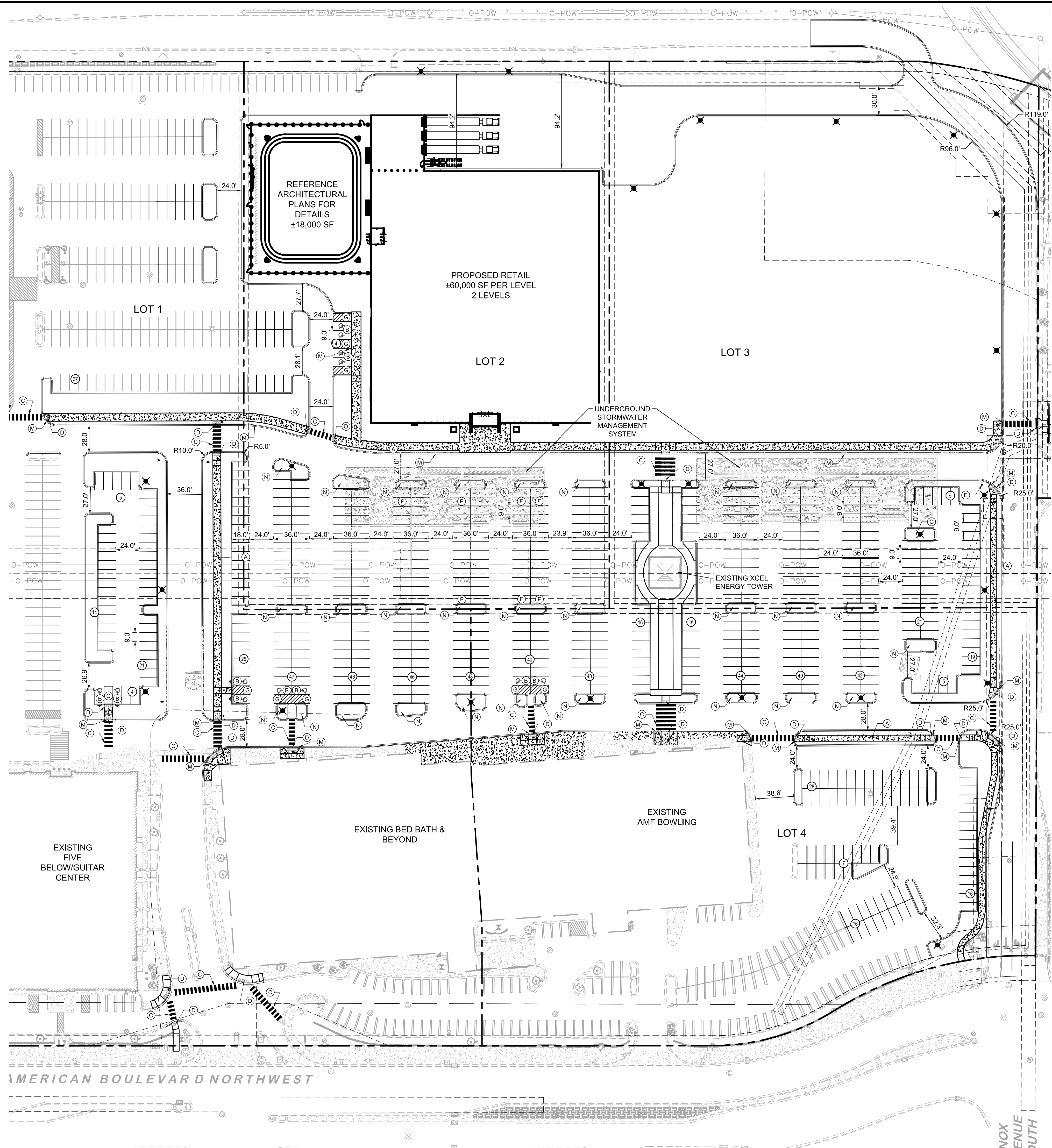
DATE  
06/27/2024

SCALE  
AS SHOWN

DATE  
06/27/2024

SCALE  
AS SHOWN

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**1 SITE PLAN** SCALE: 1"=50'

**KEYNOTE LEGEND**

- (A) CONCRETE SIDEWALK
- (B) ADA STALLSTRIPING & SIGN
- (C) CROSSWALK STRIPING PER STRIPING NOTES
- (D) ACCESSIBLE CURB RAMP
- (E) STOP SIGN
- (F) CART CORRAL (NOT SHOWN)
- (G) AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
- (H) ITEM NOT USED
- (I) LANDSCAPE AREA - SEE LANDSCAPE PLANS
- (J) ITEM NOT USED
- (K) ITEM NOT USED
- (L) TRANSITION CURB
- (M) FLUSH CURB
- (N) CURB ISLAND

**SITE PLAN LEGEND** SCALE: 1"=50'

- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- PROPOSED ADA ROUTE
- ADA
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- STANDARD DUTY CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVEMENT
- PARKING COUNT

**SITE PLAN NOTES**

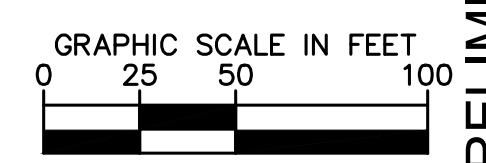
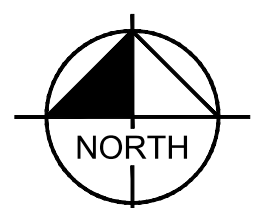
1. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
2. REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
3. DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
4. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
5. TYPICAL PARKING STALL DIMENSIONS SHALL BE 9.0 FEET IN WIDTH AND 20 FEET IN LENGTH UNLESS OTHERWISE INDICATED.
6. MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.

SITE DATA	
LOT 1 BLOCK 1 AREA	21.6 AC
LOT 2 BLOCK 1 AREA	4.6 AC
LOT 3 BLOCK 1 AREA	5.4 AC
LOT 4 BLOCK 1 AREA	5.3 AC
TOTAL PARKING (ACROSS ALL LOTS)	1,703**

\*\*IT'S ANTICIPATED THAT THERE WILL BE A SHARED PARKING AGREEMENT ACROSS ALL LOTS.



Know what's below. Call before you dig.



KHA PROJECT  
15051028

DATE  
06/27/2024

SCALE  
AS SHOWN

DESIGNED BY  
AMZ

DRAWN BY  
AMZ

CHECKED BY  
ACL

DATE

REVISIONS

No.

MINN

BLOOMINGTON

PREPARED FOR  
**KRAUS ANDERSON**

SOUTHTOWN REDEVELOPMENT

PRELIMINARY - NOT FOR CONSTRUCTION

**811**

SHEET NUMBER  
**C400**

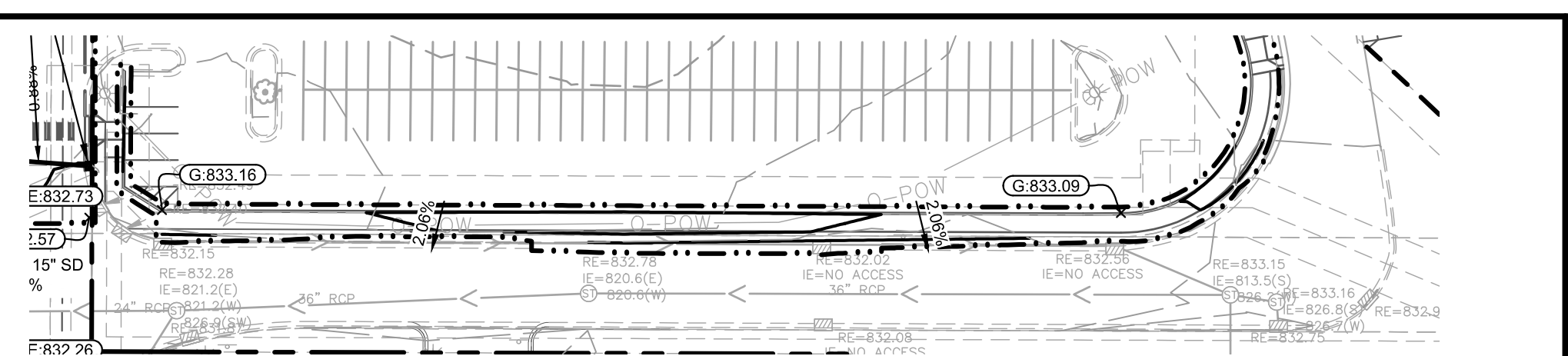
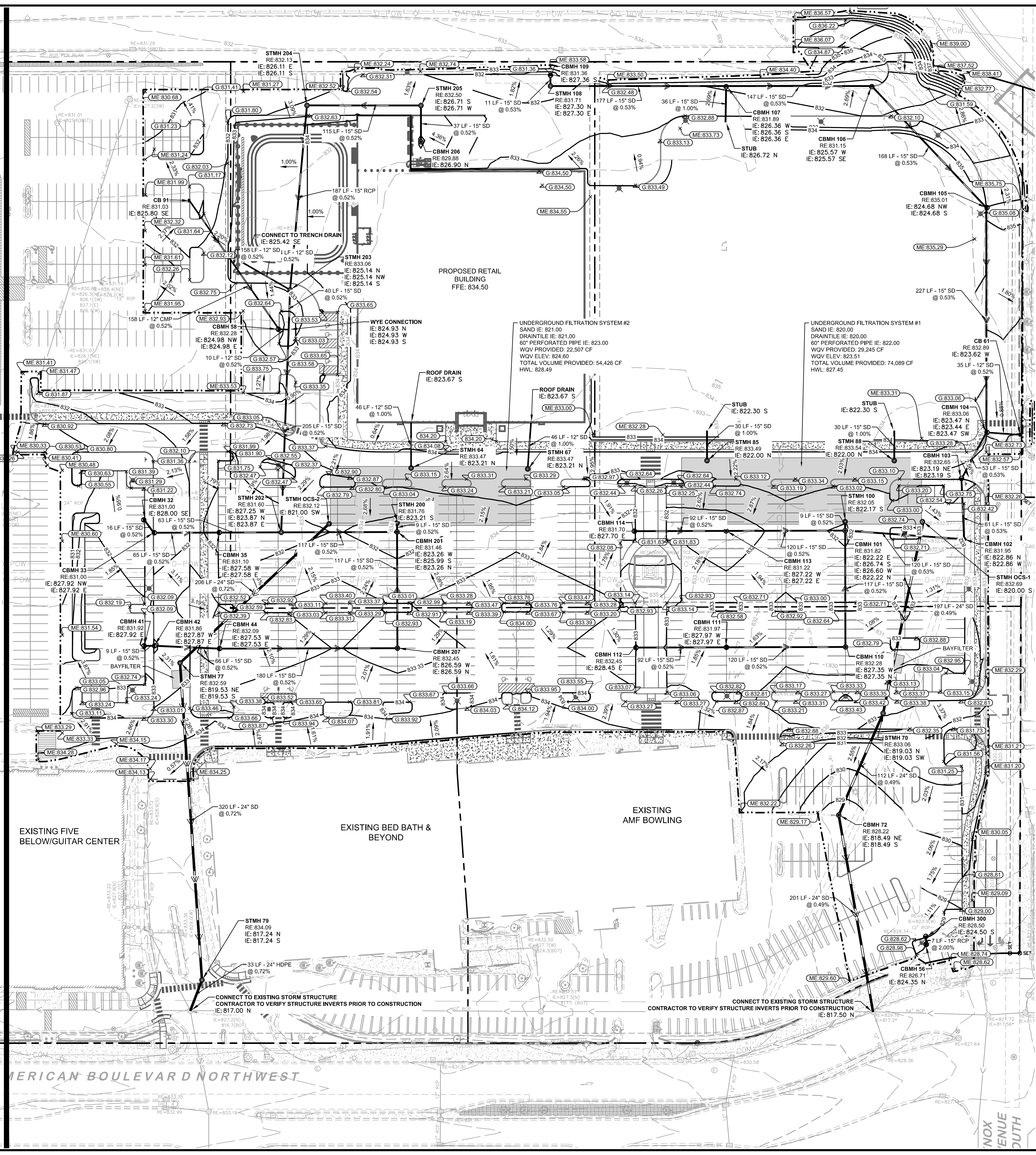
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EULISTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-465-4197  
WWW.KIMLEY-HORN.COM

ARK C. LORENSGARD, P.E.  
DATE: XX/XX/XXXX  
INC. NO. 66551

**Kimley-Horn**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Release of and/or reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

MATCHLINE - SEE SHEET C201



**LEGEND**

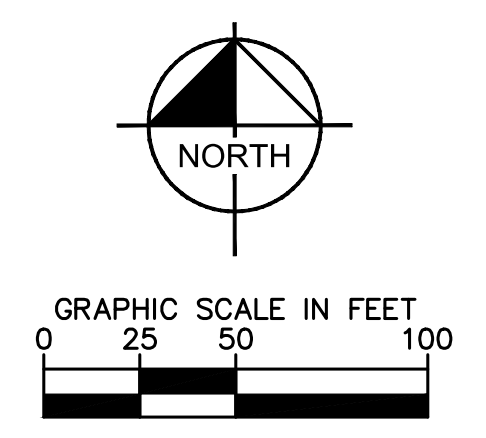
---	PROPERTY LINE
- - -	EXISTING CONTOUR
- - -	PROPOSED CONTOUR
- - -	PROPOSED RIDGE LINE
- - -	GRADING LIMITS - REPRESENTS THE AREA OF DRAINAGE PATTERN CHANGES
- - -	PROPOSED SWALE
(D)	PROPOSED STORM MANHOLE (ROUND CASTING)
(S)	PROPOSED STORM MANHOLE (SOLID INLET CASTING)
(C)	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
(E)	PROPOSED STORM SEWER CLEANOUT
(F)	PROPOSED FLARED END SECTION
(R)	PROPOSED RIPRAP
(S)	PROPOSED STORM SEWER
(100.00)	PROPOSED SPOT ELEVATION
(HP.0.0)	PROPOSED HIGH POINT ELEVATION
(LP.0.0)	PROPOSED LOW POINT ELEVATION
(G.0.0)	PROPOSED GUTTER ELEVATION
(T.0.0)	PROPOSED TOP OF CURB ELEVATION
(FG.0.0)	PROPOSED FLUSH PAVEMENT ELEVATION
(ME.0.0)	MATCH EXISTING ELEVATION
(EOP.0.0)	PROPOSED EMERGENCY OVERFLOW ELEVATION
(TW.0.0)	PROPOSED TOP/BOTTOM OF WALL ELEVATION
(BW.0.0)	PROPOSED DRAINAGE DIRECTION
0.0%	

**STORM SEWER NOTES**

- INSTALL STORM SEWER IN ACCORDANCE WITH APPLICABLE CITY OR STATE SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE AS FOLLOWS:  
RCP: ASTM C-76  
HOPE: ASTM F-714, F-894  
PVC: ASTM D-2729  
PVC SCH40: ASTM D-1785, D-2665, F-794  
DRAIN TILE SHALL BE AS FOLLOWS:  
PE: ASTM F-6667  
PVC: ASTM D-2729  
FITTINGS SHALL BE AS FOLLOWS:  
RCP: ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443  
HOPE: ASTM D-3212  
PVC: ASTM D-2729, JOINTS PER ASTM D-3212  
PVC SCH40: ASTM D-2665, F-794, F-1966
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
- EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
- WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4- FEET OF COVER IN PAVED AREAS OR 3- FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5- FEET IN WIDTH, CENTERED ON THE PIPE.
- ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
- ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
- CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.

**GRADING PLAN NOTES**

- PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- IN PAVED AREAS, ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES, WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SPOT ELEVATIONS ALONG CURB & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED
- EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT PROVIDE POSITIVE DRAINAGE TO COLLECTION POINTS. MAINTAIN A MINIMUM SLOPE OF 1.25% IN ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.
- MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURB & GUTTER. REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURB WHERE PAVEMENT DRAINS TOWARD THE GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM THE GUTTER.
- INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURB & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE DETAILED.
- GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE & NATIONAL ADA STANDARDS:  
ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.3% (1:12).  
SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.  
LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5.0%.  
ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.
- UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFFSITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.



**Kimley & Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EULIST STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-465-4197  
WWW.KIMLEY-HORN.COM

NO.	REVISED	DATE	BY

KHA PROJECT: 15051008  
DATE: 06/27/2024  
SCALE: AS SHOWN  
DESIGNED BY: AMZ  
DRAWN BY: AMZ  
CHECKED BY: ACL

**GRADING AND DRAINAGE PLAN**

PREPARED FOR: **KRAUS ANDERSON**

**811**  
Know what's below.  
Call before you dig.

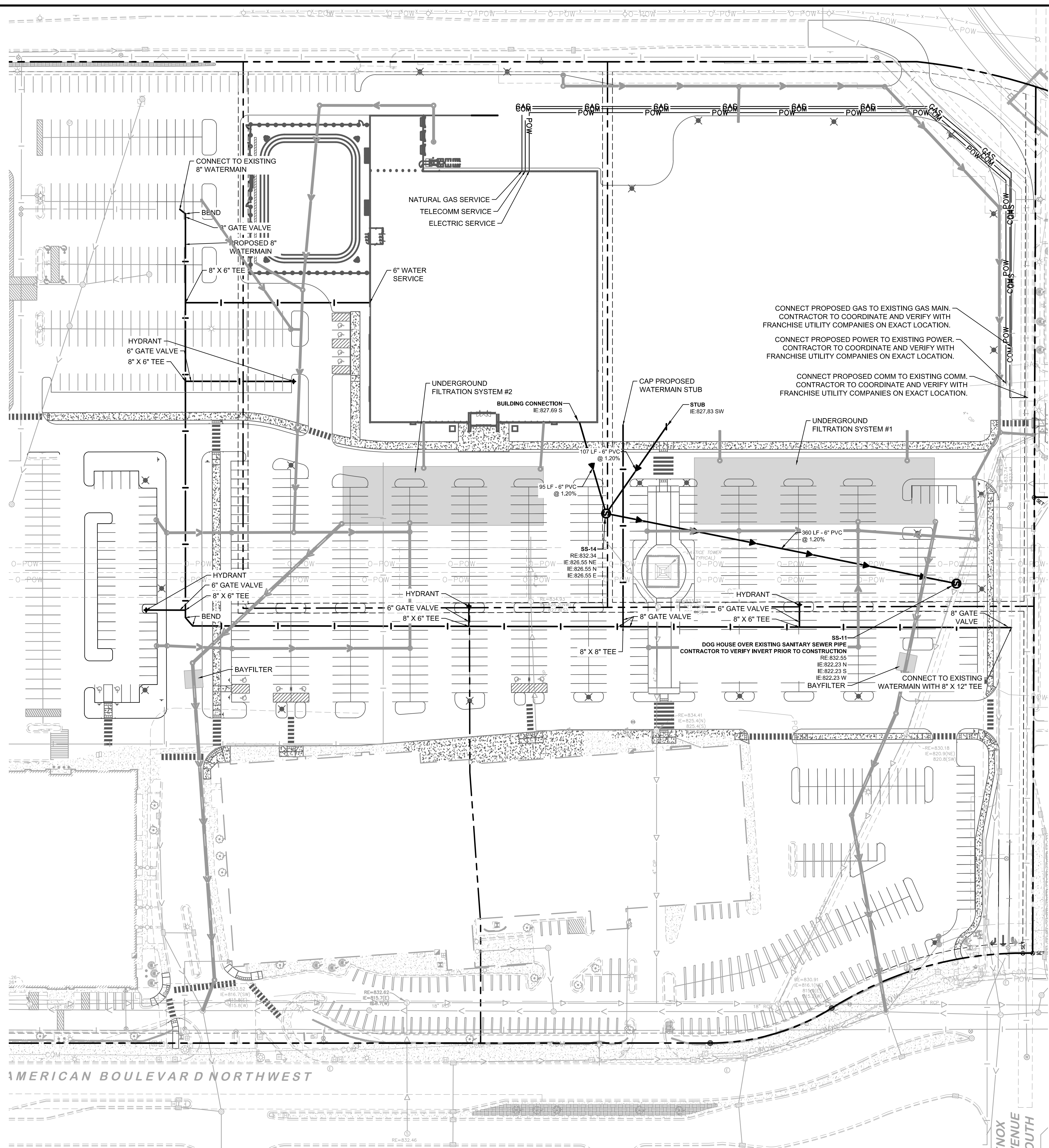
PRELIMINARY - NOT FOR CONSTRUCTION

SOUTHTOWN REDEVELOPMENT

BLOOMINGTON, MN

SHEET NUMBER: **C500**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**LEGEND**

EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN
		LIGHT POLE

**UTILITY PLAN NOTES**

- INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- SANITARY SEWER PIPE SHALL BE:  
PVC: ASTM D-2729, D-3034  
PVC SCH 40: ASTM D-1785, F-714, F-894  
SANITARY SEWER FITTINGS SHALL BE:  
PVC: ASTM D-2729, D-3034  
PVC SCH 40: ASTM D-2665, F-2794, F-1866
- WATER MAIN PIPE SHALL BE:  
PVC: ASTM D-1785, D-2441, AWWA C-900  
DUCTILE IRON: AWWA C115  
WATER MAIN FITTINGS SHALL BE:  
PVC: ASTM D-2464, D-2466, D-2467, F-1970, AWWA C-907  
DUCTILE IRON: AWWA C-153, C-110, ASME 316.4
- STORM SEWER PIPE SHALL BE:  
RCP: ASTM C-76  
HDPE: ASTM F-714, F-894  
PVC: ASTM D-2729  
PVC SCH 40: ASTM D-1785, D-2665, F-794  
DRAIN TILE SHALL BE:  
PE: ASTM F-6967  
PVC: ASTM D-2729  
STORM SEWER FITTINGS SHALL BE:  
RCP: ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443  
HDPE: ASTM D-3212  
PVC: ASTM D-2729, JOINTS PER ASTM D-3212  
PVC SCH 40: ASTM D-2665, F-794, F-1866
- WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
- FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
- MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.1.11 (AWWA C-151) (CLASS 50).
- ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED IN THE TRENCH AND TERMINATED PER THE DETAILS.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
- IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
- REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS, BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
- EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF THE CONSTRUCTION SITE.
- COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
- WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4 FEET OF COVER IN PAVED AREAS OR 3 FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5 FEET IN WIDTH, CENTERED ON THE PIPE.
- ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
- ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
- CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.

**811**  
Know what's below.  
Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION

SOUTHTOWN REDEVELOPMENT

PREPARED FOR  
**KRAUS ANDERSON**

BLOOMINGTON, MN

**UTILITY PLAN**

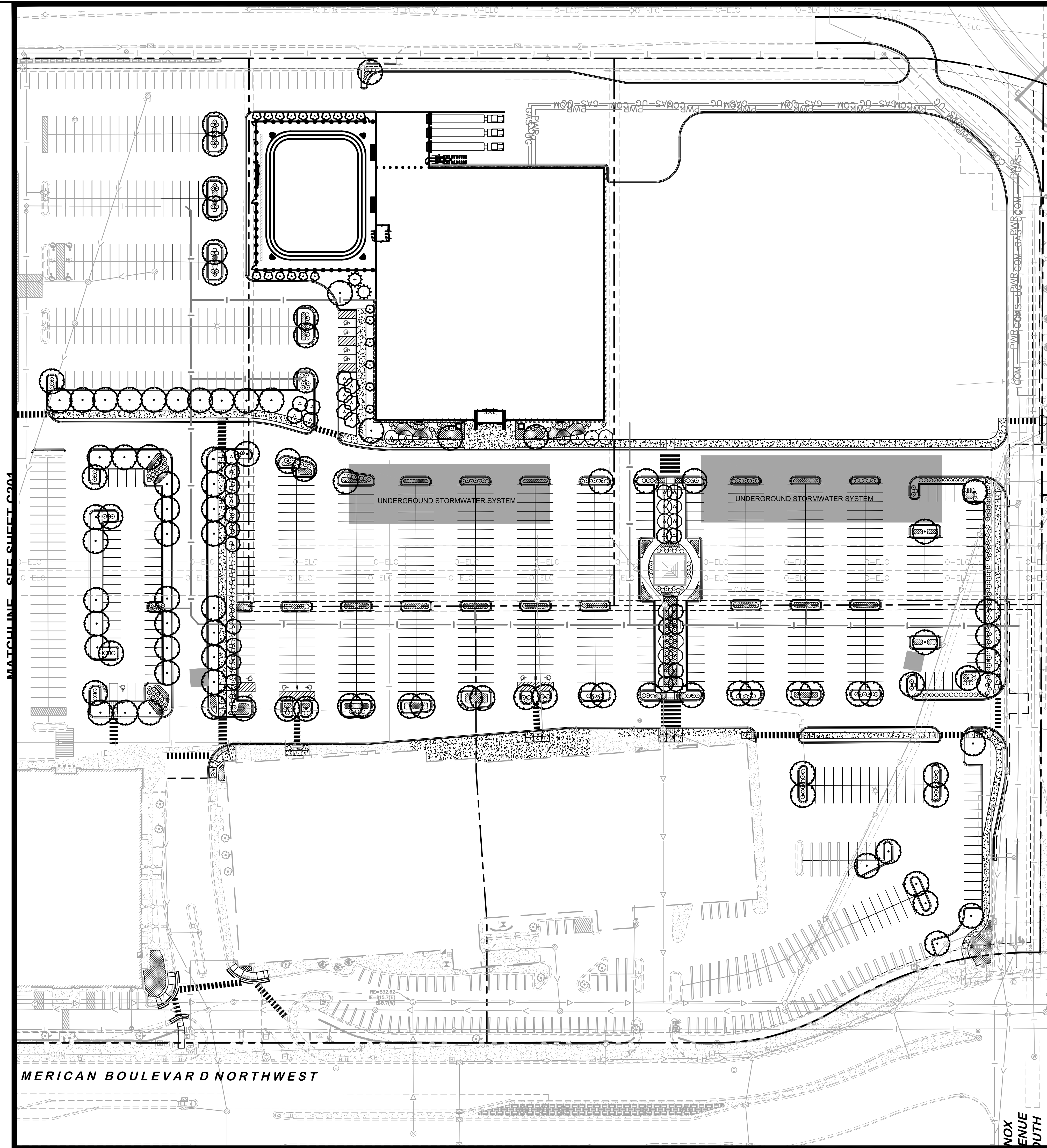
KHA PROJECT	16051008
DATE	06/27/2024
SCALE	AS SHOWN
DESIGNED BY	AMZ
DRAWN BY	NJB
CHECKED BY	ACL

**Kimley-Horn**  
2023 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-465-4197  
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**LANDSCAPE LEGEND**

- EXISTING DECIDUOUS TREE (TYP.)
- EXISTING CONIFEROUS TREE (TYP.)
- EXISTING SHRUB (TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS OF SEEDING/ SEEDING ALL DISTURBED AREAS (TYP.)

**LANDSCAPE KEYNOTES** (A)

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C) ROCK MULCH (TYP.)
- (D) SOD (TYP.)
- (E) MAINTENANCE STRIP (TYP.)

**LANDSCAPE SUMMARY - LOT 2**

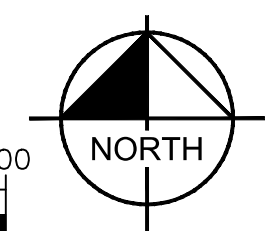
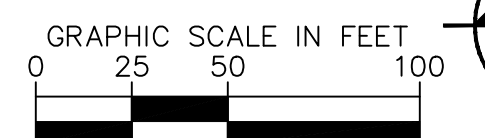
DEVELOPABLE LANDSCAPE AREA:	AREA OF LOT (210,719 S.F.)
REQUIRED TREES:	85 TREES = (210,719 S.F. / 2,500)
PROVIDED TREES:	71 TREES. UNABLE TO PROVIDE 85 TREES AS MUCH OF THE PLANTABLE AREA IS RESTRICTED BY EASEMENTS AND UNDERGROUND STORMWATER SYSTEM.
REQUIRED SHRUBS:	211 SHRUBS = (210,719 S.F. / 1,000)
PROVIDED SHRUBS:	214 SHRUBS* = 108 PROPOSED SHRUBS + (424 PERENNIALS / 4).
*UP TO 50% OF THE REQUIRED SHRUBS MAY BE PERENNIAL PLANTS. FOUR PERENNIALS = ONE SHRUB.	
PARKING ISLAND TREES REQUIRED:	17 TREES/ PARKING ISLANDS. ONE DECIDUOUS TREE PER PARKING ISLAND.
PARKING ISLAND TREES PROVIDED:	32 TREES. UNABLE TO PLANT TREES IN ALL PARKING LOT ISLANDS DUE TO THE EASEMENTS AND UNDERWATER STORMWATER SYSTEM. ADDITIONAL TREES PLANTED IN OTHER ISLAND IN ORDER TO MEET THE SPIRIT OF THE CODE.

**CONCEPT PLANT SCHEDULE - LOT 2**

	<b>OVERSTORY TREE</b> GLEDTISIA TRIACANTHOS VAR. INERMIS 'IMPERIAL' / IMPERIAL HONEYLOCUST LIRIODENDRON TULIPIFERA 'FASTIGIATA' / COLUMNAR TULIP POPLAR QUERCUS X 'CRIMSCHMIDT' / CRIMSON SPIRE OAK	26
	<b>ORNAMENTAL TREE</b> AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLANCE' / AUTUMN BRILLANCE SERVICEBERRY CLUMP BETULA NIGRA / RIVER BIRCH MULTI-TRUNK POPULUS TREMULOIDES / QUAKING ASPEN CLUMP	11
	<b>CONIFEROUS TREE</b> PICEA PUNGENS 'BABY BLUE' / BABY BLUE COLORADO SPRUCE PINUS NIGRA / AUSTRIAN PINE PINUS STROBUS / WHITE PINE	2
	<b>COLUMNAR TREE</b> CEDRUS ATLANTICA 'FASTIGIATA' / COLUMNAR ATLAS CEDAR CORNUS FLORIDA 'FASTIGIATA' / COLUMNAR FLOWERING DOGWOOD QUERCUS X 'CRIMSCHMIDT' / CRIMSON SPIRE OAK	22
	<b>DECIDUOUS SHRUB</b> CORNUS SERICEA 'ARTIC FIRE' / ARTIC FIRE DOGWOOD RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC SORBARIA SORBIFOLIA 'SEM' / SEM FALSESPIREA	76
	<b>CONIFEROUS SHRUB</b> JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER JUNIPERUS SCOPULORUM 'MEDORA' / MEDORA JUNIPER PINUS MUGO 'PUMILIO' / MUGO DWARF PINE	45
	<b>PERENNIALS</b> CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS ECHINACEA PURPUREA 'RUBY STAR' / RUBY STAR CONEFLOWER HEMEROCALLIS 'RED RAZZMATAZZ' / RED RAZZMATAZZ DAYLILY NEPETA X FAASSENII 'WALKERS LOW' / WALKERS LOW CATMINT RUDBECKIA FULGIDA 'GOLDSTURM' / BLACK-EYED SUSAN SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	106

**NOTE:**  
QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

**ABBREVIATIONS:**  
B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPECIES  
QTY. = QUANTITY



Know what's below.  
Call before you dig.



2023 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-466-4197  
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER FOR THE STATE OF MINNESOTA.

FIRST M.L.AST. DATE: 06/17/24 MIC. NO. 12345

**LANDSCAPE PLAN - EAST**

**SOUTHTOWN REDEVELOPMENT**  
PREPARED FOR  
**KRAUS ANDERSON**  
MN

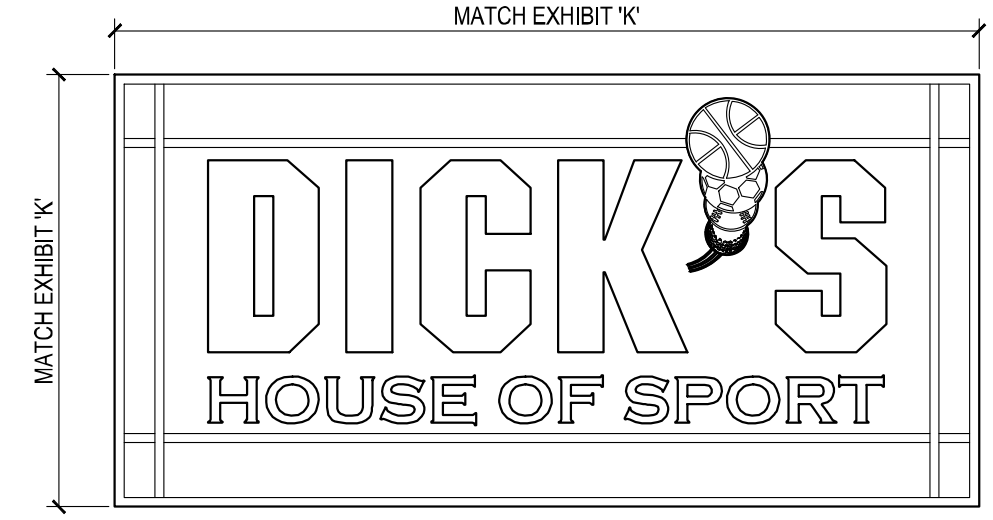
**BLOOMINGTON**  
SHEET NUMBER  
**L101**

PRELIMINARY - NOT FOR CONSTRUCTION

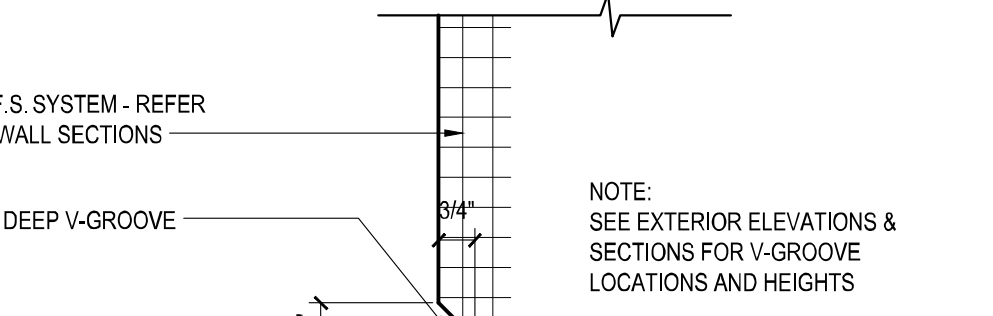
No.	REVISIONS	DATE	BY



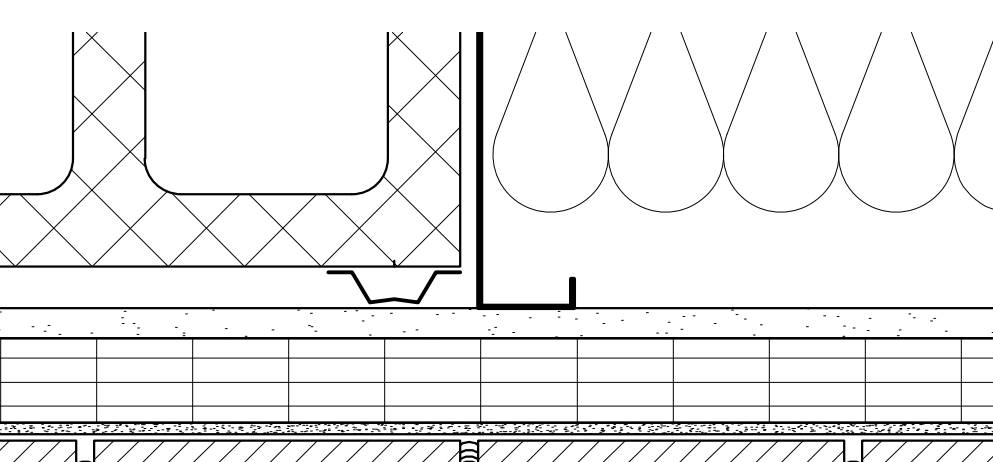
EXTERIOR MATERIALS	
ACM-1	RAINSCREEN METAL PANEL SYSTEM MANUF: CITADEL OR EQUAL PRODUCT: ENVELOPE 2000 RS OR EQUAL COLOR: MATCH KAWNEER HARTFORD GREEN
ACM-3	ACM PANELS - ALPOLIC COLOR: TO MATCH KAWNEER DARK BRONZE
BRK-1	1/2" MODULAR THIN BRICK REFER TO SPECIFICATION FOR ACCEPTABLE MANUFACTURERS MORTAR - SPEC MIX S800 ANTIQUE WHITE
BRK-2	1/2" MODULAR THIN BRICK BELDON BRICK COLOR: BLACK DIAMOND VELOUR MORTAR - SPEC MIX S800 BLACK
CAP-1	COLUMN CAPITAL, SUPPLIED BY VENDOR #24, INSTALLED BY G.C. COLOR: MATCH SW 0028 CAEN STONE
CONC	CAST IN PLACE CONCRETE WITH PARGED HAND RUBBED FINISH
CML-3	SMOOTH-FACED, STANDARD GRAY DRYBLOCK, SEE SPEC. FINISH+ POLYMER MODIFIED CEMENT PARSE, SEE SPEC.
CNPG-2	MAPES PREFABRICATED METAL CANOPY W/ THE RODS OR APPROVED EQUAL COLOR = TO MATCH KAWNEER DARK BRONZE
CPNG-1	PREFINISHED METAL COPING, SEE SPECIFICATIONS COLOR = TO MATCH KAWNEER DARK BRONZE
DOOR-1	ALUMINUM SLIDING DOOR, SEE SPECIFICATIONS - COLOR= KAWNEER DARK BRONZE
DS-1	PRE-FINISHED METAL DOWNSPOUT - COLOR: TO MATCH KAWNEER DARK BRONZE
EIFS-1	1 1/2" EXTERIOR INSULATION FINISH SYSTEM, SEE SPECIFICATIONS COLOR = MATCH COLOR #449 BUCKSKIN, PEBBLE FINE FINISH
GLAZ-1	EXTERIOR CURTAINWALL COLOR= KAWNEER DARK BRONZE
LIGHT	EXTERIOR LIGHT FIXTURE - REFER TO REFLECTED CEILING AND ELECTRICAL PLANS, TYP.
PAINT-1	EXTERIOR PAINT, SEE SPECIFICATIONS COLOR = P-78
PAINT-2	EXTERIOR PAINT, SEE SPECIFICATIONS COLOR = MATCH RED BRICK (P-52) DSG BELDON
SGN-1	INDIVIDUAL LETTER SIGNAGE W/ INTERNALLY ILLUMINATED LETTERS, SUPPLIED AND INSTALLED BY VENDOR #8
FILM	WINDOW SECURITY FILM BY G.C., REFER TO A5.2a



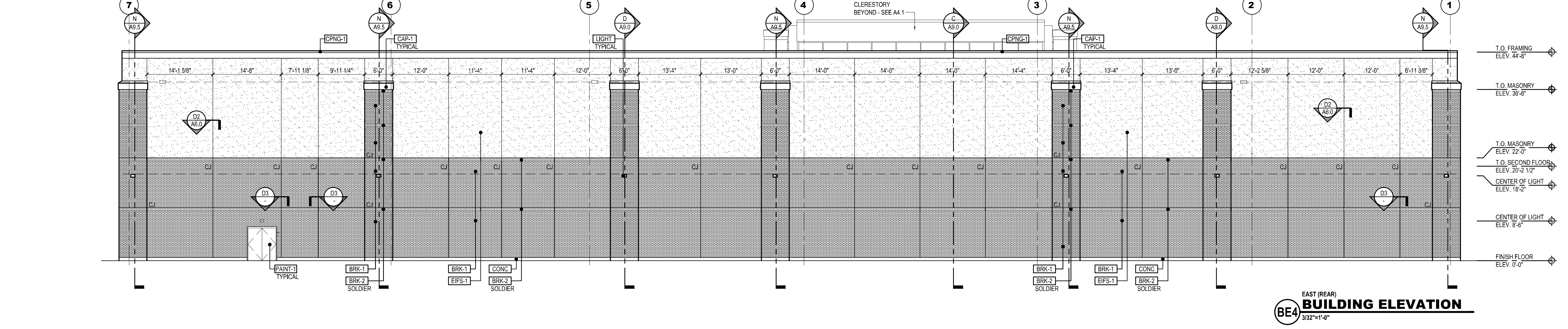
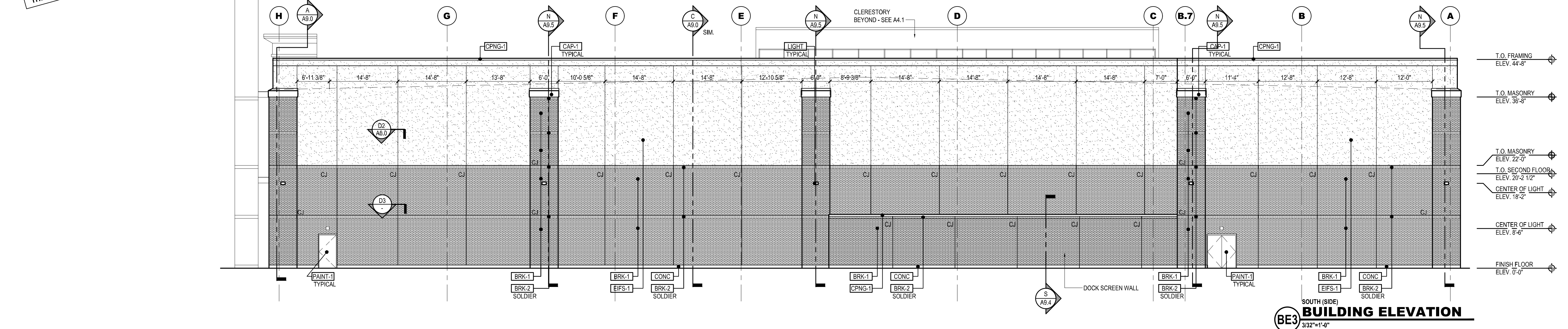
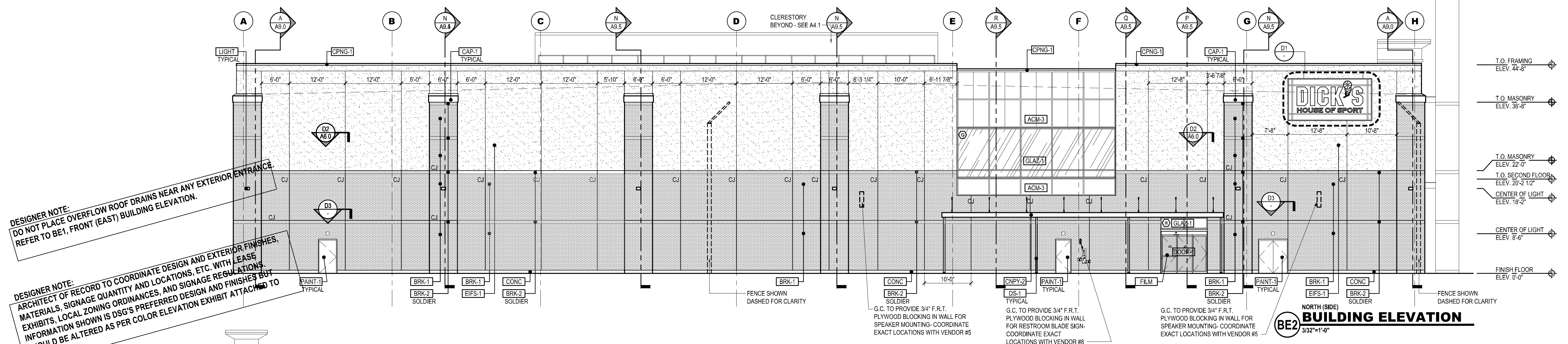
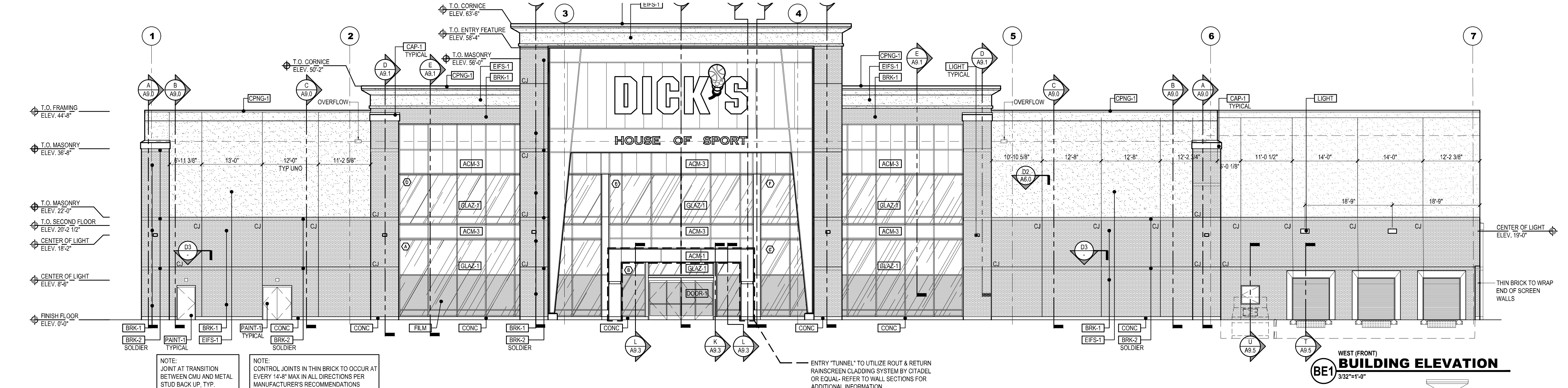
**BOX SIGN DETAIL**  
SCALE 1/4" = 1'-0"



**TYPICAL V-GROOVE DETAIL**  
SCALE 3/4" = 1'-0"



**CONTROL JOINT DETAIL**  
SCALE 3/4" = 1'-0"



**DESIGNER NOTE:**  
DO NOT PLACE OVERFLOW ROOF DRAINS NEAR ANY EXTERIOR ENTRANCE. REFER TO BE1, FRONT (EAST) BUILDING ELEVATION.

**DESIGNER NOTE:**  
ARCHITECT OF RECORD TO COORDINATE DESIGN AND EXTERIOR FINISHES, MATERIALS, SIGNAGE QUANTITY AND LOCATIONS, ETC. WITH LEASE EXHIBITS, LOCAL ZONING ORDINANCES, AND SIGNAGE REGULATION. INFORMATION SHOWN IS DSG'S PREFERRED DESIGN AND FINISHES BUT SHOULD BE ALTERED AS PER COLOR ELEVATION EXHIBIT ATTACHED TO THE LEASE.

**PROTOTYPE**  
Drawings & specifications are not intended for use as construction documents. Project specific conditions, site & utility information, H.V.A.C. & structural design criteria must be engineered for each site. State & local code requirements shall govern. Documents shall not be directly reproduced for use as construction documents.

All design materials prepared by Fox Design Group, LLC shall remain the property of Fox Design Group, LLC, which shall also retain all copyright, statutory and other rights, including the copyright thereof.

**FOX DESIGN GROUP**  
FOX DESIGN GROUP, LLC  
3501 W. 14TH AVE., SUITE 200  
DENVER, CO 80202  
www.foxdesigngroup.net

**DICK'S SPORTING GOODS**

**BUILD-TO-SUIT STORES**  
All work, materials, and systems shown in these plans and specifications, including all references to national accounts, is the sole responsibility of the Landlord (and/or Landlord's General Contractor) to purchase, schedule, and install complete as shown and referenced. Any reference to "General Contractor" in these plans and/or specifications refers to the Landlord and "Landlord's General Contractor". The Tenant (Dick's Sporting Goods) has no scope of work and/or responsibility shown on these plans and/or specifications.

**DICK'S HOUSE OF SPORT**  
TWO LEVEL PROTOTYPE DESIGN  
ADDRESS  
CITY, STATE & ZIP

PROJECT NUMBER:	1371
NO. ISSUE:	DATE
PROTOTYPE RELEASE:	05-31-24

DRAWING: ARCHITECTURAL ELEVATIONS  
SHEET NUMBER: **A6.0**

**PROTOTYPE**

Drawings & specifications are not intended for use as construction documents. Project specific conditions, site & utility information, H.V.A.C. & structural design criteria must be engineered for each site. State & local code requirements shall govern. Documents shall not be directly reproduced for use as construction documents.

All design materials prepared by Fox Design Group, LLC shall remain the property of Fox Design Group, LLC, which shall also retain all common law, statutory and other rights, including the copyright therein.

**FOX DESIGN GROUP**  
 FOX DESIGN GROUP, LLC  
 500 W. BIRCHWOOD ROAD, 2ND FLOOR  
 SUITE 204, MALLARD  
 504 244-1435  
 www.foxdesigngroup.net



**DICK'S SPORTING GOODS**

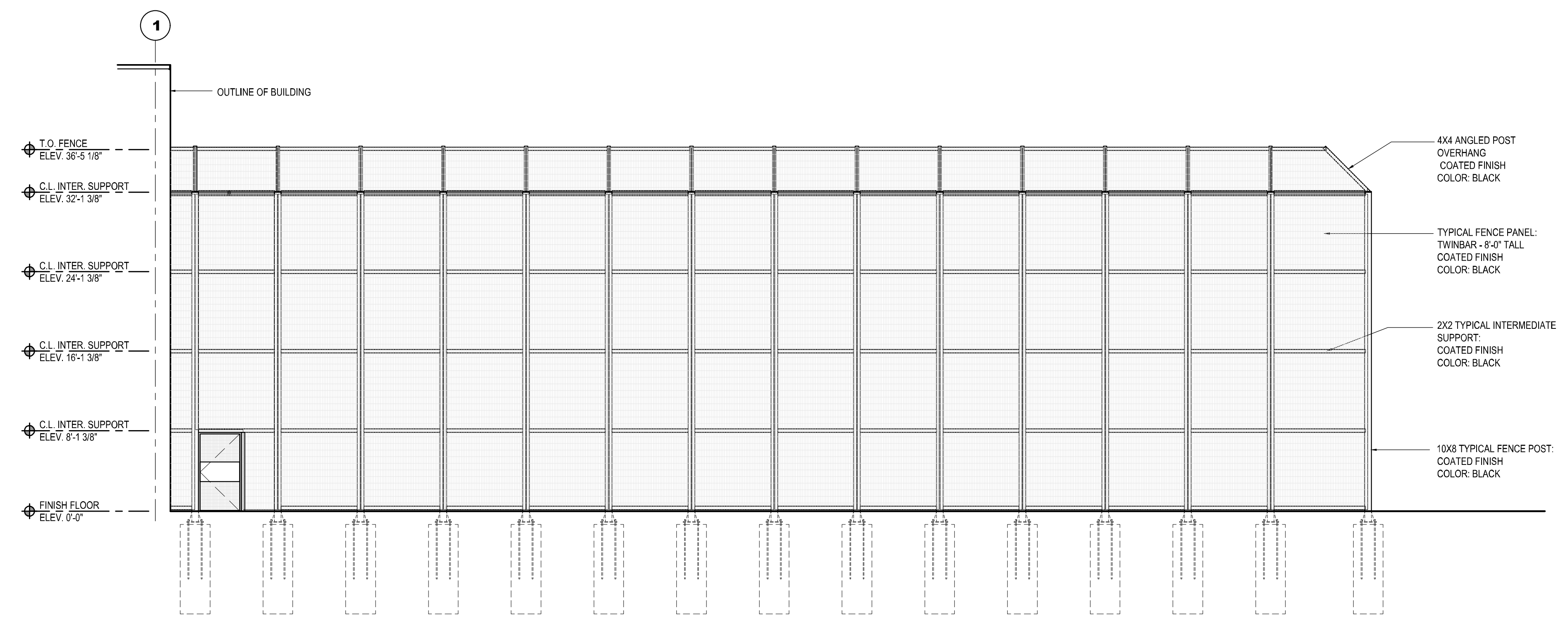
**BUILD-TO-SUIT STORES**  
 All work, materials, and systems shown in these plans and specifications, including all references to national accounts, is the sole responsibility of the Landlord and/or Landlord's General Contractor. The purchase, schedule, and install complete as shown and referenced. Any reference to "General Contractor" in these plans and/or specifications refers to the Landlord and Landlord's General Contractor. The Tenant (Dick's Sporting Goods) has no scope of work and/or responsibility shown on these plans and/or specifications.

**DICK'S HOUSE OF SPORT**  
 TWO LEVEL PROTOTYPE DESIGN  
 ADDRESS  
 CITY, STATE & ZIP

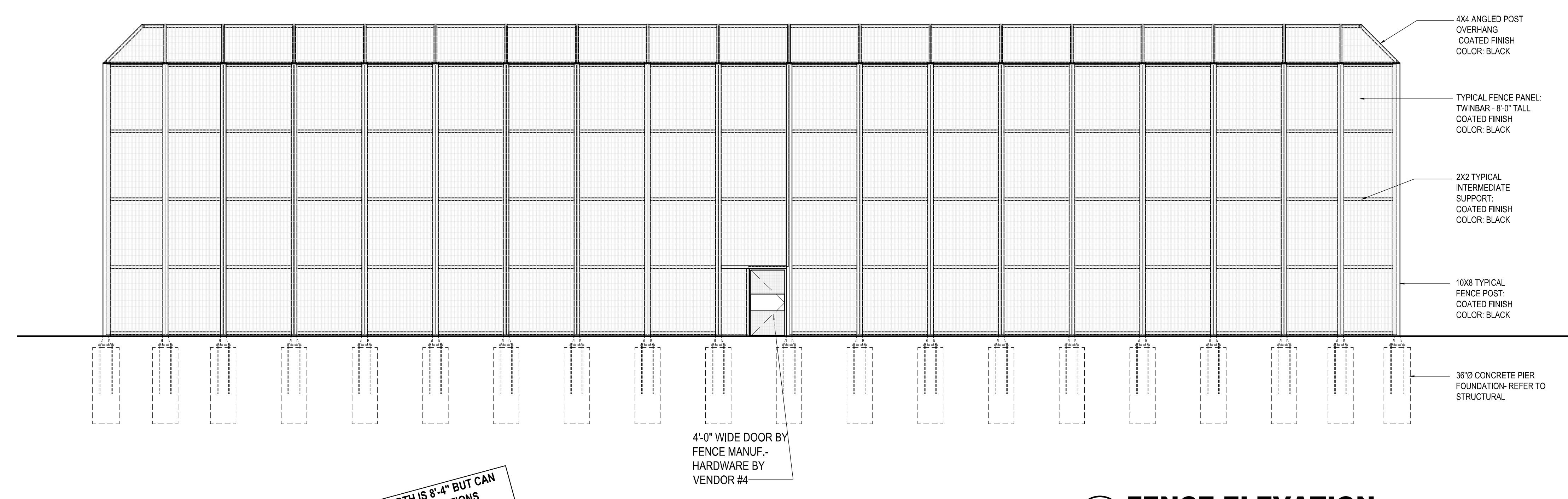
PROJECT NUMBER:	1371
NO.   ISSUE	DATE
PROTOTYPE RELEASE:	05-31-24

DRAWING:  
FIELD FENCE ELEVATIONS

SHEET NUMBER:  
**AS1.4**

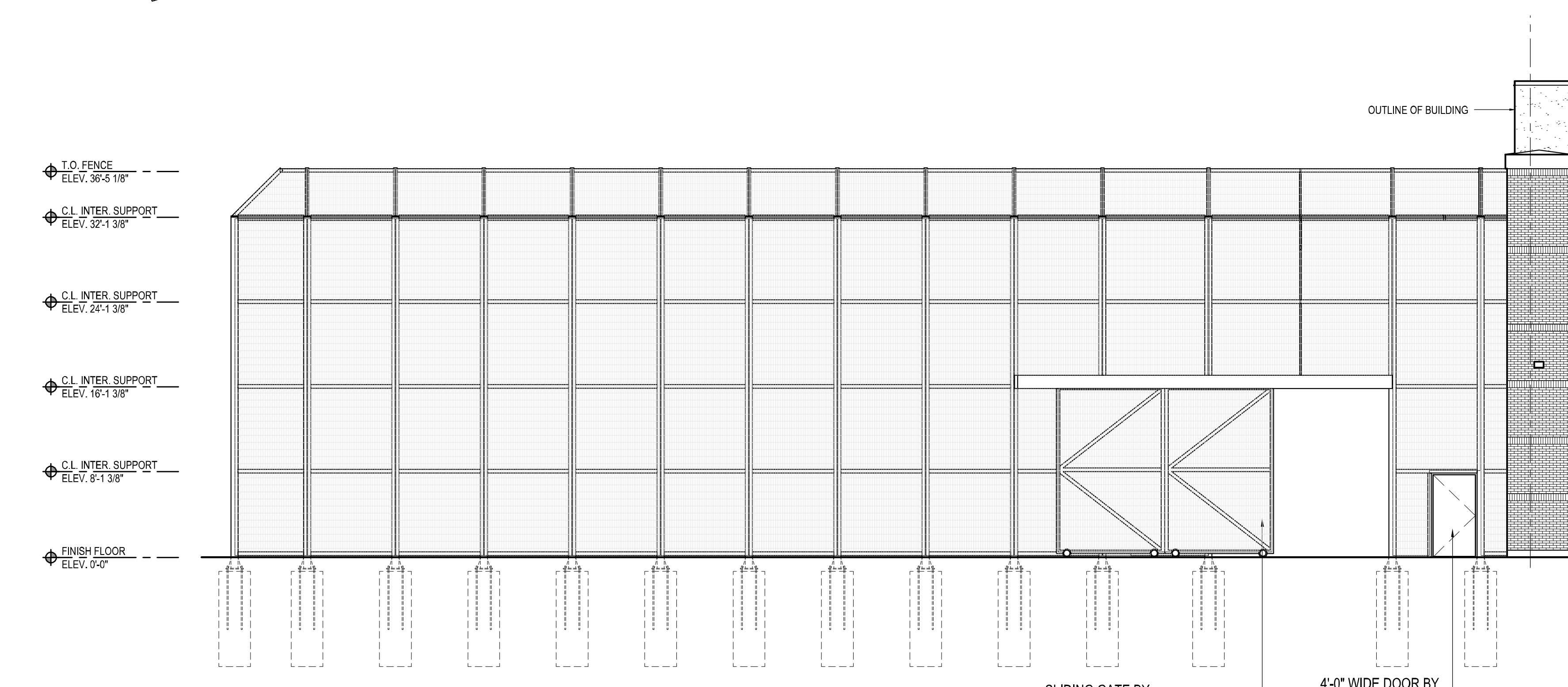


**3 FENCE ELEVATION**  
3/32"=1'-0"



**DESIGNER NOTE**  
 STANDARD FENCE PANEL WIDTH IS 8'-4" BUT CAN BE MODIFIED FOR SITE SPECIFIC CONDITIONS



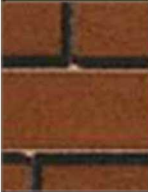

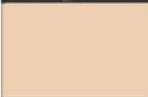

**2 FENCE ELEVATION**  
3/32"=1'-0"

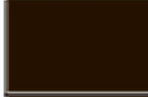
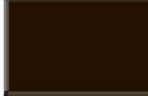


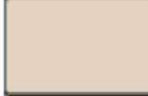


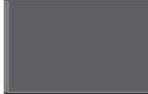


**1 FENCE ELEVATION**  
3/32"=1'-0"

# EXTERIOR MATERIALS

## SOUTHTOWN SHOPPING CENTER BLOOMINGTON, MN MATERIAL PALETTE ANCHOR TENANT

	ACM-1	RAINSCREEN METAL PANEL SYSTEM MANUF: CITADEL OR EQUAL PRODUCT: ENVELOPE 2000 RS OR EQUAL COLOR: MATCH KAWNEER HARTFORD GREEN
	ACM-3	ACM PANELS - ALPOLIC COLOR: TO MATCH KAWNEER DARK BRONZE
	BRK-1	1/2" MODULAR THIN BRICK REFER TO SPECIFICATION FOR ACCEPTABLE MANUFACTURERS MORTAR - ARGOS BLUSH (TO ORDER CALL: WESLEY ALBRIGHT @ 404-402-6386 -WALBRIGHT@ARGOS-US.COM)
	BRK-2	1/2" MODULAR THIN BRICK BELDEN BRICK COLOR: BLACK DIAMOND VELOUR MORTAR - GLEN-GARY G-602
	CAP-1	COLUMN CAPITAL SUPPLIED BY VENDOR #24, INSTALLED BY G.C. COLOR: MATCH SW 0028 CAEN STONE
	CONC	CAST IN PLACE CONCRETE WITH PARGED HAND RUBBED FINISH

	CNPY-2	MAPES PREFABRICATED METAL CANOPY W/ TIE RODS OR APPROVED EQUAL COLOR = TO MATCH KAWNEER DARK BRONZE
	CPNG-2	PREFINISHED METAL COPING, SEE SPECIFICATIONS COLOR = TO MATCH KAWNEER DARK BRONZE
	DOOR-1	ALUMINUM SLIDING DOOR, SEE SPECIFICATIONS - COLOR= KAWNEER DARK BRONZE
	DS-1	PRE-FINISHED METAL DOWNSPOUT - COLOR: TO MATCH KAWNEER DARK BRONZE
	EIFS-1	1 1/2" EXTERIOR INSULATION FINISH SYSTEM, SEE SPECIFICATIONS COLOR = MATCH COLOR #449 BUCKSKIN, PEBBLE FINE FINISH
	GLAZ-1	EXTERIOR CURTAINWALL COLOR= KAWNEER DARK BRONZE
	LIGHT	EXTERIOR LIGHT FIXTURE - REFER TO REFLECTED CEILING AND ELECTRICAL PLANS, TYP.
	PAINT-1	EXTERIOR PAINT, SEE SPECIFICATIONS COLOR = MATCH CHARCOAL GRAY



- REV 1 \_\_\_\_\_
- REV 2 \_\_\_\_\_
- REV 3 \_\_\_\_\_
- REV 4 \_\_\_\_\_
- REV 5 \_\_\_\_\_

All information contained on this exhibit is representative of the architectural materials and heights proposed to be used. This exhibit is NOT intended to be a Construction Document. All final adjustments will be incorporated into the Construction Documents and will be mutually agreed upon by the Landlord and Dick's Sporting Goods.

Final graphics will be determined by Tenant. Graphics shown on this exhibit are shown for visual context.

## FIELD INFORMATION

### GENERAL DESCRIPTION:

Fenced outdoor area accessed from inside the store. Includes track and field that provide versatile use including product testing, open play, rentals and specialty events. Optional ice rink capability in suitable climates.

Preferred size: 121' x 153' - 18,500 SF

Fence Height: 36'-0"

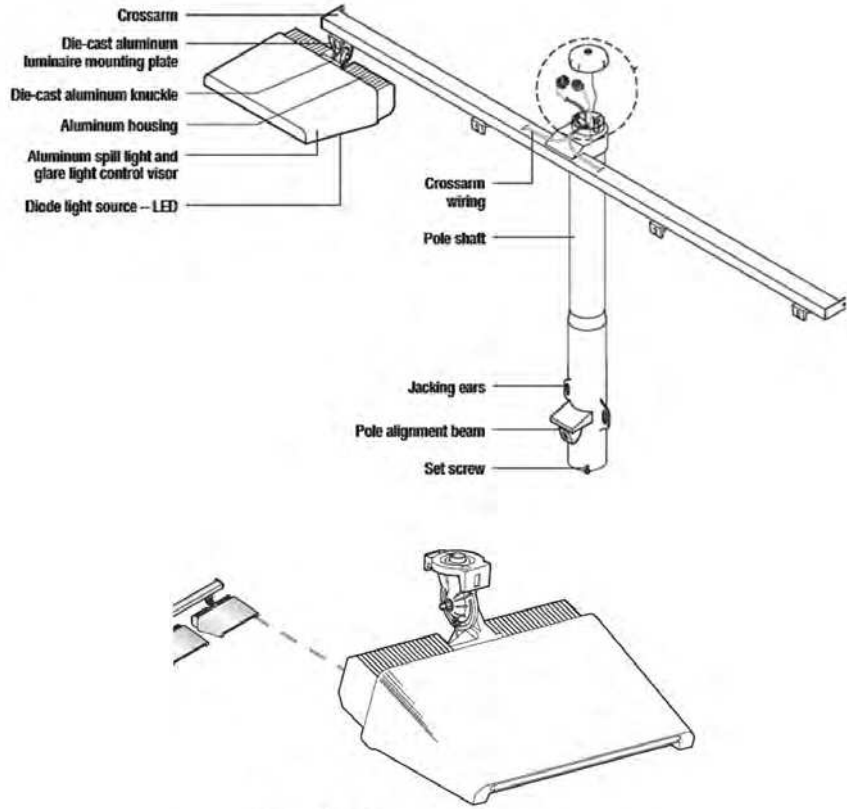
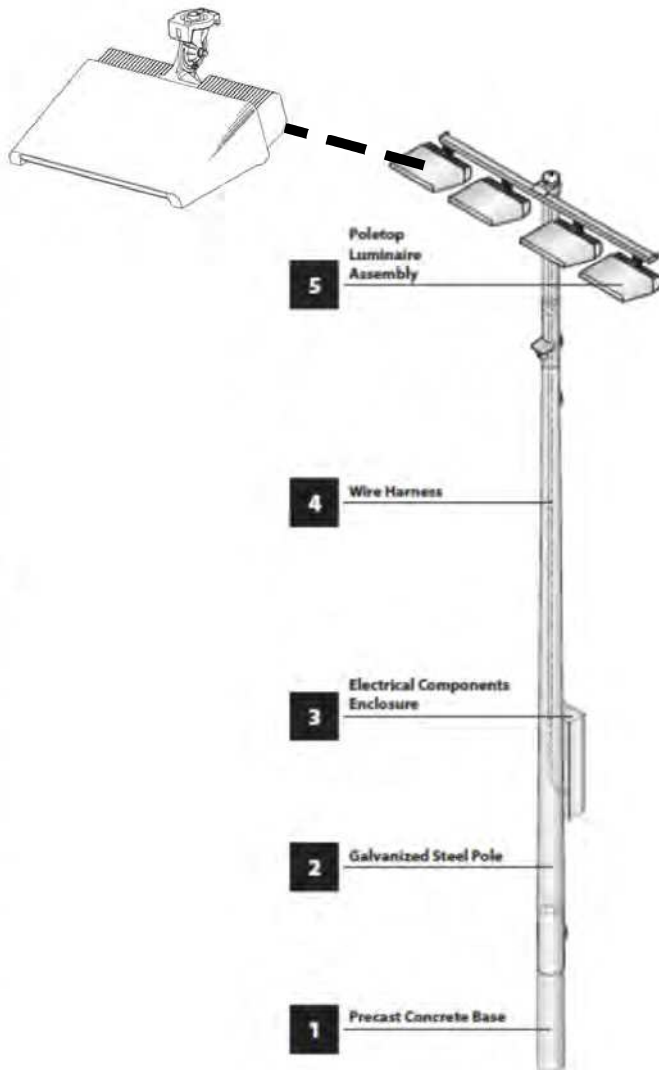
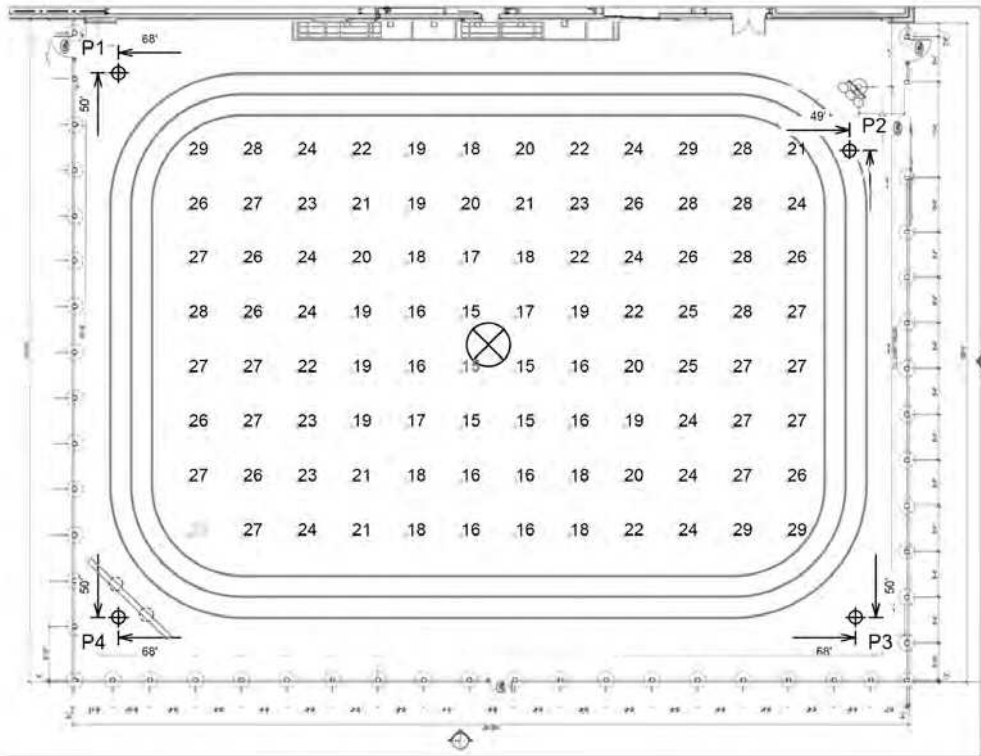
Lighting Height: 40'-0"





# FIELD INFORMATION

## Lighting:



**Luminaire Data**

Weight (luminaire)	40 lb (18 kg)
UL listing number	E338094
UL listed for USA/Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection (luminaire)	IP65
Impact rating	IK07
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating (luminaire)	50°C (122°F)

**Photometric Characteristics**

Projected lumen maintenance per IES TM-21-11

L90 (20k)	>120,000 h
L80 (20k)	>120,000 h
L70 (20k)	>120,000 h
Lumens <sup>1</sup>	46,500
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
LED binning tolerance	7-step MacAdam Ellipse

## Photometric:

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOT-CANDELS	
Entire Grid	
Guaranteed Average:	20
Scan Average:	22.46
Maximum:	29.2
Minimum:	15
Avg / Min:	1.54
Guaranteed Max / Min:	3
Max / Min:	2.00
UG (adjacent pts):	1.38
CU:	0.59
No. of Points:	96
LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	8
Total Load:	3.2 kW

## Lighting:

Musco - TLC for LED Light -Structure System  
Galvanized Steel Pole and 400 W Luminaire fixtures  
\* Equipped with Aluminum spill light and glare light control visor

<https://www.musco.com/tlced/>

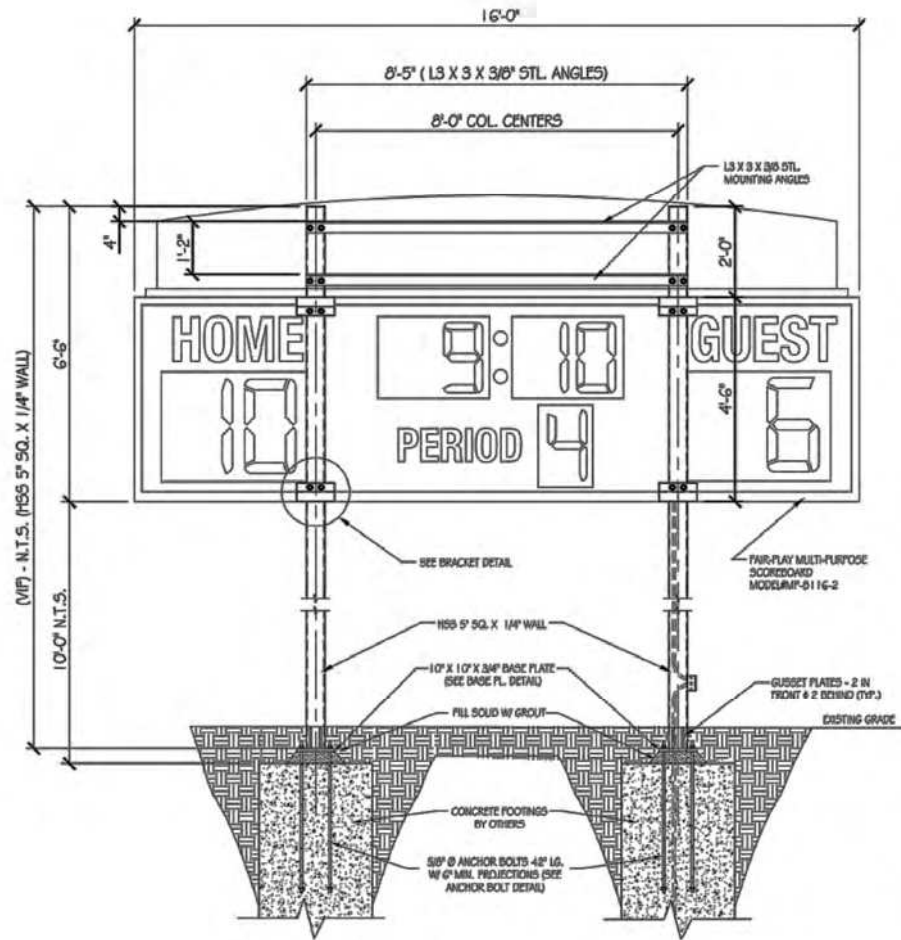


# FIELD INFORMATION

## Audio:

Speaker system is present and will adhere to local zoning requirements

## Displays, and Sound:



## Scoreboard:

ImageOne - LED Illuminated



# FIELD INFORMATION

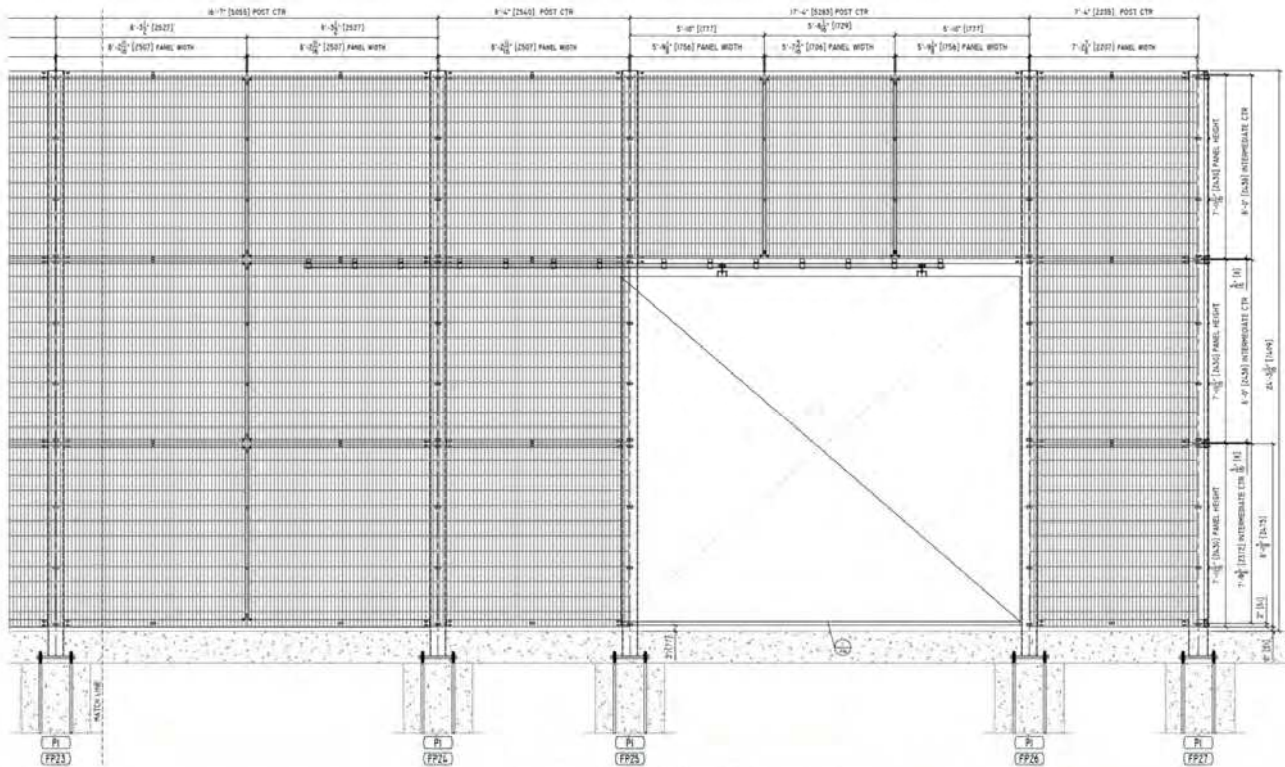
## LIFE SAFETY:

### Egress:

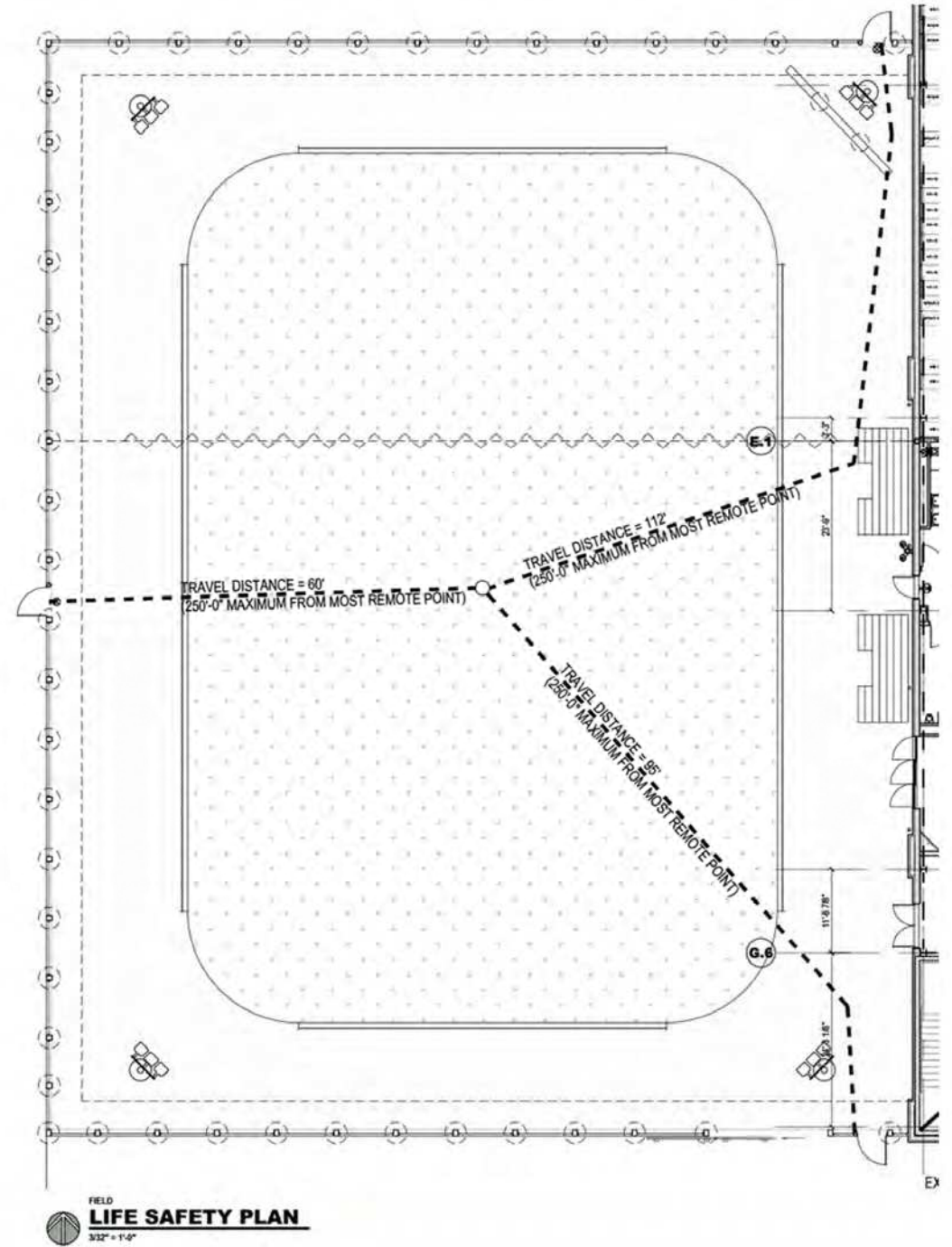
Field egress will be designed based on area, bleacher capacity, and local code. Doors with crash bars will be provided

### Emergency Vehicle Access:

Sliding "elephant doors" will be in place to allow access for emergency vehicles directly on to the field



1 TYPICAL 24\"/>



# HOUSE OF SPORT OUTDOOR FIELD || FIELD EXPERIENCES & EVENTS OVERVIEW

The House of Sport Outdoor Field offers a variety of experiences that support the 4 pillars strategy - Service, Product, Experience and Community.

TYPE OF PROGRAMMING/EXPERIENCES	DESCRIPTION	EXAMPLES
Product Trial	Leverage Track & Field to “try” products to encourage confidence in purchase and support conversion	<ul style="list-style-type: none"> <li>Bikes, Footwear, Outdoor Rec Equipment, Team Sports Equipment, Etc.</li> </ul>
Everyday Experiences	Open Field Play, Fun & Games, Open Skate	<ul style="list-style-type: none"> <li>Basketball, Football, Corn Hole, Spikeball, Soccer, Football, Ice Skating</li> </ul>
Private Rental	Field Rental	<ul style="list-style-type: none"> <li>Birthday Party , Team Build, Youth or Adults Sports League, School Field Trip</li> </ul>
Recurring Event (Weekly/Monthly)	Recurring events	<ul style="list-style-type: none"> <li>Parents Night Out, Local Homeschool group PE, Lunch Time Laps , After School Fun &amp; Games</li> </ul>
House of Sport Team Led Event	Camp    Class    Clinic    Experience led by House of Sport Teammate (based on expertise)	<ul style="list-style-type: none"> <li>Find your passion sports camp    Trackman 9 hole golf challenge</li> <li>Spring Break Camp    Outdoor Expo event</li> <li>Soccer Skills and Drills Clinic    Kids Running (Relay, 50 yard dash</li> </ul>
Community Partner Event Onsite or Offsite	Camp    Class    Clinic    Experience	<ul style="list-style-type: none"> <li>Knoxville Childrens Hospital Health &amp; Sport Day    Urban Pop (MIN)</li> <li>F45 (Min)    D1 Sports    Coever Coaching Soccer Camp (MIN)</li> <li>Cyclebar spin class    Hit Catch Run (ROC)</li> <li>Learn to Skate    Learn to play hockey</li> </ul>
National Vendor Partner Event	Class    Clinic    Experience	<ul style="list-style-type: none"> <li>NIKE Zenvy Leggings Yoga    Adidas Soccer Tournament</li> <li>HOKA Fun Run    Free People Movement Yoga Class</li> </ul>
Community Goodwill	Free Event to support the community	<ul style="list-style-type: none"> <li>House of Sport Halloween    Tie Dye for Pride    Free Field Use for local Partner    Make a Wish Event with Buffalo Bills QB Josh Allen    House of Sport Easter Egg Hunt</li> </ul>



# HOUSE OF SPORT OUTDOOR FIELD || FIELD OPERATIONS AND STAFF

The House of Sport Outdoor Field is operated by the House of Sport Team

## **Field – Staffing & Operations**

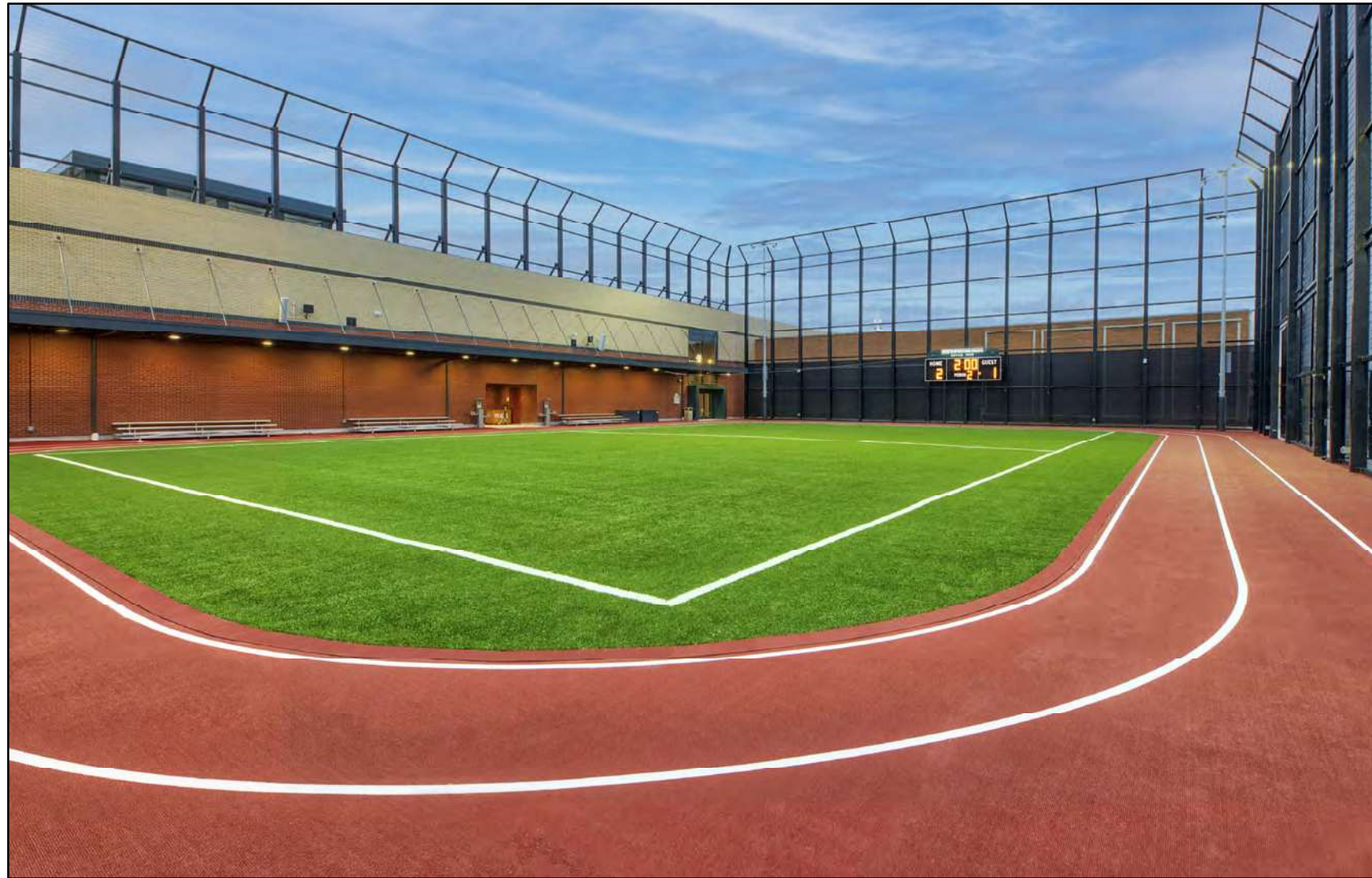
- Each House of Sport location is staffed to support Event Planning and Experience Programming
  - Community & Experience Director
  - Community & Events Manager
  - Marketing Manager
  - Event Planning lead
  - Hourly Field Staff Coverage
- Field opening hours flex based on seasonality, school calendar and event programming
- The Field offers product trial, open play and programmed events and experiences.
- Some events are free, while others have a fee.
- A DSG teammate provides staffing to the field during field operational hours.
- Field Staffing scales based on event participation ratios.
- All field staff are CPR certified and receive background safety checks.
- In Select markets, House of Sport offers a winter ice rink that is staffed and operated by trained DSG House of Sport Staffing.
  - The Ice Rink Kit, set-up and training is provided by a third party partner.

EVERY SEASON STARTS AT  
**DICK'S**  
SPORTING GOODS.

**HOUSE OF SPORT**

# HOUSE OF SPORT OUTDOOR FIELD || FIELD PICTURES

Victor, NY



# HOUSE OF SPORT OUTDOOR FIELD || FIELD PICTURES

Knoxville, TN



# HOUSE OF SPORT OUTDOOR FIELD || FIELD PICTURES

Minnetonka, MN

